

## NOTICE AND AGENDA

Notice is hereby given that the City Council of the City of Santaquin will hold a City Council Meeting on Wednesday, August 15, 2018 in the **Council Chambers, 275 W Main, upper level** at 6:00 pm.

1. **ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **INVOCATION/INSPIRATIONAL THOUGHT**
4. **DECLARATION OF ANY CONFLICT OF INTEREST**
5. **CONSENT AGENDA**
  - a. Minutes:
    1. August 1, 2018
  - b. Bills:
    1. \$436,289.77
6. **PUBLIC FORUM, BID OPENINGS, AWARDS, AND APPOINTMENTS**
  - a. Appointment of Planning Commissioner – Brad Gunnell
7. **FORMAL PUBLIC HEARING**
  - a. Public Hearing of the Ferguson Agriculture Protection Area (Initial 20-Year Review)
8. **BUSINESS LICENSES**
9. **NEW BUSINESS & ADOPTION OF ORDINANCES AND RESOLUTIONS**
  - a. Resolution 08-04-2018 "A Resolution approving Modifications to the Ferguson Agriculture Protection Area which is Located within Santaquin City Limits."
  - b. Discussion and Possible Action Regarding the Preliminary Plan for the Orchards Development Plats A-11, G-1, and Apple Grove Apartments A and B.
  - c. Discussion and Possible Action Regarding a Potential Water Right Transfer from Evan Johnson.
  - d. Discussion and Possible Action Regarding the "What Do You Love About Santaquin" Video Scholarship.
  - e. Discussion and Possible Action Regarding Lessons Learned during the 2018 Orchard Days Celebration.
  - f. Discussion Regarding the Creation of a Mining Zone and Applicable Regulations.
10. **CONVENE OF THE SANTAQUIN COMMUNITY DEVELOPMENT AGENCY BOARD**
11. **CONVENE OF THE LOCAL BUILDING AUTHORITY OF SANTAQUIN CITY**
12. **CONVENE OF THE SANTAQUIN WATER DISTRICT**
13. **WORK MEETING**
14. **PETITIONS AND COMMUNICATIONS**
15. **REPORTS OF OFFICERS, STAFF, BOARDS, AND COMMITTEES**
  - a. Community Development Director Bond
  - b. City Engineer Beagley
16. **REPORTS BY MAYOR AND COUNCIL MEMBERS**
  - a. Mayor Hunsaker
  - b. Council Members
17. **EXECUTIVE SESSION** (May be called to discuss the character, professional competence, or physical or mental health of an individual)
18. **EXECUTIVE SESSION** (May be called to discuss the pending or reasonably imminent litigation, and/or purchase, exchange, or lease of real property)
19. **ADJOURNMENT**

If you are planning to attend this Public Meeting and, due to a disability, need assistance in understanding or participating in the meeting, please notify the City ten or more hours in advance and we will, within reason, provide what assistance may be required.

## CERTIFICATE OF MAILING/POSTING

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted in 3 places; City Center, Post Office and Zions Bank as well as posted on the State of Utah's Public Website.

BY: \_\_\_\_\_  
Susan Farnsworth, City Recorder

**MINUTES OF A CITY COUNCIL MEETING  
HELD IN THE COUNCIL CHAMBERS  
AUGUST 15, 2018**

The meeting was called to order by Mayor Kirk Hunsaker at 6:00 pm. Council Members attending: Keith Broadhead, Lynn Mecham, Betsy Montoya, and Chelsea Rowley. Nick Miller will be late joining the meeting.

Others attending: Acting City Manager/Police Chief Rod Hurst, City Engineer Norm Beagley, Community Development Director Jason Bond, Recreation Director Amy Johnson, Bryan Mecham, Brad Gunnell, Bryce Pearson, Cynthia Johnson, Denise Windley, Loretta Mosier, Jim Mosier, Judy Robbins, Denise Rohbock, Doug Rohbock, Steve Durrant, Jennifer Durrant, Jenifer Larsen, Mike Wear, Drew Hoffman, Randy Smith, Paula Smith, Aaron Jensen, Bill Ferguson, other unidentified individuals.

**PLEDGE OF ALLEGIANCE**

Director Bond Led the Pledge of Allegiance.

**INVOCATION/INSPIRATIONAL THOUGHT**

Council Member Mecham Offered an Invocation.

**DECLARATION OF ANY CONFLICT OF INTEREST**

There weren't any Declaration of Conflict of Interest.

**CONSENT AGENDA**

***Minutes:***

August 1, 2018

***Bills:***

\$436,289.77

Council Member Montoya moved to approve the Consent Agenda. Council Member Rowley seconded the motion. The Vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Miller	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The motion passed 5 to 0.

**PUBLIC FORUM, BID OPENINGS, AWARDS, AND APPOINTMENTS**

Ms. Durrant indicated that she felt she should have been told that Ordinance 04-01-2018, "An Ordinance Amending Provisions of Santaquin City Code Title 10 Regarding Home Occupation Business Regulations" was going to be adopted. She feels the residents at large should have been told it was being reconsidered since it was tabled in April. She indicated they as a business owner, are required to keep the vehicles in pristine condition and need somewhere to do that without having to spend thousands of dollars to build a shed. She feels the Ordinance is a major concern to all who own trucks that need to be serviced.

Ms. Rohbock asked what the expenditures/revenues were with regard to the Diamond Rio Concert. She was told that information could be obtained by contacting the City Recorder.

She also indicated she has not received any of the Recreation survey's. Her email will be check for accuracy so she will receive them in the future.



Ms. Larsen lives at 32 West 730 North and has concerns with the growth on the North end. She indicated she is not opposed to the grow but has concerns of the lack of diversity in the North end of town. She reported there is a large turnover of occupants in the homes in that area. She questioned what the tax base would be if apartments were built within the City. She also has a concern with the children using Center street to access the new school because of the road being so narrow.

Mr. Wear asked why the Ordinance in question was not enforced where the problem is instead of being adopting City wide. He wonders why the City was getting involved in a neighborhood dispute. He thinks this is an unenforceable Ordinance and the parties involved should "put on their big boy pants and get along".

Mr. Smith indicated he has lived here for 65-years. "People move here and want to change the way things are". He voiced his wanting to keep the City rural and he understands the need to have regulations. He spoke with his neighbors and they indicated they didn't have an issue with his big truck being parked by his home. He also indicated those disputing need to "put on your big boy pants and get along".

***Appointment of Planning Commissioner – Brad Gunnell***

Mayor Hunsaker introduced Mr. Gunnell to those in attendance. Mr. Gunnell has agreed to serve on the Planning Commission for a term of 3 years.

Mr. Gunnell reported he and his family moved to Santaquin about 6 years ago. He loves the small town feel and would like to help "grow the City smartly".

Council Member Rowley Moved to appoint Brad Gunnell to the Planning Commission for a 3-year term. Council Member Mecham seconded the motion. The Vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Miller	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The motion passed 5 to 0.

**FORMAL PUBLIC HEARING**

***Public Hearing of the Ferguson Agriculture Protection Area (Initial 20-Year Review)***

Council Member Broadhead moved to enter into a Public Hearing with regard to the Ferguson Agriculture Protection Area (Initial 20-Year Review). Council Member Montoya seconded the motion. The Vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Miller	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The motion passed 5 to 0.

Director Bond reported that Utah State Code Section 17-41-307 requires that in the 20th calendar year after its creation, each agriculture protection area shall be reviewed by the municipal legislative body. The Ferguson Agriculture Protection Area was created on August 11, 1998 therefore the area is required to be reviewed.

Mr. Ferguson stated the Ag Protection Zone originally went clear to Payson Fruit Growers. He reviewed the purpose of the Ag Protection with those in attendance. He voiced his support of the proposed change to the Ag Protection Zone. Director Bond reported on each recordable map, if applicable, it is mentioned the property is within or abuts to an Ag Protection Zone. Ms. Smith was told the title companies are not catching the protection areas when researching the documents at closing.

Council Member Mecham moved to close the Public Hearing with regard to the Ferguson Agriculture Protection Area (Initial 20-Year Review). Council Member Rowley seconded the motion. The Vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The motion passed 4 to 0.

#### **BUSINESS LICENSES**

There was one new Business License issued since the last meeting.

- Tips and Toes – RoseAnne Fowkes – 219 E 200 N – Nail Salon

It was also reported year to date there have been 97 new single family and 3 multi-family building permits issued.

#### **NEW BUSINESS & ADOPTION OF ORDINANCES AND RESOLUTIONS**

##### ***Resolution 08-04-2018 "A Resolution approving Modifications to the Ferguson Agriculture Protection Area which is Located within Santaquin City Limits"***

Council Member Broadhead reported some of the protection area is along Center Street which may be needed for future widening of the road. He suggested removing possible roadways from the protected area. Mr. Bond will contact Utah County with regard to the issue to see if it is possible.

Mr. Ferguson voiced his concern with the speed along the 400 East road way. Director Bond will also discuss this issue with the County.

Council Member Miller arrived at 6:43 pm.

Council Member Mecham moved to approve Resolution 08-04-2018 "A Resolution approving Modifications to the Ferguson Agriculture Protection Area which is Located within Santaquin City Limits". Council Member Montoya seconded the motion. The Vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Miller	Aye



Council Member Montoya	Aye
Council Member Rowley	Aye

The motion passed 5 to 0.

***Discussion and Possible Action Regarding the Preliminary Plan for the Orchards Development Plats A-11, G-1, and Apple Grove Apartments A and B***

Director Bond reviewed the proposed Preliminary Plans (see attachment "A") with those in attendance.

Council Member Broadhead voiced his concern with allowing stub streets. He suggested if a garage is built off a stub street a hard surface turn-around should be required.

Ms. Smith was told the stub streets are not included in an HOA. She was told this development as a whole is not included in a HOA area and the roadways are public.

Ms. Larsen asked why more narrow streets are being allowed. She was told the new development will have roads built to current development standards.

Council Member Broadhead moved to approve the Preliminary Plan for the Orchards Development Plats A-11, G-1, and Apple Grove Apartments A and B with condition more information with regard to the trail be provided and the condition that any lot on a stub street will not have driveways facing those streets or they must develop a hard surface turn-around. This affects lots are 1, 5, 6, 8, 9, 13 and 19. Council Member Miller seconded the motion. The Vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Miller	Aye
Council Member Montoya	Aye
Council Member Rowley	Nay

The motion passed 4 to 1.

***Discussion and Possible Action Regarding a Potential Water Right Transfer from Evan Johnson***

Engineer Beagley has reviewed a request from Evan Johnson, a water broker, asking if Santaquin City is interested in accepting a proposed water right dedication that could fulfill future development requirements within Santaquin City (see attachment "B" for the memo). Engineer Beagley indicated the proposed water right would be sufficient for current buildout.

Council Member Broadhead reported this same group has approached Salem with the same request. He suggested having the water transferred to SUVWA so all the participating Cities could have access. There is quite a bit of leg work to keeping the paperwork straight. It was suggested having a percentage of water right put in the City's name to help pay for the tracking efforts. Council Member Broadhead is planning holding a discussion with the members of SUVWA at the next meeting. It was reported the City is not subject to forfeiture if the rights are not being used.



Council Member Broadhead moved to direct the City Staff to begin the process to secure the water rights with 30 acre feet of water being moved to the City's name. Council Member Rowley seconded the motion. The Vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Miller	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The motion passed 5 to 0.

***Discussion and Possible Action Regarding the "What Do You Love About Santaquin" Video Scholarship***

It was reported the Mayor and Council Members have reviewed the submitted "What Do You Love About Santaquin" Videos. They have chosen video #1 as the first place video. It was unknown who submitted the winning video but it will be played at a future date when the award is given.

***Discussion and Possible Action Regarding Lessons Learned during the 2018 Orchard Days Celebration***

Director Johnson led the discussion with regard to the recent Orchard Days event. She reviewed the revenues and expenditures for each event held (see attachment "C").

***Discussion Regarding the Creation of a Mining Zone and Applicable Regulations***

Director Bond reported in the Fall of 2017 the City Council was approached by Mr. John Ogden and Mr. Martin White regarding annexation of approximately 640 acres of property West of Santaquin City. As part of the proposal, they wanted to do a mining operation. Eventually, it was understood that the applicants would want an asphalt batch plant to accompany the mining operation. They also asked for development rights, specifically a PUD designation, so that the property could be developed. This development would include an additional 80 acres that is already located within Santaquin City limits (see attachment "D" for Memo).

Director Bond is seeking direction from the Mayor and Council Members as how to proceed. Do they want him to continue working on a Mining Ordinance (see attachment "D" for proposed Ordinance)? Council Member Rowley suggested clarification within the Ordinance. Council Member Broadhead suggested placing a limit with regard to the amount of dust that can be omitted into the air.

Director Bond would like to hold a Work Session on August 29<sup>th</sup> to work with the developer of the Foothill Development. Holding further discussion with regard to the mining Ordinance could be held the same evening. A number of Council Members will not be available on the 29<sup>th</sup> so another date will be set.

**CONVENE OF THE SANTAQUIN COMMUNITY DEVELOPMENT AGENCY BOARD**

There wasn't a need to convene the Santaquin Community Development Agency Board.

**CONVENE OF THE LOCAL BUILDING AUTHORITY OF SANTAQUIN CITY**

There wasn't a need to convene the Local Building Authority of Santaquin City Board.



## **CONVENE OF THE SANTAQUIN WATER DISTRICT**

There wasn't a need to convene the Santaquin Water District Board.

## **WORK MEETING**

There wasn't a need to hold a Work Meeting.

## **PETITIONS AND COMMUNICATIONS**

There weren't any Petitions or Communications to address.

## **REPORTS OF OFFICERS, STAFF, BOARDS, AND COMMITTEES**

### ***Community Development Director Bond***

At the last Regional planning committee meeting the Santaquin City was approved for \$4.5 million to continue widening Main street in approximately 2022.

### ***City Engineer Beagley***

Engineer Beagley reported the Booster Pump Station project is moving along. The pumps that were delivered were fabricated incorrectly and were returned.

He reported the 500 West and Parkway designs are underway as well as the soccer field design is ready for review. He believes the design can be reviewed and out to bid within the next couple of weeks.

## **REPORTS BY MAYOR AND COUNCIL MEMBERS**

### ***Mayor Hunsaker***

Mayor Hunsaker reported Sunroc is starting to push stuff into the pit located by Summit Ridge Parkway. Engineer Beagley will check on it.

### ***Council Members***

Council Member Broadhead reported he received a letter from Department of Work Force Services stating the Moderate Hosing report is overdue. Director Bond is working on it.

Council Member Broadhead would like to revisit Ordinance 04-01-2018. He would like to "take a look" at the parking portion of it.

Council Member Rowley reported the Library Board will meet quarterly instead of monthly. The change is due to scheduling conflicts for the Members.

**EXECUTIVE SESSION** (May be called to discuss the character, professional competence, or physical or mental health of an individual)

There wasn't a need to hold an Executive Session to discuss the character, professional competence, or physical or mental health of an individual.

**EXECUTIVE SESSION** (May be called to discuss the pending or reasonably imminent litigation, and/or purchase, exchange, or lease of real property)

There wasn't a need to hold an Executive Session to discuss the pending or reasonably imminent litigation, and/or purchase, exchange, or lease of real property.

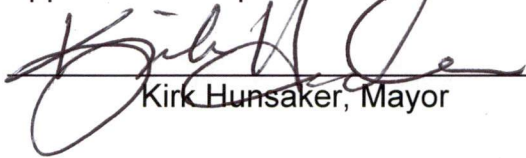
**ADJOURNMENT**

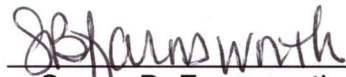
At approximately 8:50 pm Council Member Miller moved to adjourn. Council Member Rowley seconded the motion. The Vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Miller	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

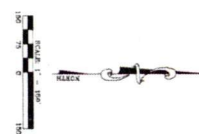
The motion passed 5 to 0.

Approved on September 4, 2018.

  
Kirk Hunsaker, Mayor

  
Susan B. Farnsworth, City Recorder





8/15/2017  
SHEET  
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UNIT ALLOCATION EXHIBIT

NOT FOR  
CONSTRUCTION

**LB**

**A Utah Corporation**

**ENGINEERS**

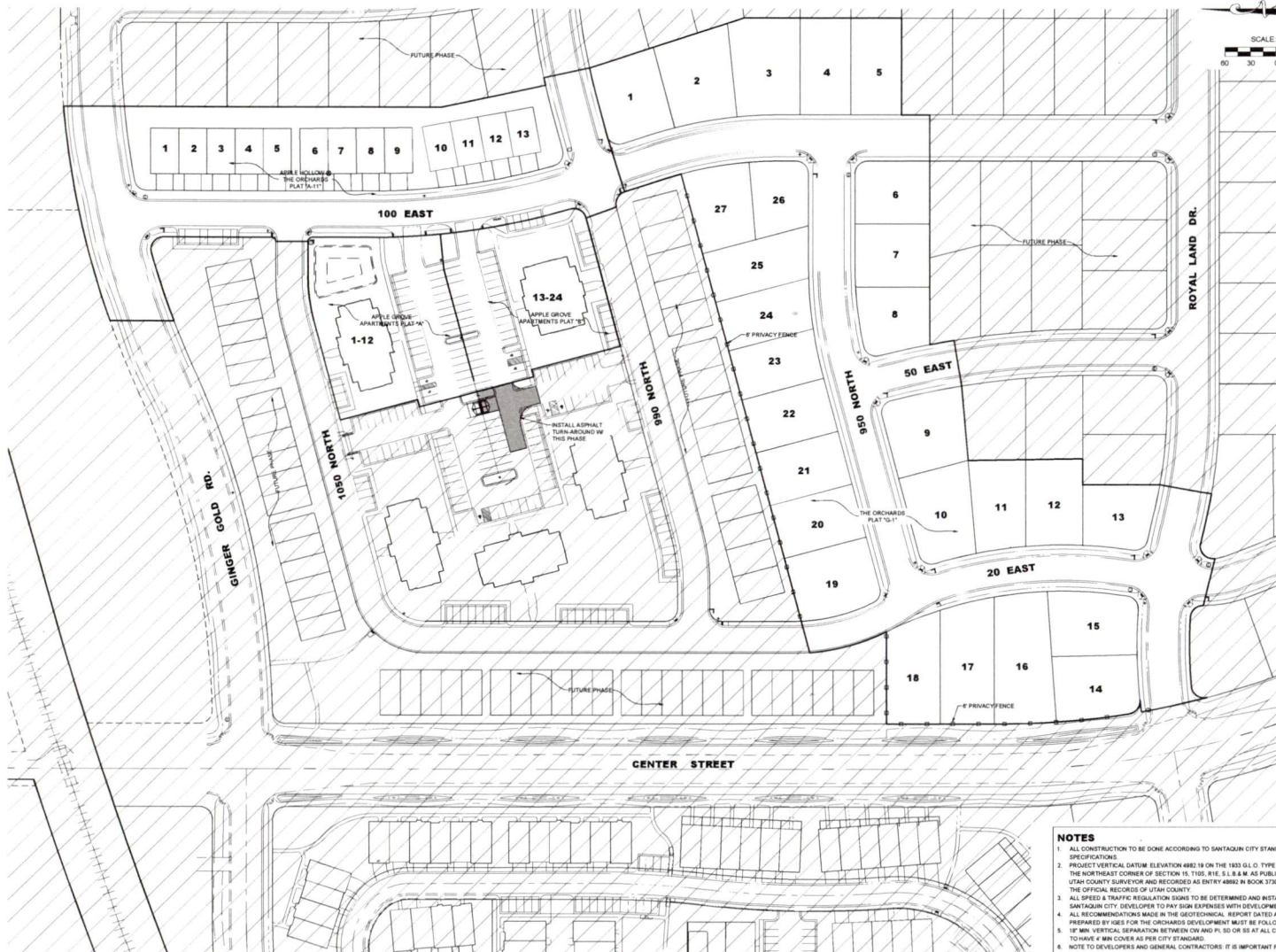
**SURVEYORS**

**PLANNERS**

2302 N. Main Street  
Bohannon, MO 64608  
Phone: 801.798.0086  
Fax: 801.798.0393  
office@lb-engineers.com  
www.lb-engineers.com

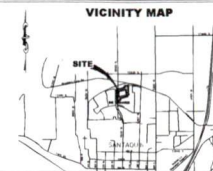
# THE ORCHARDS

## PLATS G-1, A-11 & APPLE GROVE APARTMENTS PLAT A & B



### NOTES

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO SALT LAKE CITY STANDARDS AND SPECIFICATIONS.
2. PROJECT VERTICAL DATUM ELEVATION 4882.19 ON THE 1983 D.T. TYPE MONUMENT AT THE NORTHEAST CORNER OF SECTION 15, T10S, R1E, S1 & 2 AS PUBLISHED BY THE UTAH COUNTY SURVEYOR AND RECORDED AS ENTRY 4882 IN BOOK 3730 PAGE 848 OF THE OFFICIAL RECORDS OF UTAH COUNTY.
3. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SALT LAKE CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
4. ALL RECOMMENDATIONS MADE IN THE GEOTECHNICAL REPORT DATED AUGUST 14, 2007 PREPARED BY GSE FOR THE ORCHARDS DEVELOPMENT MUST BE FOLLOWED.
5. IF MIN. VERTICAL SEPARATION BETWEEN CW AND PL 32 OR 33 AT ALL CROSSINGS, CW TO HAVE 4" MIN COVER AS PER CITY STANDARD.
6. NOTE TO DEVELOPERS AND GENERAL CONTRACTORS: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SALT LAKE CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SALT LAKE CITY STANDARDS.
7. THE PROPOSED LAYOUT FOR THIS DEVELOPMENT WILL REQUIRE PLAT IMPROVEMENTS FOR A-11 AND G-1 TO BE COMPLETED SIMULTANEOUSLY.



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COVER	OVERALL COVER PAGE
SHEET 1	APPLE GROVE APARTMENTS PLAT A-11 PLAT
SHEET 2	APPLE GROVE APARTMENTS PLAT A-11 PLAT
SHEET 3	APPLE GROVE APARTMENTS PLAT A-11 PLAT
SHEET 4	APPLE GROVE APARTMENTS PLAT A-11 PLAT
SHEET 5	APPLE GROVE APARTMENTS PLAT A-11 PLAT
SHEET 6	APPLE GROVE APARTMENTS PLAT A-11 PLAT
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SHEET 13	APPLE GROVE APARTMENTS PLAT A-11 PLAT
SHEET 14	APPLE GROVE APARTMENTS PLAT A-11 PLAT
SHEET 15	APPLE GROVE APARTMENTS PLAT A-11 PLAT

### TABULATIONS

TOTAL AREA	19.61 ACRES±
ZONE	R-10 (PUD)
TOTAL OPEN SPACE	6.99 ACRES±
TOTAL ACRES IN ROADS	3.42 ACRES±
PLAT A-11	
AREA	2.44 ACRES±
# OF UNITS	12 UNITS
DENSITY	5.33 UNITS/ACRES
ACRES IN ROADS	1.29 ACRES±
OPEN SPACE	0.43 ACRES±
PLAT B	
AREA	6.87 ACRES±
# OF LOTS	27 LOTS
DENSITY	4.80 UNITS/ACRES
ACRES IN LOTS	4.54 ACRES±
ACRES IN ROADS	2.13 ACRES±
PLAT C	
AREA	0.77 ACRES±
# OF UNITS	12 UNITS
DENSITY	15.86 UNITS/ACRE
OPEN SPACE	0.36 ACRES±
PLAT D	
AREA	6.71 ACRES±
# OF UNITS	12 UNITS
DENSITY	18.44 UNITS/ACRE
OPEN SPACE	0.30 ACRES±
CORRIDOR PARKING	
PARKING REQUIRED	82 STALLS
PARKING PROVIDED	108 STALLS
ADA PARKING	4 STALLS

### LEGEND

EXISTING	
WATER METER	⊕
WATER VALVE	⊕
WATER VALVE	⊕
FIRE HYDRANT	⊕
SEWER	⊕
SEWER MANHOLE	⊕
STORM DRAIN	⊕
STORM DRAIN MANHOLE	⊕
STORM DRAIN CURB INLET	⊕
PI	⊕
PI VALVE	⊕
FENCE	⊕

### PROPOSED

WATER	⊕
WATER VALVE	⊕
WATER VALVE	⊕
FIRE HYDRANT	⊕
SEWER	⊕
SEWER MANHOLE	⊕
STORM DRAIN	⊕
STORM DRAIN MANHOLE	⊕
STORM DRAIN CURB INLET	⊕
PI	⊕
PI VALVE	⊕
STOP SIGN	⊕
STREET SIGN	⊕

### DEVELOPER / OWNER

BRICK VALLEY DEVELOPMENT LLC  
475 N. 2400 W.  
TREMONTON, UTAH 84073  
(801) 608-1719

### ENGINEER

LEE CONLEY TWO ENGINEERS  
3302 NORTH MAIN  
SPRING FORK, UTAH 84660  
(801) 798-0555

### PROJECT NAME

THE ORCHARDS PLATS G-1, A-11 & APPLE GROVE APARTMENTS PLAT A & B

## THE ORCHARDS EAST SALT LAKE CITY, UTAH

### OVERALL COVER PAGE

### REVISIONS

1.	
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### LEI PROJECT #

2015-0106

### DRAWN BY:

BAP

### DESIGNED BY:

NKW

### SCALE:

1" = 60'

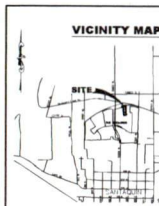
### DATE:

8/02/2018

### SHEET

COVER

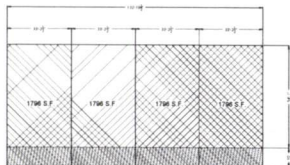




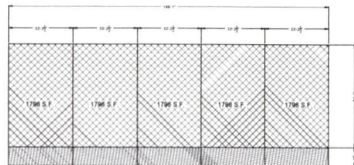
NORTHWEST CORNER  
SECTION 36, T9S, R1E, SLB&M

# APPLE HOLLOW @ THE ORCHARDS PLAT "A-11"

A PORTION OF SECTION 36, T9S, R1E, SLB&M,  
SANTAQUIN CITY, UTAH



**BUILDING "A"**  
(UNITS 6-13)



**BUILDING "B"**  
(UNITS 1-5)

CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	800.00	2°28'49"	34.83	57°21'15"W 34.83
C2	1000.00	15°36'30"	281.88	57°21'15"W 251.23
C3	1000.00	77°24'47"	129.88	58°11'10"W 129.88
C4	1000.00	7°28'51"	132.89	57°24'48"W 132.79
C5	827.50	4°51'36"	36.87	57°32'14"W 26.87
C6	15.00	88°42'54"	23.22	58°01'20"E 20.97
C7	772.50	16°10'38"	218.10	58°01'18"E 217.38
C8	846.00	5°14'13"	88.57	58°21'12"W 88.54
C9	15.00	79°34'16"	20.83	53°47'38"W 19.20
C10	800.00	16°30'30"	251.33	53°00'00"E 250.30

LINE	DIRECTION	LENGTH
L1	N1°56'53"W	18.57
L2	S75°06'25"W	52.86
L3	N10°09'20"E	42.52
L4	N18°08'09"W	28.48
L5	N18°08'09"W	18.13
L6	S73°34'11"E	25.38
L7	S4°30'40"E	20.88
L8	S0°11'11"E	10.43
L9	N22°10'45"W	20.44

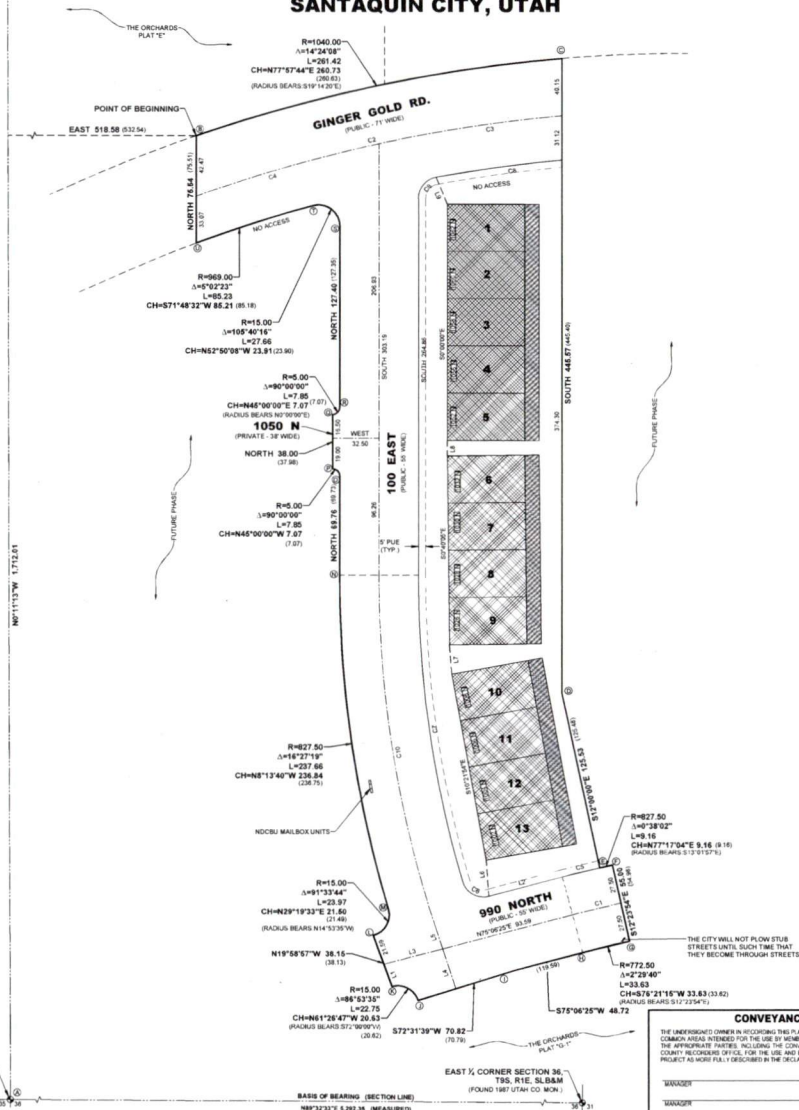
## LEGEND



DRAWING DATE: JANUARY 30, 2018

**OWNER/DEVELOPER**

RIVER VALLEY DEV. LLC  
475 N. 2400 W.  
TREMONTON, UTAH 84677



## NAD27 STATE PLATE COORDINATES

	Northing	Easting
A	603225.78	191688.33
B	603227.10	192041.13
C	603291.45	192077.83
D	604584.09	192072.03
E	604723.32	192072.12
F	604725.33	192077.05
G	604871.04	192072.85
H	604865.71	192070.18
I	604851.19	192072.11
J	604826.00	192072.58
K	604826.78	192071.48
L	604875.82	192080.44
M	604854.37	192074.97
N	604828.88	192081.08
O	604868.41	192081.08
P	605003.41	192075.08
Q	605041.39	192075.08
R	605041.39	192075.08
S	605173.74	192081.08
T	605188.18	192082.05
U	605188.18	192081.13
GRID FACTOR	0.99981	

## NOTES

- ALL HOUSE PLANS TO BE SIGNED BY ARCHITECTURAL REVIEW COMMITTEE PRIOR TO SUBMITTING FOR BUILDING PERMIT.
- ALL ROADWAY AREA, LIMITED COMMON AREA & OPEN SPACE DEDICATED AS A PUBLIC UTILITY, SEWER, CUL-DE-SAC, SECONDARY WATER & CITY STORM DRAINAGE.
- ALL BUILDING WALLS ARE PARALLEL WITH PERPENDICULAR TO REFERENCE BEARING SHOWN ON BUILDING.
- ALL FRONT YARDS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON THE PROPERTY. INCLUSION IN THE AGRICULTURE PROTECTION AREA, THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.
- THIS PROPERTY IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON THE PROPERTY. INCLUSION IN THE AGRICULTURE PROTECTION AREA, THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

## DOMINION ENERGY ACCEPTANCE

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT INCLUDING THOSE SET FORTH IN THE COVENANTS OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT OF WAY DEPARTMENT AT 1-800-586-8822.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_  
DOMINION ENERGY GAS COMPANY

## ROCKY MOUNTAIN POWER ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_  
ROCKY MOUNTAIN POWER COMPANY

## CENTURY LINK ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_  
CENTURY LINK COMPANY

## CONVEYANCE OF COMMON AREAS TO ASSOCIATION

THE UNDERSIGNED OWNER, IN ACCORDANCE WITH THIS PLAT, HAS DESIGNATED CERTAIN AREAS OF THE LAND AS PRIVATE DRIVEWAYS, STREETS, LIMITED COMMON AREAS AND OTHER COMMON AREAS INTENDED FOR THE USE BY MEMBERS OF APPLE HOLLOW HOMEOWNERS ASSOCIATION. THESE AREAS ARE TO BE CONVEYED TO THE APPROPRIATE PARTIES, INCLUDING THE CONVEYANCE OF COMMON AREAS TO APPLE HOLLOW HOMEOWNERS ASSOCIATION BY DEED, TO BE RECORDED IN THE UTAH COUNTY RECORDS OFFICE. FOR THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

## NOTE OF DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS

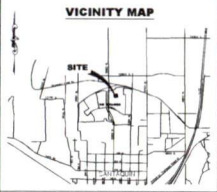
THIS PROJECT, WITH ITS LOTS, EASEMENTS AND COMMON AREAS ARE SUBJECT TO CERTAIN COVENANTS, CONDITIONS, AND RESTRICTIONS AS CONTAINED IN THE DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS FOR THE PLAT OF APPLE HOLLOW @ THE ORCHARDS SUBDIVISION, WHICH ARE RECORDED IN THE OFFICES OF THE UTAH COUNTY RECORDS. THE COVENANTS, CONDITIONS AND RESTRICTIONS ARE ATTENDED TO RUN WITH THE LAND AND TO BIND UPON ALL ALIENS, SUCCESSORS AND ASSIGNS OF THE DECLARANT IN ACCORDANCE WITH THE RECORDED DECLARATION.

## SURVEYOR'S CERTIFICATE

I, RYAN W. HALL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6310724 IN ACCORDANCE WITH TITLE 36, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 11-22-11 OF SDC CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

## BOUNDARY DESCRIPTION

BEGINNING AT A POINT LOCATED N01°13'30" ALONG THE SECTION LINE 1.71221 FEET AND EAST 518.58 FEET FROM THE WEST QUARTER CORNER OF SECTION 36, T9S, R1E, SLB&M (BASIS OF BEARING: N01°13'30" TO THE WEST QUARTER CORNER AND THE EAST QUARTER CORNER OF SECTION 36, T9S, R1E, SLB&M; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE RIGHT 20.142 FEET THROUGH A CENTRAL ANGLE OF 2°24'47" (CHORD: N07°24'47" 20.13 FEET); THENCE SOUTH 44.51 FEET; THENCE S1°14'20"E TO THE LEFT 22.75 FEET THROUGH A CENTRAL ANGLE OF 80°53'30" (CHORD: N01°24'47" 20.83 FEET); THENCE N1°56'53"W 38.15 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 23.87 FEET THROUGH A CENTRAL ANGLE OF 81°32'44" (CHORD: N01°24'47" 21.50 FEET); THENCE ALONG THE ARC OF A 827.50 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE RIGHT 8.16 FEET THROUGH A CENTRAL ANGLE OF 57°21'15" (CHORD: N01°24'47" 7.97 FEET); THENCE S1°14'20"E 50.00 FEET; THENCE ALONG THE ARC OF A 1772.30 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 34.83 FEET THROUGH A CENTRAL ANGLE OF 2°24'47" (CHORD: N07°24'47" 34.83 FEET); THENCE S1°14'20"E 48.72 FEET; THENCE S1°14'20"E 30.90 FEET; THENCE S1°14'20"E 70.82 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 22.75 FEET THROUGH A CENTRAL ANGLE OF 80°53'30" (CHORD: N01°24'47" 20.83 FEET); THENCE N1°56'53"W 38.15 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 23.87 FEET THROUGH A CENTRAL ANGLE OF 81°32'44" (CHORD: N01°24'47" 21.50 FEET); THENCE ALONG THE ARC OF A 827.50 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE RIGHT 8.16 FEET THROUGH A CENTRAL ANGLE OF 57°21'15" (CHORD: N01°24'47" 7.97 FEET); THENCE S1°14'20"E 50.00 FEET; THENCE ALONG THE ARC OF A 1772.30 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 34.83 FEET THROUGH A CENTRAL ANGLE OF 2°24'47" (CHORD: N07°24'47" 34.83 FEET); THENCE S1°14'20"E 48.72 FEET; THENCE S1°14'20"E 30.90 FEET; THENCE S1°14'20"E 70.82 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 22.75 FEET THROUGH A CENTRAL ANGLE OF 80°53'30" (CHORD: N01°24'47" 20.83 FEET); THENCE N1°56'53"W 38.15 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 23.87 FEET THROUGH A CENTRAL ANGLE OF 81°32'44" (CHORD: N01°24'47" 21.50 FEET); THENCE ALONG THE ARC OF A 827.50 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE RIGHT 8.16 FEET THROUGH A CENTRAL ANGLE OF 57°21'15" (CHORD: N01°24'47" 7.97 FEET); THENCE S1°14'20"E 50.00 FEET; THENCE ALONG THE ARC OF A 1772.30 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 34.83 FEET THROUGH A CENTRAL ANGLE OF 2°24'47" (CHORD: N07°24'47" 34.83 FEET); THENCE S1°14'20"E 48.72 FEET; THENCE S1°14'20"E 30.90 FEET; THENCE S1°14'20"E 70.82 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 22.75 FEET THROUGH A CENTRAL ANGLE OF 80°53'30" (CHORD: N01°24'47" 20.83 FEET); 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THENCE S1°14'20"E 48.72 FEET; THENCE S1°14'20"E 30.90 FEET; THENCE S1°14'20"E 70.82 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 22.75 FEET THROUGH A CENTRAL ANGLE OF 80°53'30" (CHORD: N01°24'47" 20.83 FEET); THENCE N1°56'53"W 38.15 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 23.87 FEET THROUGH A CENTRAL ANGLE OF 81°32'44" (CHORD: N01°24'47" 21.50 FEET); THENCE ALONG THE ARC OF A 827.50 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE RIGHT 8.16 FEET THROUGH A CENTRAL ANGLE OF 57°21'15" (CHORD: N01°24'47" 7.97 FEET); THENCE S1°14'20"E 50.00 FEET; THENCE ALONG THE ARC OF A 1772.30 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 34.83 FEET THROUGH A CENTRAL ANGLE OF 2°24'47" (CHORD: N07°24'47" 34.83 FEET); THENCE S1°14'20"E 48.72 FEET; THENCE S1°14'20"E 30.90 FEET; THENCE S1°14'20"E 70.82 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 22.75 FEET THROUGH A CENTRAL ANGLE OF 80°53'30" (CHORD: N01°24'47" 20.83 FEET); THENCE N1°56'53"W 38.15 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 23.87 FEET THROUGH A CENTRAL ANGLE OF 81°32'44" (CHORD: N01°24'47" 21.50 FEET); THENCE ALONG THE ARC OF A 827.50 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE RIGHT 8.16 FEET THROUGH A CENTRAL ANGLE OF 57°21'15" (CHORD: N01°24'47" 7.97 FEET); THENCE S1°14'20"E 50.00 FEET; THENCE ALONG THE ARC OF A 1772.30 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 34.83 FEET THROUGH A CENTRAL ANGLE OF 2°24'47" (CHORD: N07°24'47" 34.83 FEET); THENCE S1°14'20"E 48.72 FEET; THENCE S1°14'20"E 30.90 FEET; THENCE S1°14'20"E 70.82 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 22.75 FEET THROUGH A CENTRAL ANGLE OF 80°53'30" (CHORD: N01°24'47" 20.83 FEET); THENCE N1°56'53"W 38.15 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 23.87 FEET THROUGH A CENTRAL ANGLE OF 81°32'44" (CHORD: N01°24'47" 21.50 FEET); THENCE ALONG THE ARC OF A 827.50 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE RIGHT 8.16 FEET THROUGH A CENTRAL ANGLE OF 57°21'15" (CHORD: N01°24'47" 7.97 FEET); THENCE S1°14'20"E 50.00 FEET; THENCE ALONG THE ARC OF A 1772.30 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 34.83 FEET THROUGH A CENTRAL ANGLE OF 2°24'47" (CHORD: N07°24'47" 34.83 FEET); THENCE S1°14'20"E 48.72 FEET; THENCE S1°14'20"E 30.90 FEET; THENCE S1°14'20"E 70.82 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 22.75 FEET THROUGH A CENTRAL ANGLE OF 80°53'30" (CHORD: N01°24'47" 20.83 FEET); THENCE N1°56'53"W 38.15 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 23.87 FEET THROUGH A CENTRAL ANGLE OF 81°32'44" (CHORD: N01°24'47" 21.50 FEET); THENCE ALONG THE ARC OF A 827.50 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE RIGHT 8.16 FEET THROUGH A CENTRAL ANGLE OF 57°21'15" (CHORD: N01°24'47" 7.97 FEET); THENCE S1°14'20"E 50.00 FEET; THENCE ALONG THE ARC OF A 1772.30 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 34.83 FEET THROUGH A CENTRAL ANGLE OF 2°24'47" (CHORD: N07°24'47" 34.83 FEET); THENCE S1°14'20"E 48.72 FEET; THENCE S1°14'20"E 30.90 FEET; THENCE S1°14'20"E 70.82 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 22.75 FEET THROUGH A CENTRAL ANGLE OF 80°53'30" (CHORD: N01°24'47" 20.83 FEET); THENCE N1°56'53"W 38.15 FEET; THENCE ALONG THE ARC OF A 1540.0 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS: S1°14'20"E) TO THE LEFT 23.87 FEET THROUGH A CENTRAL ANGLE OF 81°32'44" (CHORD: N01°24'47" 21.



# APPLE GROVE APARTMENTS

## PLAT "A"

A PORTION OF SECTION 36, T9S, R1E, SLB&M,  
SANTAQUIN CITY, UTAH

### NAD27 STATE PLANE COORDINATES

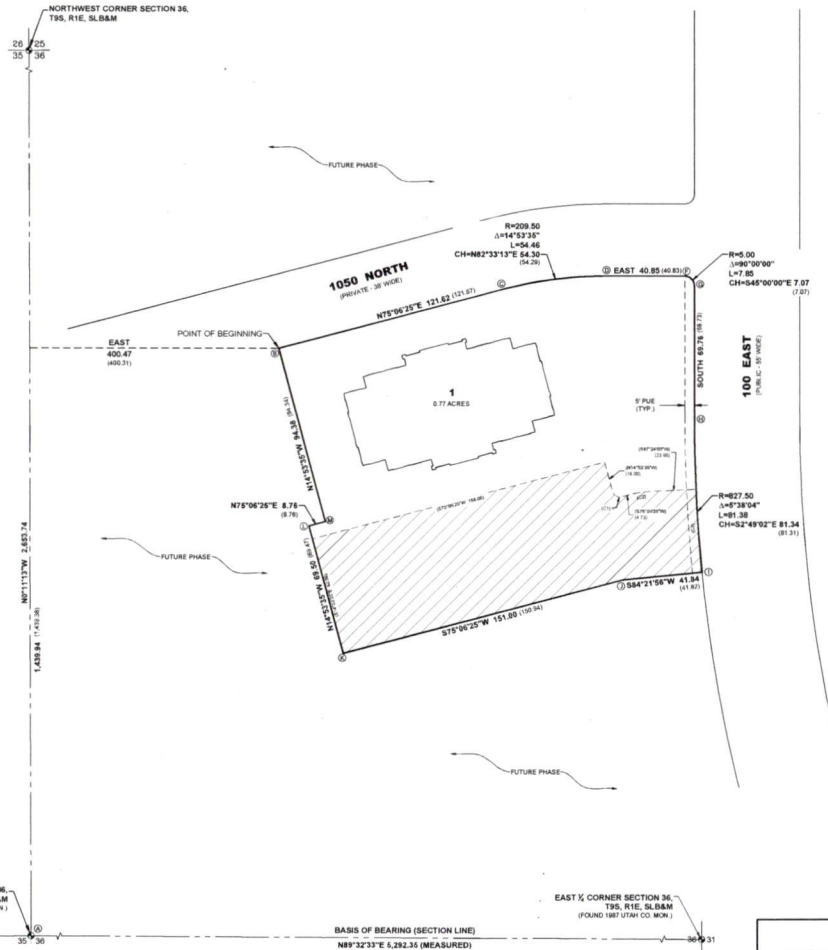
	Northing	Easting
A	80325.78	191886.33
B	80495.13	192035.93
C	80666.37	192081.43
D	80837.61	192032.36
E	81008.85	192078.09
F	81180.09	192081.09
G	81351.33	192081.09
H	81522.57	192081.09
I	81693.81	192081.09
J	81865.05	192081.09
K	82036.29	192081.09
L	82207.53	192081.09

### CURVE TABLE

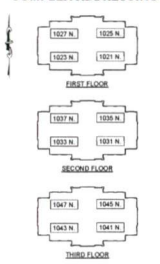
CURVE	RADIUS	DELTA	LENGTH	CHORD
(C1)	4.00	90°00'00"	6.28	5.00
(C2)	50.00	12°17'38"	10.73	58.11
(C3)	827.50	3°52'04"	43.83	824.97

### NOTES:

- TYPE I MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET IN TOP OF CURB TO BE SET AT ALL LOT CORNERS AND REBAR TO BE SET IN TOP OF CURB.
- PROJECTION OF SIDE LOT LINES.
- ALL FRONT YARD LANDSCAPING MUST BE COMPLETED OR INSTALLED PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
- ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
- (XXXX F) ... DENOTES BUILDABLE AREA.
- THIS PROJECT IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN EMPLOYED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON THE PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY AMMOYANCE OR RECOURSE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.



### COMPLEX ADDRESSING



### SURVEYOR'S CERTIFICATE

I, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 1, IN ACCORDANCE WITH TITLE 86, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

### BOUNDARY DESCRIPTION

BEGINNING AT A POINT LOCATED N7°11'37"W ALONG THE SECTION LINE, 1439.94 FEET AND EAST 400.47 FEET FROM THE WEST QUARTER CORNER OF SECTION 36, T9S, R1E, SLB&M (BASIS OF BEARING, N8°32'37"E BETWEEN THE WEST QUARTER CORNER AND THE EAST QUARTER CORNER OF SECTION 36, T9S, R1E, SLB&M); THENCE N7°11'37"W 121.62 FEET; THENCE ALONG THE ARC OF A 206.50 FOOT RADIUS CURVE TO THE RIGHT 14.46 FEET THROUGH A CENTRAL ANGLE OF 14°37'37" CHORD, 186.31 FEET 54.36 FEET; THENCE EAST 40.85 FEET; THENCE ALONG THE ARC OF A 5.00 FOOT RADIUS CURVE TO THE RIGHT 7.85 FEET THROUGH A CENTRAL ANGLE OF 90°00'00" CHORD, 5.00 FEET 7.87 FEET; THENCE SOUTH 88°28'18"W 151.89 FEET; THENCE ALONG THE ARC OF A 827.50 FOOT RADIUS CURVE TO THE LEFT 43.83 FEET THROUGH A CENTRAL ANGLE OF 3°52'04" CHORD, 824.97 FEET 43.83 FEET; THENCE S84°21'58"W 41.34 FEET; THENCE S75°00'25"W 151.89 FEET; THENCE N4°53'20"W 14.38 FEET TO THE POINT OF BEGINNING.

CONTAINS: 10.77 ACRES

DATE: \_\_\_\_\_ SURVEYOR: \_\_\_\_\_

### OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

### LIMITED LIABILITY COMPANY ACKNOWLEDGEMENT

STATE OF UTAH, S.S.  
COUNTY OF UTAH  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME, \_\_\_\_\_ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE \_\_\_\_\_ OF \_\_\_\_\_ LIMITED LIABILITY COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

NOTARY PUBLIC NAME: \_\_\_\_\_  
COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
A NOTARY PUBLIC COMMISSIONED IN UTAH

### ACCEPTANCE BY LEGISLATIVE BODY

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC. THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

APPROVED BY MAYOR: \_\_\_\_\_

APPROVED: \_\_\_\_\_ ENGINEER (See Seal Below) ATTEST: \_\_\_\_\_ CLERK/RECORDER (See Seal Below)

### PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY THE \_\_\_\_\_ PLANNING COMMISSION  
DIRECTOR/SECRETARY: \_\_\_\_\_ CHAIRMAN PLANNING COMMISSION: \_\_\_\_\_

### PLAT "A"

# APPLE GROVE APARTMENTS

A PLANNED COMMUNITY

### CENTRACOM ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY: \_\_\_\_\_ CENTRACOM COMPANY

### CENTURY LINK ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY: \_\_\_\_\_ CENTURY LINK COMPANY

### ROCKY MOUNTAIN POWER ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, BY: \_\_\_\_\_ ROCKY MOUNTAIN POWER

### DOMINION ENERGY ACCEPTANCE

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT OF WAY DEPARTMENT AT 1-800-368-8832.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY: \_\_\_\_\_ DOMINION ENERGY GAS COMPANY

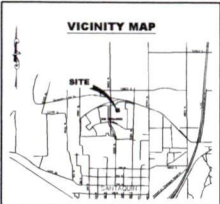


DRAWING DATE: JANUARY 30, 2018

### OWNER/DEVELOPER

RIVER VALLEY DEV. LLC  
470 N. 2400 W.  
TREMONTON, UTAH 84337





# APPLE GROVE APARTMENTS

## PLAT "B"

A PORTION OF SECTION 36, T9S, R1E, SLB&M,  
SANTAQUIN CITY, UTAH



### SURVEYOR'S CERTIFICATE

I, \_\_\_\_\_ DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. \_\_\_\_\_ IN ACCORDANCE WITH TITLE 58, CHAPTER 2, OF THE UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-21-1, OF SAID CODE, AND HAVE SURVEYED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

### BOUNDARY DESCRIPTION

BEGINNING AT A POINT LOCATED N7°11'37" ALONG THE SECTION LINE 1279.31 FEET AND EAST 433.60 FEET TO THE WEST QUARTER CORNER OF SECTION 36, T9S, R1E, SLB&M (BASIS OF BEARING: N8°32'37" BETWEEN THE WEST QUARTER CORNER AND THE EAST QUARTER CORNER OF SECTION 36, T9S, R1E, SLB&M; THENCE N7°02'25" 151.00 FEET; THENCE N4°21'56" 41.84 FEET; THENCE ALONG THE ARC OF A 827.50 FOOT RADIUS NON-TANGENT CURVE (RADIUS BEARS N4°21'56" TO THE LEFT 158.28 FEET THROUGH A CENTRAL ANGLE OF 10°40'59" (CHORD: 158.28 FEET); THENCE N4°21'56" 158.28 FEET; THENCE ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE RIGHT 23.97 FEET THROUGH A CENTRAL ANGLE OF 91°32'44" (CHORD: 23.97 FEET); THENCE S7°06'25" 8.76 FEET; THENCE S7°06'25" 158.07 FEET; THENCE N4°33'34" 166.05 FEET; THENCE N4°33'34" 166.05 FEET TO THE POINT OF BEGINNING.

CONTAINS: 47.73 ACRES

DATE \_\_\_\_\_ SURVEYOR \_\_\_\_\_

### OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

### LIMITED LIABILITY COMPANY ACKNOWLEDGEMENT

STATE OF UTAH  
COUNTY OF UTAH  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, I, \_\_\_\_\_, PERSONALLY APPEARED BEFORE ME, \_\_\_\_\_, THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE \_\_\_\_\_ OF \_\_\_\_\_ LIMITED LIABILITY COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

NOTARY PUBLIC FULL NAME: \_\_\_\_\_  
COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
A NOTARY PUBLIC COMMISSIONED IN UTAH

### ACCEPTANCE BY LEGISLATIVE BODY

THE \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC.

APPROVED BY MAYOR \_\_\_\_\_ ATTEST: \_\_\_\_\_

APPROVED: \_\_\_\_\_ ENGINEER (SEAL) \_\_\_\_\_

### PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ BY THE \_\_\_\_\_ PLANNING COMMISSION

DIRECTOR/SECRETARY \_\_\_\_\_ CHAIRMAN, PLANNING COMMISSION \_\_\_\_\_

PLAT "B"

# APPLE GROVE APARTMENTS

A PLANNED COMMUNITY

SANTAQUIN \_\_\_\_\_ UTAH COUNTY, UTAH

SCALE: 1" = 30'

SURVEYOR'S SEAL \_\_\_\_\_ NOTARY PUBLIC SEAL \_\_\_\_\_ CITY/COUNTY ENGINEER SEAL \_\_\_\_\_ COUNTY RECORDER SEAL \_\_\_\_\_

This form approved by Utah County and the Notariables thereon.

### NAD27 STATE PLANE COORDINATES

Point	Easting	Northing
A	403525.78	1019689.33
B	404804.57	1020387.59
C	404843.36	1020543.46
D	404847.47	1020585.09
E	404894.37	1020814.97
F	404875.03	1020884.44
G	404835.02	1020481.74
H	404738.88	1020423.91
I	404737.43	1020415.45
GRID FACTOR: 0.99981		

### CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD
(C1)	4.80	96.3057°	8.74	332.2154"W 5.37
(C2)	827.50	2°44'34"	36.61	57°02'25"E 36.61

### NOTES:

1. TYPE I MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET AS REBAR & CAP TO BE SET AT ALL LOT CORNERS, MAIL AND BRASS WASHER TO BE SET IN TOP OF CURB.
2. PROJECTION OF SIDE LOT LINES.
3. NDCB: NEIGHBORHOOD DELIVERY BOX UNIT.
4. ALL FRONT YARD LANDSCAPING MUST BE BONDED OR INSTALLED PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
5. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VISION AREAS, WHICH MAY IMPACT HOME ORIENTATION.
6. (XXXX S.F.) - DENOTES BUILDABLE AREA.
7. THIS PROJECT IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON THE PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY AGRICULTURE OR INCONEVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.



DRAWING DATE: SEPTEMBER 8, 2017

### OWNER/DEVELOPER

RIVER VALLEY DEV. LLC  
470 N. 2400 W.  
TREMONTON, UTAH 84337

### DOMINION ENERGY ACCEPTANCE

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTICE AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT OF WAY DEPARTMENT AT 1-800-398-8532.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_  
DOMINION ENERGY GAS COMPANY  
BY: \_\_\_\_\_  
TITLE: \_\_\_\_\_

### CENTRACOM ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
CENTRACOM COMPANY  
BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

### CENTURY LINK ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
CENTURY LINK COMPANY  
BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

### ROCKY MOUNTAIN POWER ACCEPTANCE

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
ROCKY MOUNTAIN POWER  
BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

# THE ORCHARDS

## PLAT "G-1"

A PLANNED COMMUNITY

A PORTION OF THE NORTHWEST 1/4 OF SECTION 36, T.9S., R.1E., S.L.B.&M., SANTAQUIN CITY, UTAH

LINE	DIRECTION	LENGTH
1	N 7° 30' 00" E	12.85
2	S 7° 30' 00" E	12.85
3	N 7° 30' 00" E	4.23
4	S 7° 30' 00" E	31.48
5	N 7° 30' 00" E	18.74
6	S 7° 30' 00" E	12.70

### CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	15.00	80°30'00"	23.72	N65°10'15"W 31.33
C2	631.00	4°30'00"	54.28	S86°29'32"W 54.24
C3	631.00	4°30'00"	54.28	N88°34'51"W 54.24
C4	631.00	8°11'19"	108.54	S88°34'51"W 108.40
C5	15.00	80°30'00"	23.72	N65°10'15"W 31.33
C6	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C7	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C8	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C9	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C10	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C11	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C12	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C13	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C14	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C15	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C16	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C17	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C18	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C19	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C20	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C21	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C22	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C23	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C24	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C25	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C26	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C27	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C28	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C29	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C30	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C31	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C32	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C33	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C34	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C35	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C36	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C37	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C38	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C39	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C40	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C41	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C42	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C43	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C44	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C45	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C46	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C47	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C48	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C49	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C50	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C51	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C52	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C53	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C54	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C55	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C56	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C57	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C58	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C59	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C60	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C61	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C62	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C63	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C64	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C65	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C66	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C67	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C68	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C69	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C70	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C71	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C72	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C73	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C74	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C75	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C76	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C77	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C78	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C79	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C80	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C81	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C82	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C83	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C84	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C85	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C86	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C87	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C88	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C89	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C90	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C91	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C92	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C93	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C94	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C95	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C96	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C97	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C98	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C99	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C100	472.50	9°37'47"	82.16	N7°42'21"E 82.06



ENGINEERS  
SURVEYORS  
PLANNERS

OWNER/DEVELOPER  
WEST 1/4 CORNER  
SECTION 36, T.9S., R.1E., S.L.B.&M.  
(FOUND 1952 UTAH CO. MON.)

RIVER VALLEY DEV. CO.  
470 N. 2400 W.  
THE MOUNTAIN, UTAH 84037

DRAWING DATE: FEBRUARY 18, 2018

SCALE: 1" = 50'

BASE OF BEARING (SECTION LINE)  
N89°32'33"E 6,292.35

EAST 1/4 CORNER SECTION 36,  
T.9S., R.1E., S.L.B.&M.  
(FOUND 1967 UTAH CO. MON.)

55° 30'

50° 30'

55° 30'

50° 30'

55° 30'

50° 30'

### VICINITY MAP



SCALE: 1" = 50'

BASE OF BEARING (SECTION LINE)  
N89°32'33"E 6,292.35

EAST 1/4 CORNER SECTION 36,  
T.9S., R.1E., S.L.B.&M.  
(FOUND 1967 UTAH CO. MON.)

55° 30'

50° 30'

55° 30'

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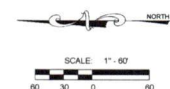
### LINE TABLE

LINE	DIRECTION	LENGTH
1	N 7° 30' 00" E	12.85
2	S 7° 30' 00" E	12.85
3	N 7° 30' 00" E	4.23
4	S 7° 30' 00" E	31.48
5	N 7° 30' 00" E	18.74
6	S 7° 30' 00" E	12.70

### CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	15.00	80°30'00"	23.72	N65°10'15"W 31.33
C2	631.00	4°30'00"	54.28	S86°29'32"W 54.24
C3	631.00	4°30'00"	54.28	N88°34'51"W 54.24
C4	631.00	8°11'19"	108.54	S88°34'51"W 108.40
C5	15.00	80°30'00"	23.72	N65°10'15"W 31.33
C6	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C7	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C8	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C9	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C10	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C11	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C12	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C13	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C14	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C15	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C16	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C17	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C18	472.50	9°37'47"	82.16	N7°42'21"E 82.06
C19	472.50	9°37'47"	82.16	N7°4





LEGEND	
EXISTING	
WATER METER	⊕
WATER	—(X)—
WATER VALVE	⊕
FIRE HYDRANT	⊕
SEWER	—(X)—
SEWER MANHOLE	⊕
STORM DRAIN	⊕
STORM DRAIN MANHOLE	⊕
STORM DRAIN CURB INLET	⊕
PI	⊕
PI VALVE	⊕
FENCE	—X—
PROPOSED	
WATER	—(X)—
WATER VALVE	⊕
WATER METER	⊕
FIRE HYDRANT	⊕
SEWER	—(X)—
SEWER MANHOLE	⊕
STORM DRAIN	⊕
STORM DRAIN MANHOLE	⊕
STORM DRAIN CURB INLET	⊕
PI	⊕
PI VALVE	⊕

**GENERAL NOTE:**  
THE PROPOSED LAYOUT FOR THIS DEVELOPMENT WILL REQUIRE PLAT IMPROVEMENTS FOR A-11 AND G-1 TO BE COMPLETED SIMULTANEOUSLY.

**LEI**  
A Utah Corporation  
**ENGINEERS  
SURVEYORS  
PLANNERS**

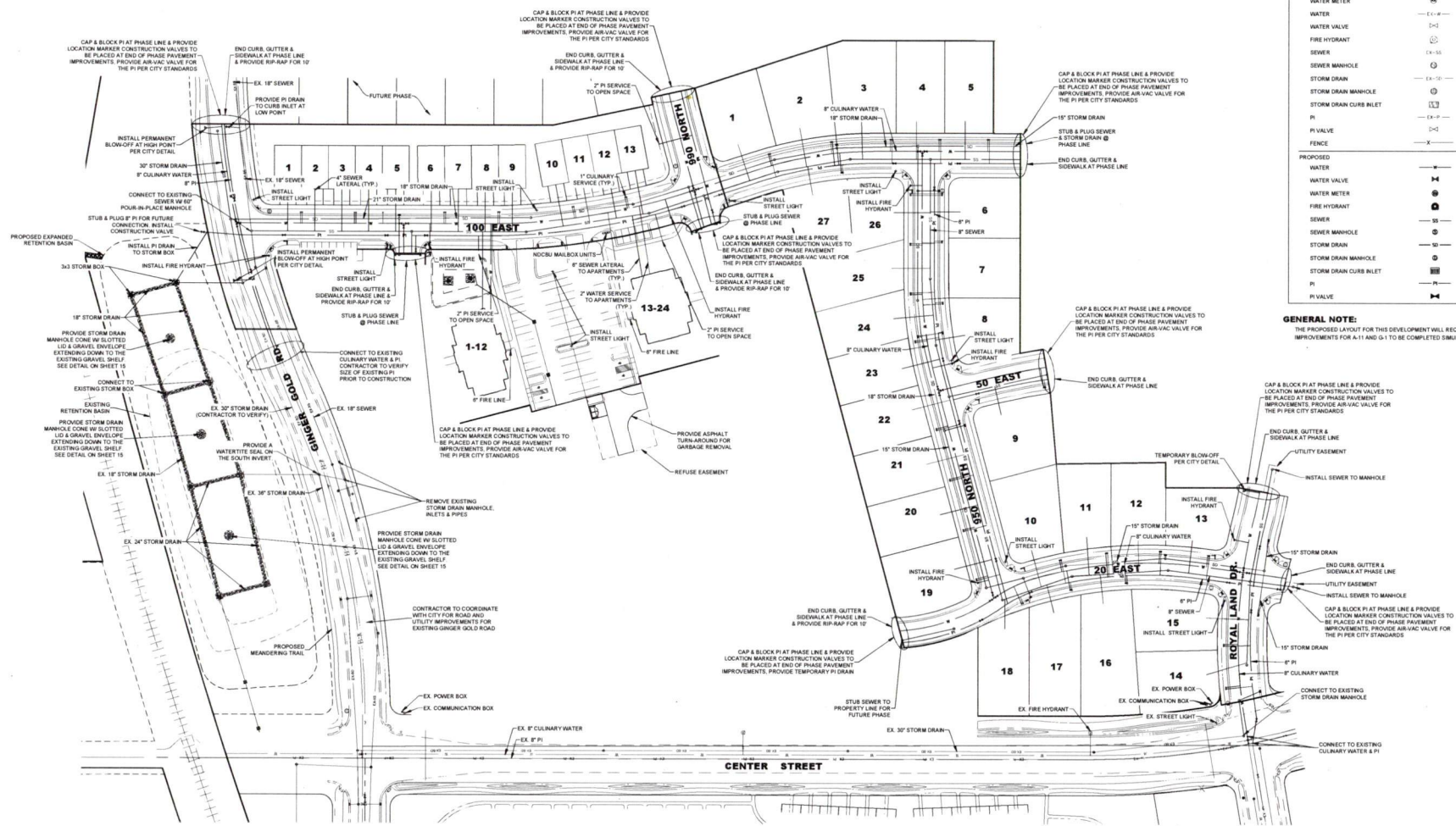
3302 N. Main Street  
Spanish Fork, UT 84600  
Phone: 801.786.0555  
Fax: 801.786.9393  
office@lei-eng.com  
www.lei-eng.com

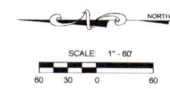


**THE ORCHARDS EAST**  
SANTAQUIN, UTAH  
**UTILITY PLAN**

REVISIONS	
1	
2	
3	
4	
5	

LEI PROJECT #: 2015-0106  
DRAWN BY: BAP  
DESIGNED BY: NKW  
SCALE: 1" = 60'  
DATE: 8/02/2018  
SHEET  
**1**





**CUT / FILL**

CUT FILL VOLUME TO FINISHED GRADE  
CUT - 136 CU YD  
FILL - 2,370 CU YD  
NET FILL - 2,234 CU YD

STREET SECTION FILL VOLUME - 5,425 CU YD  
ROAD AREA LIP-UP - 77,000 SQ FT x 1.9 FT (DEPTH) = 146,471 CU FT  
3 IN ASPHALT  
8 IN ROAD BASE  
12 IN SUB-BASE (FOR GRD-TECH REPORT)  
DEPTH-23 IN OR 1.9 FT

SIDEWALK SECTION FILL VOLUME - 700 CU YD  
SIDEWALK - 22,771 SQ FT x 0.83 FT (DEPTH) = 18,900 CU FT  
4 IN CONCRETE  
6 IN ROAD-BASE  
DEPTH-10 IN OR 0.83 FT

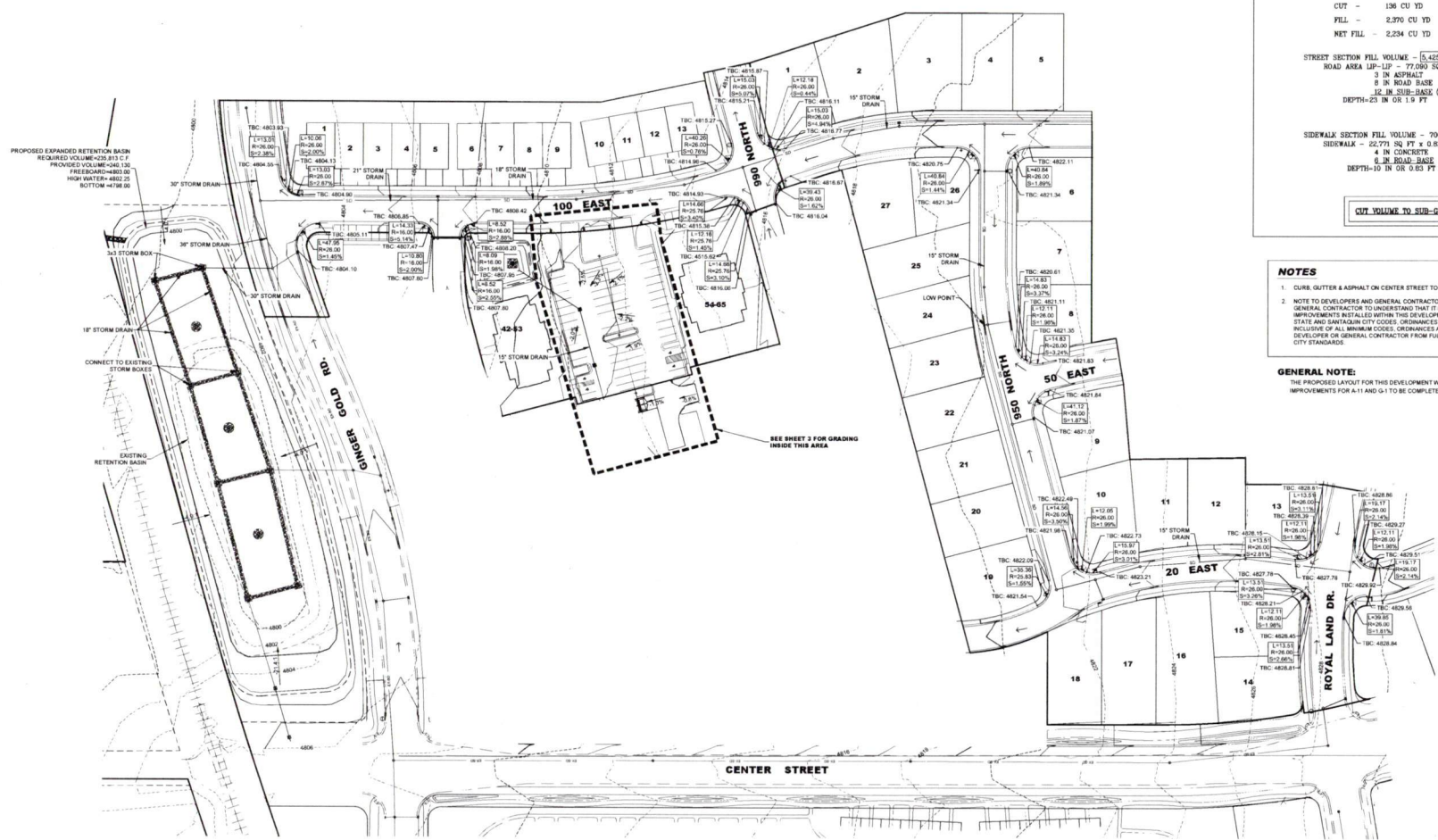
CUT VOLUME TO SUB-GRADE = 3,891 CU YD

**NOTES**

1. CURB, GUTTER & ASPHALT ON CENTER STREET TO BE INSTALLED BY CITY.
2. NOTE TO DEVELOPERS AND GENERAL CONTRACTORS: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HIS RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SALT LAKE CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SALT LAKE CITY STANDARDS.

**GENERAL NOTE:**

THE PROPOSED LAYOUT FOR THIS DEVELOPMENT WILL REPLACE IMPROVEMENTS FOR A-11 AND G-11 TO BE COMPLETED SIMULTANEOUSLY.



**LEI**  
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**ENGINEERS  
SURVEYORS  
PLANNERS**  
3302 N. Main Street  
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office@lei-eng.com  
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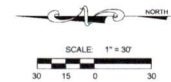


**THE ORCHARDS EAST**  
SALT LAKE, UTAH  
GRADING PLAN #1

REVISIONS	
1.	
2.	
3.	
4.	
5.	

LEI PROJECT #	2015-0106
DRAWN BY	BAP
DESIGNED BY	NKW
SCALE:	1" = 60'
DATE:	8/02/2015
SHEET	





**LEGEND**  
 --- FLOW CURS  
 --- EXISTING CONTOURS  
 --- PROPOSED CONTOURS

**GENERAL NOTE:**  
 THE PROPOSED LAYOUT FOR THIS DEVELOPMENT WILL REQUIRE PLAT IMPROVEMENTS FOR A-11 AND G-1 TO BE COMPLETED SIMULTANEOUSLY.



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 Spanish Fork, UT 84600  
 Phone: 801.798.0555  
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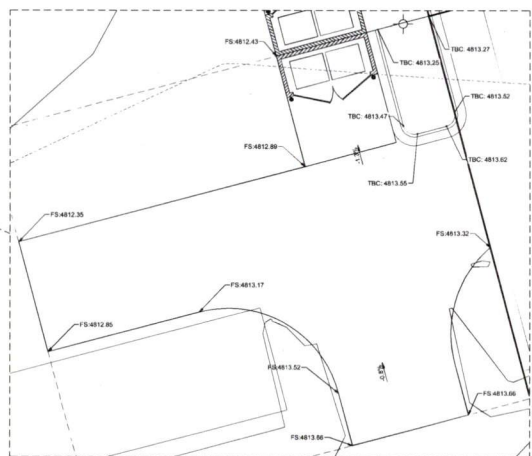
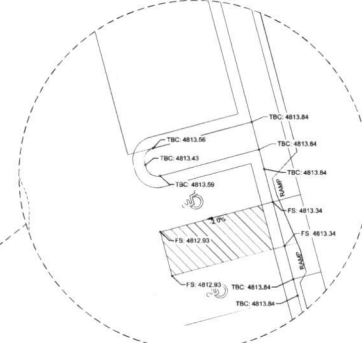
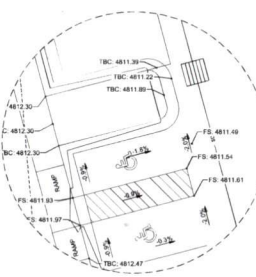
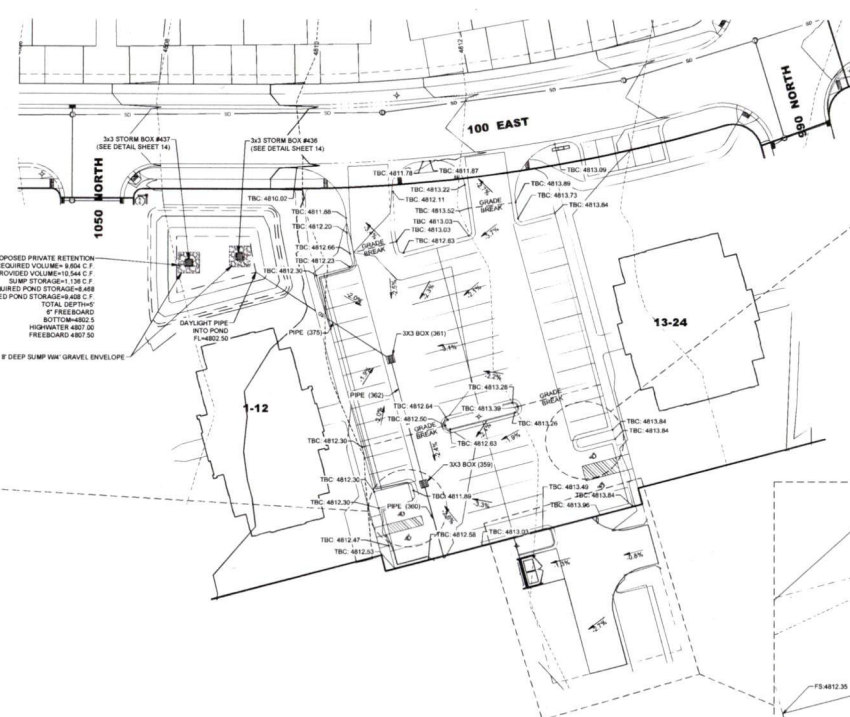


**THE ORCHARDS EAST**  
 SANTAQUIN, UTAH  
 GRADING PLAN #2

REVISIONS	
1	
2	
3	
4	
5	

LEI PROJECT #  
 2015-0106  
 DRAWN BY:  
 BAP  
 DESIGNED BY:  
 NKW  
 SCALE:  
 1" = 30'  
 DATE:  
 8/02/2018

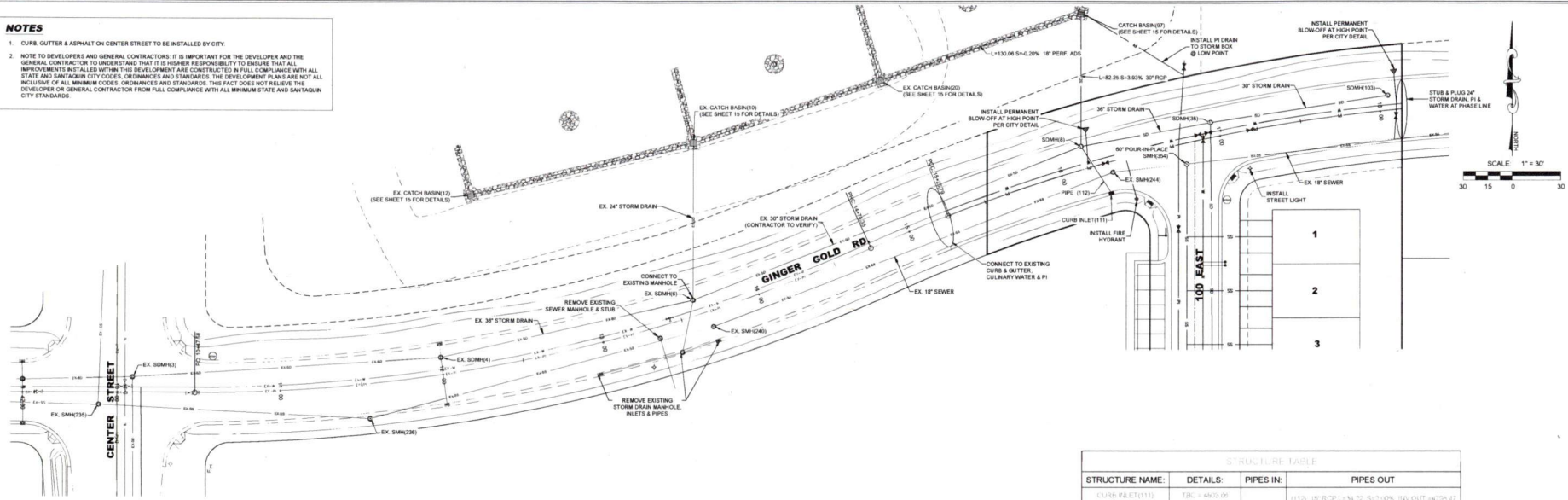
SHEET  
**3**



STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
3x3 STORM BOX	GRATE: 4811.38 BOX IN: 4809.13 BOX OUT: 4809.13	(408) 15" RCP L159.50 S10.50%	(360) 15" RCP L162.00 S10.50%
3x3 BOX (361)	GRATE: 4870.76 BOX IN: 4868.76 BOX OUT: 4868.76	(360) 15" RCP L169.00 S10.50%	(375) 15" RCP L163.50 S12.75%

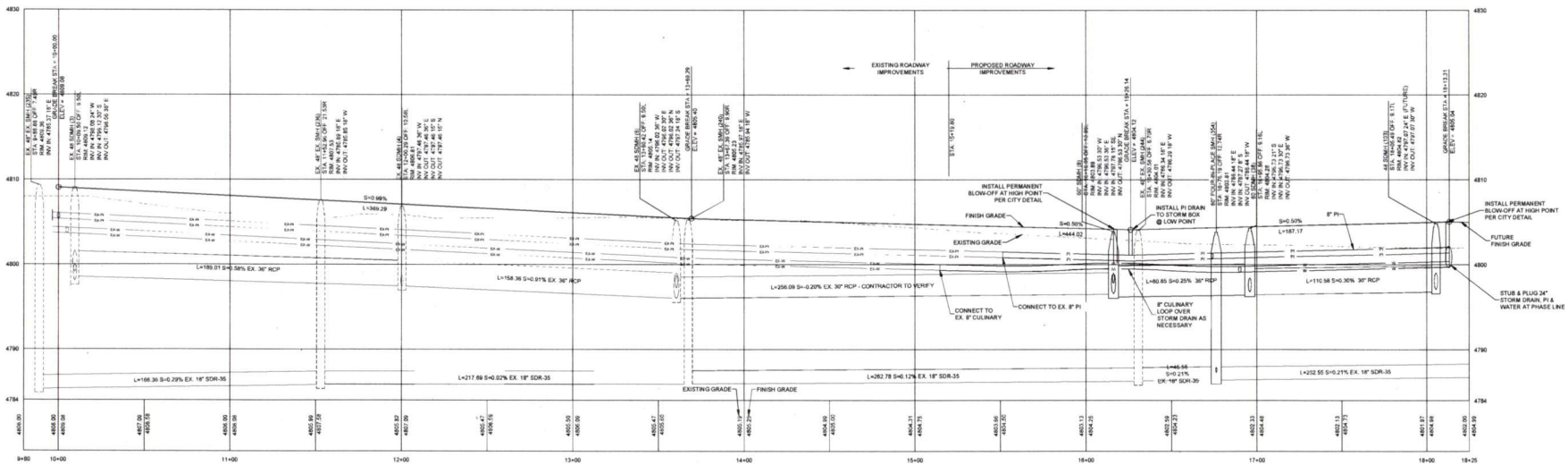
# NOTES

1. CURB, GUTTER AND ASPHALT ON CENTER STREET TO BE INSTALLED BY CITY.
2. NOTE TO DEVELOPERS AND GENERAL CONTRACTORS: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS THEIR RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIAGO CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THE FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIAGO CITY STANDARDS.



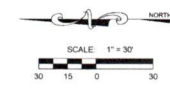
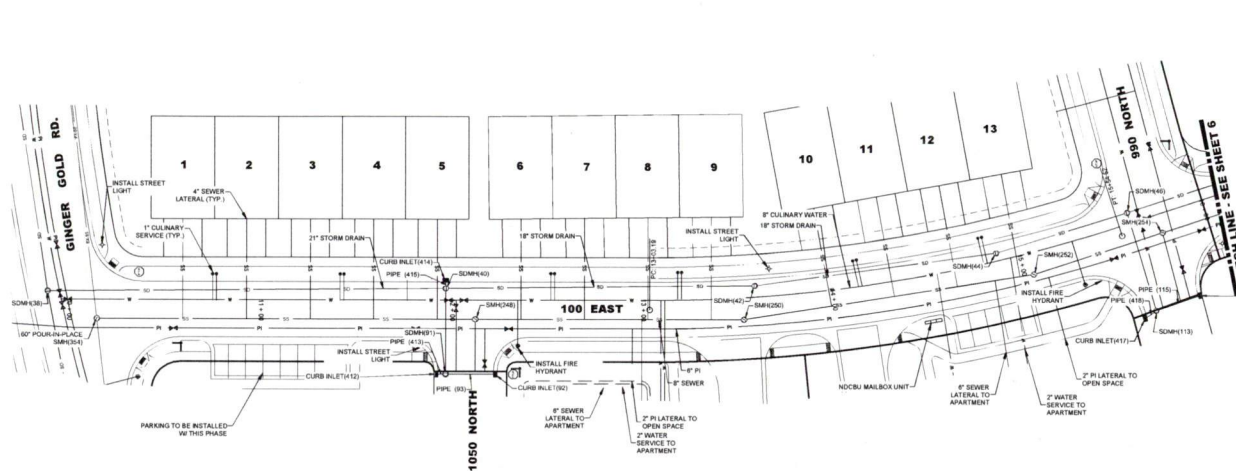
**GINGER GOLD PLAN VIEW**  
CENTERLINE OMITTED FOR CLARITY

STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
CURB INLET(111) STA 19+28.14	TBL = 4605.09 12V C&T = 4759.47		(112), 18" RCP L=54.32 S=3.0% INV OUT =4759



**GINGER GOLD PROFILE VIEW**

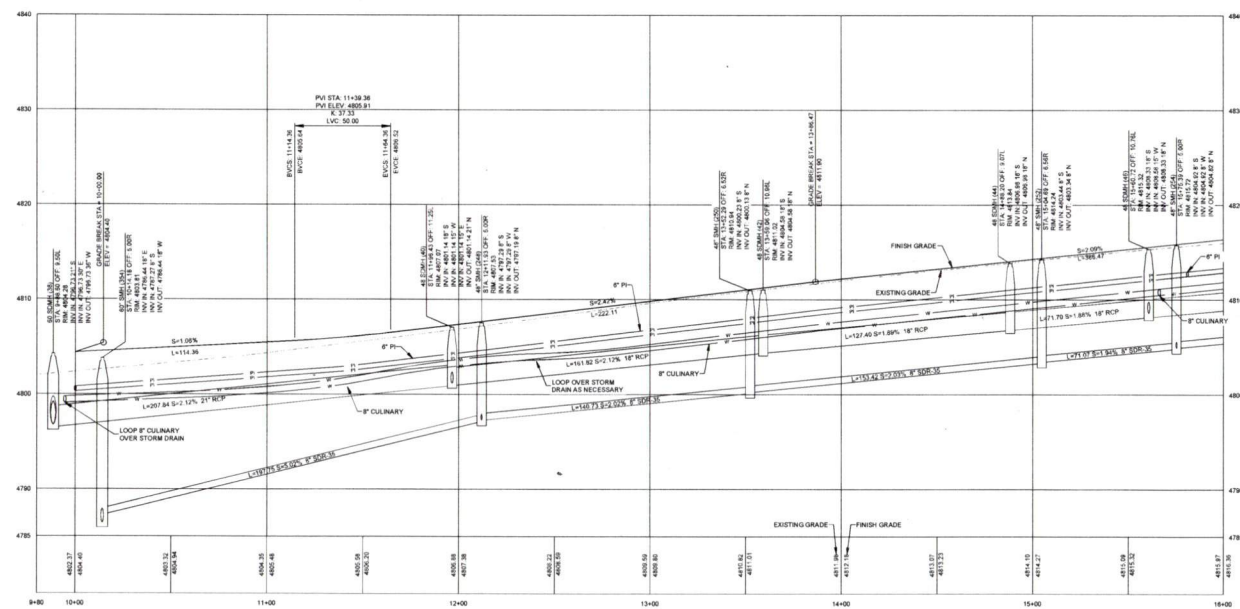




**100 EAST PLAN VIEW**  
CENTERLINE OMITTED FOR CLARITY

- NOTES**
1. CURB, GUTTER & ASPHALT ON CENTER STREET TO BE INSTALLED BY CITY.
  2. NOTE TO DEVELOPERS AND GENERAL CONTRACTORS: IT IS THE RESPONSIBILITY OF THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SALT LAKE CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SALT LAKE CITY STANDARDS.

STRUCTURE NAME	DETAILS	PIPES IN	PIPES OUT
CURB INLET (414)	700' - 400' N	10" RCP	10" RCP
STREET LIGHT (414)	700' - 400' N	10" RCP	10" RCP

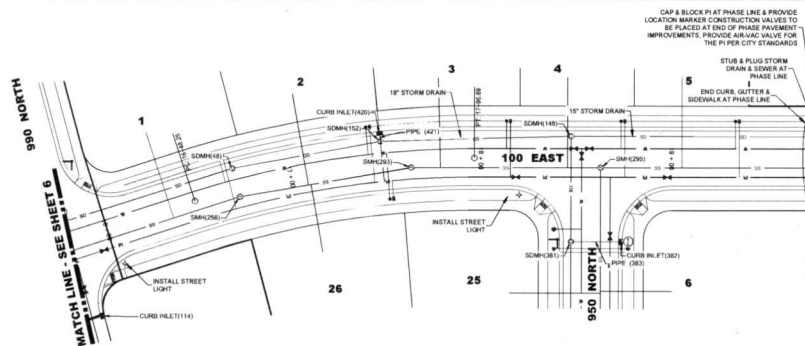


**100 EAST PROFILE VIEW**



REVISIONS
1.
2.
3.
4.
5.

LEI PROJECT #  
2015-0106  
DRAWN BY:  
BAP  
DESIGNED BY:  
NKW  
SCALE:  
1" = 30'  
DATE:  
8/02/2018  
SHEET

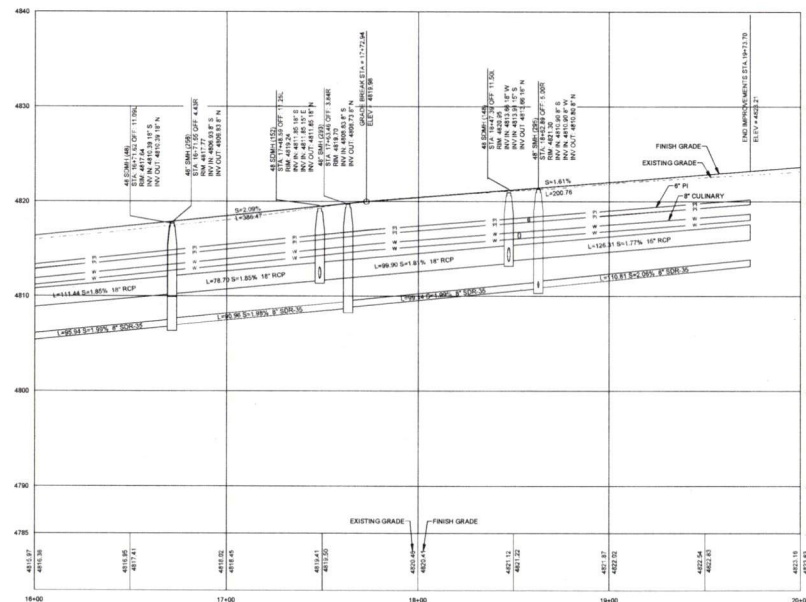


**100 EAST PLAN VIEW**  
CENTERLINE OMITTED FOR CLARITY

STRUCTURE TABLE			
STRUCTURE NAME	DETAILS	PIPES IN	PIPES OUT
1. CURB & GUTTER	750' - 547.50'		
2. 15" RCP	15' - 452.25'		

**NOTES**

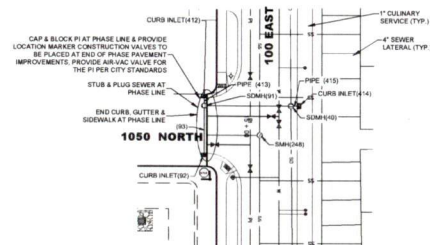
1. CURB, GUTTER & ASPHALT ON CENTER STREET TO BE INSTALLED BY CITY.
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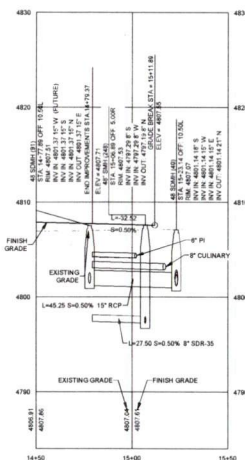
**100 EAST PROFILE VIEW**



STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT:
CURB INLET (117)	15" x 14" x 24"	15" x 14" x 24"	15" x 14" x 24"
CURB INLET (118)	15" x 14" x 24"	15" x 14" x 24"	15" x 14" x 24"
CURB INLET (119)	15" x 14" x 24"	15" x 14" x 24"	15" x 14" x 24"
CURB INLET (120)	15" x 14" x 24"	15" x 14" x 24"	15" x 14" x 24"

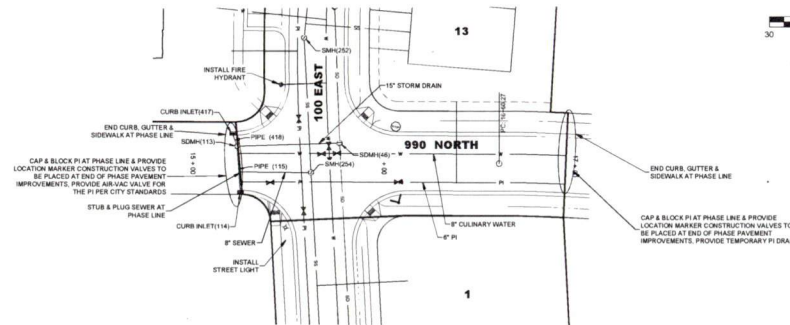


**1050 NORTH PLAN VIEW**  
CENTERLINE OMITTED FOR CLARITY



**1050 NORTH PROFILE VIEW**

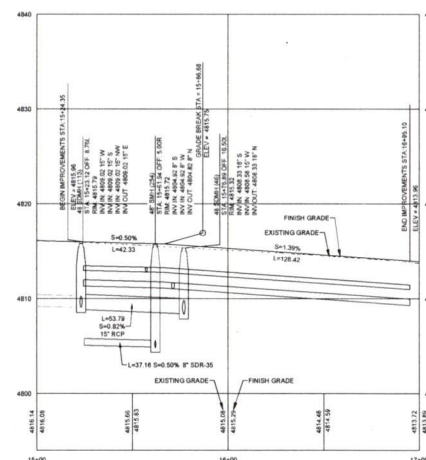
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT:
CURB INLET (117)	15" x 14" x 24"	15" x 14" x 24"	15" x 14" x 24"
CURB INLET (118)	15" x 14" x 24"	15" x 14" x 24"	15" x 14" x 24"
CURB INLET (119)	15" x 14" x 24"	15" x 14" x 24"	15" x 14" x 24"
CURB INLET (120)	15" x 14" x 24"	15" x 14" x 24"	15" x 14" x 24"



**990 NORTH PLAN VIEW**  
CENTERLINE OMITTED FOR CLARITY

#### NOTES

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**990 NORTH PROFILE VIEW**



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Spanish Fork, UT 84603  
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info@lel-eng.com  
www.lel-eng.com



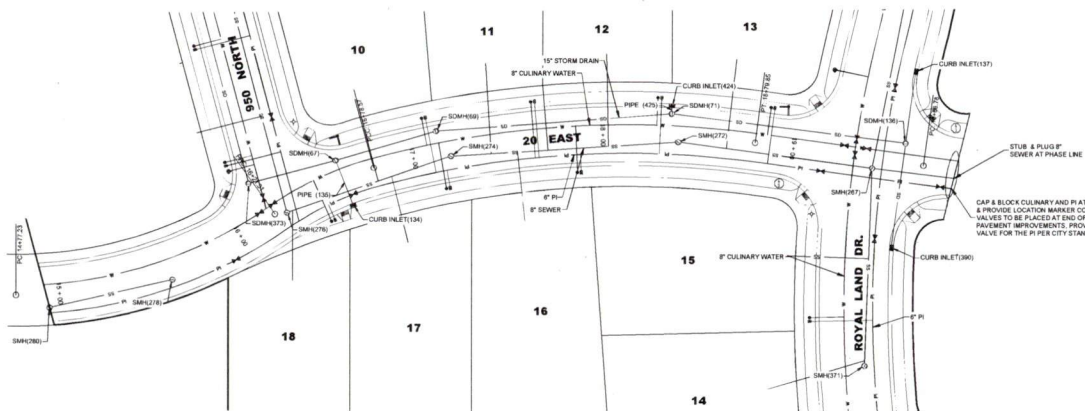
**THE ORCHARDS EAST**  
SANTAQUIN, UTAH  
1050 NORTH & 990 NORTH PLAN & PROFILE

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LEI PROJECT #  
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8/02/2018

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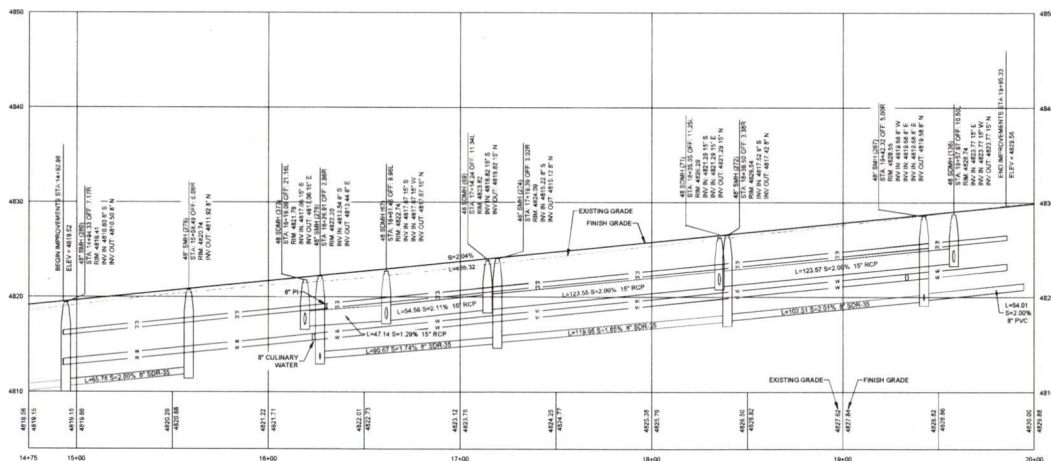
**7**



**20 EAST PLAN VIEW**  
CENTERLINE OMITTED FOR CLARITY

**NOTES**

1. CURB, GUTTER & ASPHALT ON CENTER STREET TO BE INSTALLED BY CITY.
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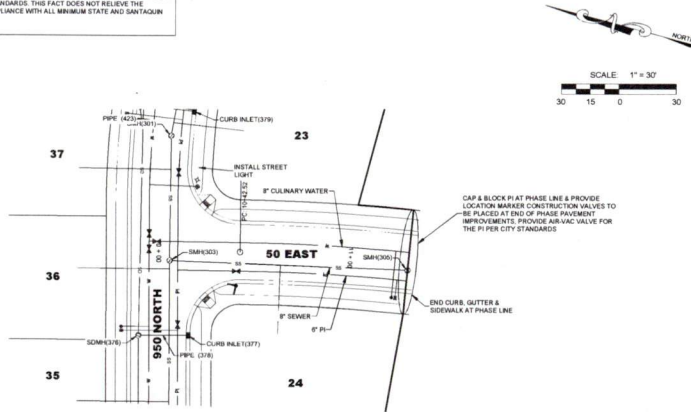
**20 EAST PROFILE VIEW**

STRUCTURE TABLE			
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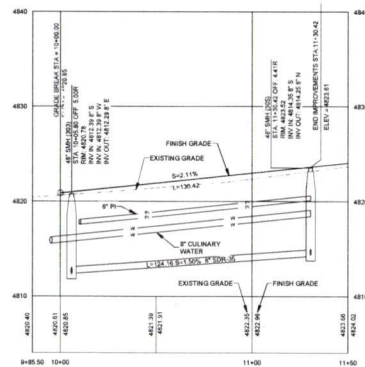
# NOTES

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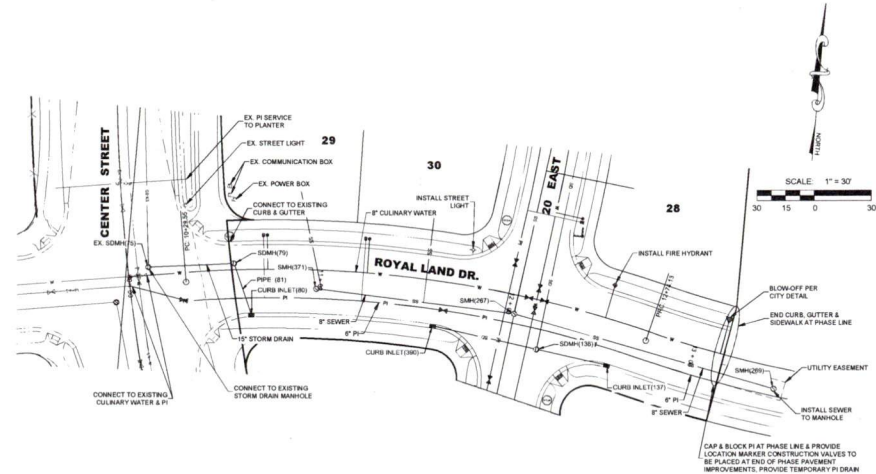


**50 EAST PLAN VIEW**  
CENTERLINE OMITTED FOR CLARITY

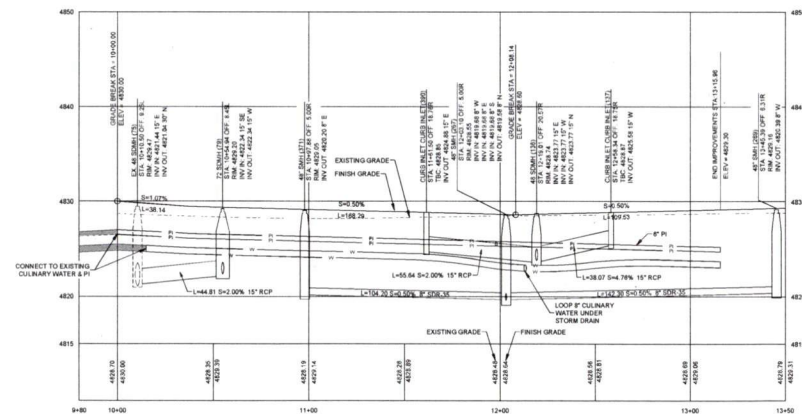
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12" x 30" x 12" (12" x 30" x 12")	12" x 30" x 12" (12" x 30" x 12")	12" x 30" x 12" (12" x 30" x 12")	12" x 30" x 12" (12" x 30" x 12")



**50 EAST PROFILE VIEW**



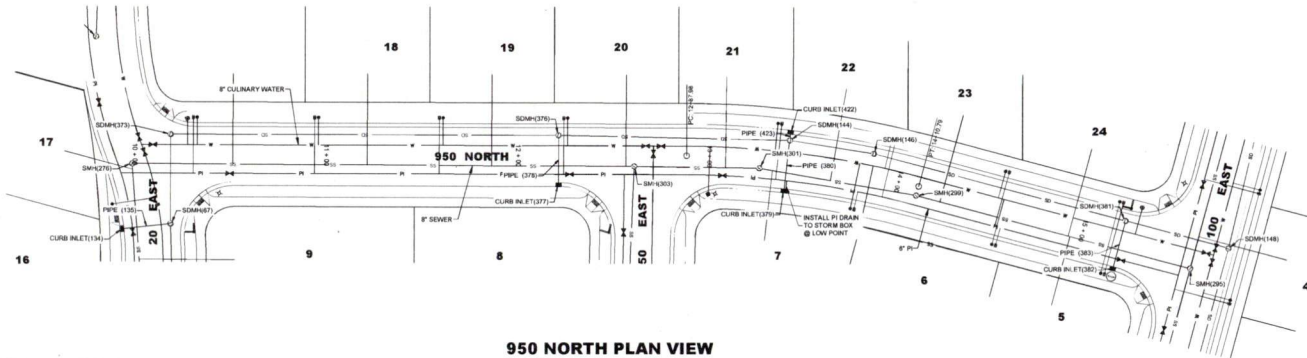
**ROYAL LAND DR. PLAN VIEW**  
CENTERLINE OMITTED FOR CLARITY



**ROYAL LAND DR. PROFILE VIEW**

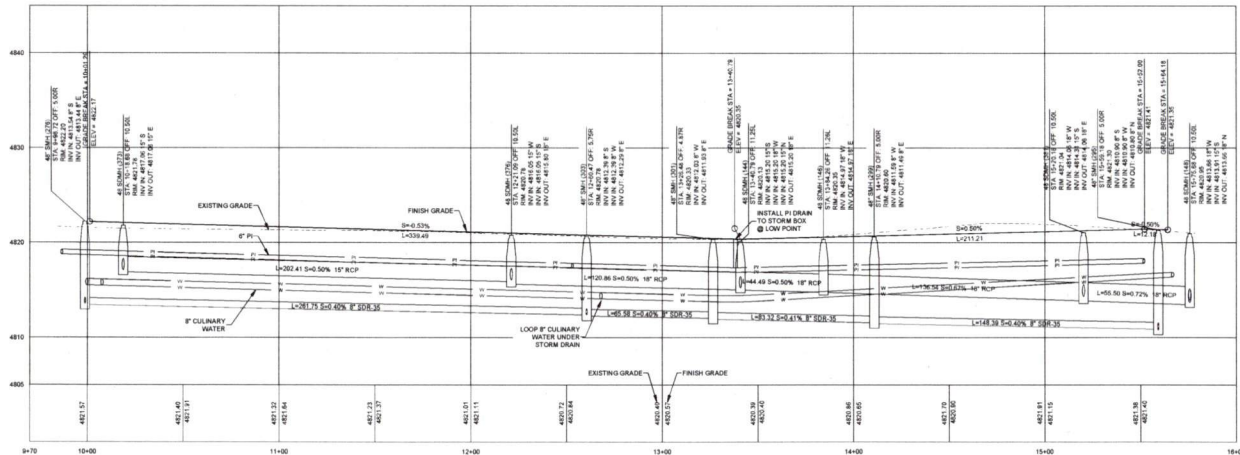
# NOTES

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**950 NORTH PLAN VIEW**  
CENTERLINE OMITTED FOR CLARITY

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**950 NORTH PROFILE VIEW**



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Fax: 801.798.9393  
office@lel-eng.com  
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**THE ORCHARDS EAST**  
SANTAQUIN, UTAH  
950 NORTH PLAN & PROFILES

REVISIONS
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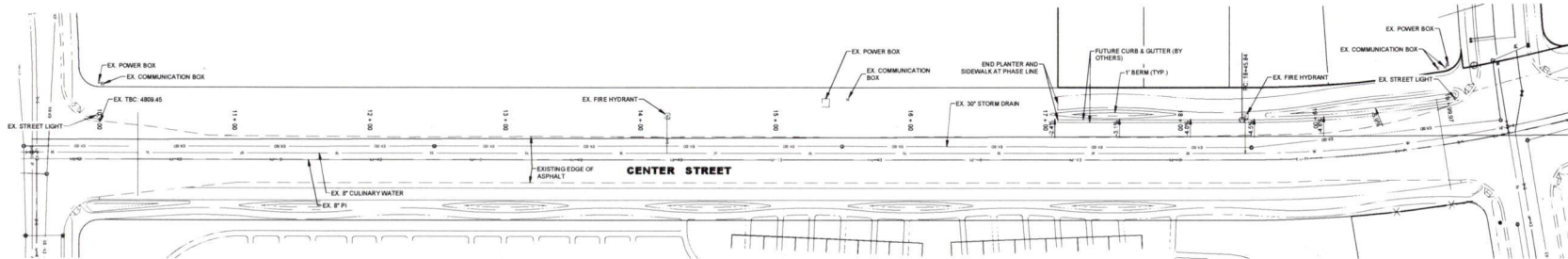
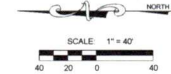
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2015-0106  
DRAWN BY:  
BAP  
DESIGNED BY:  
NKW  
SCALE:  
1" = 30'  
DATE:  
8/02/2018

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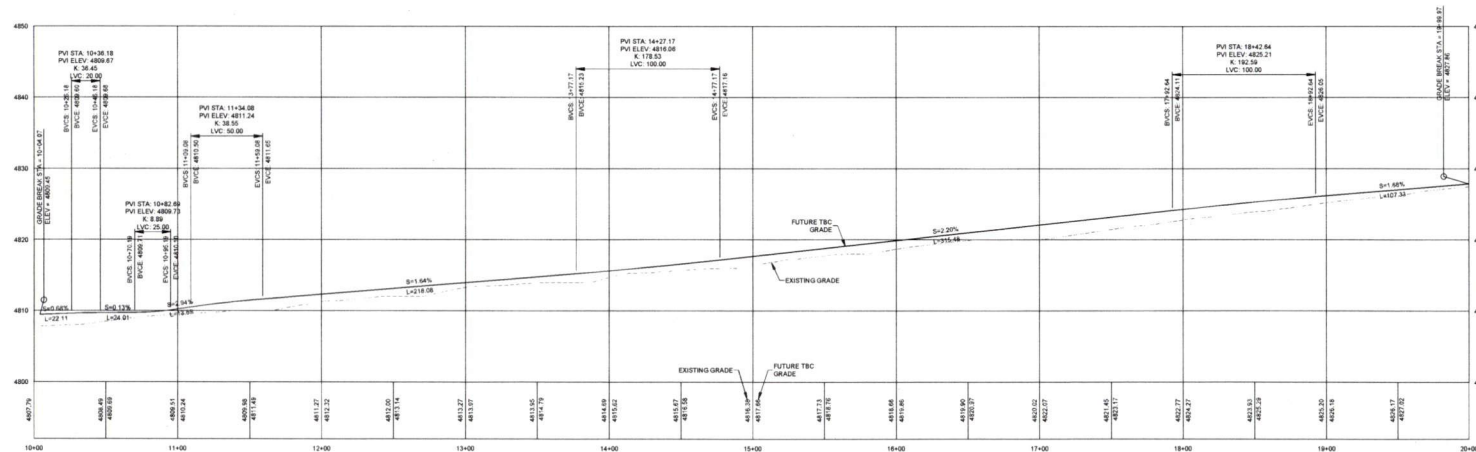


# NOTES

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**CENTER STREET TBC PLAN VIEW**  
CENTERLINE OMITTED FOR CLARITY



**CENTER STREET TBC PROFILE VIEW**



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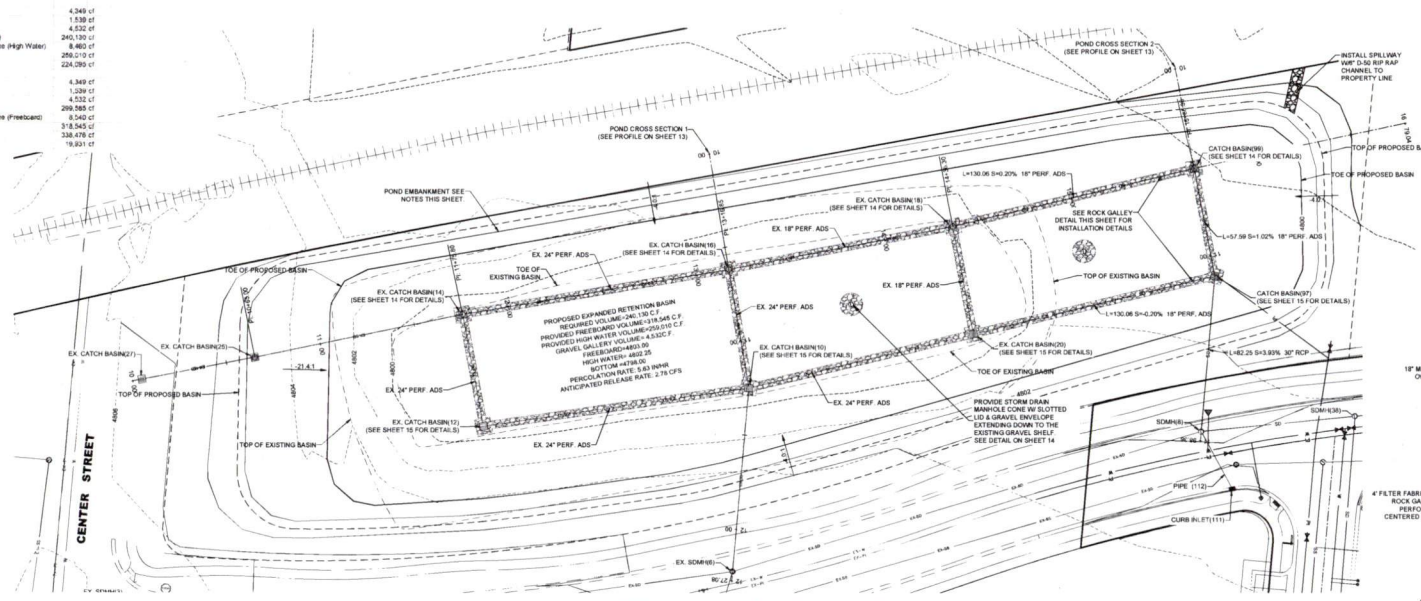
**THE ORCHARDS EAST**  
SALT LAKE CITY, UTAH  
CENTER STREET TBC PLAN & PROFILE #2

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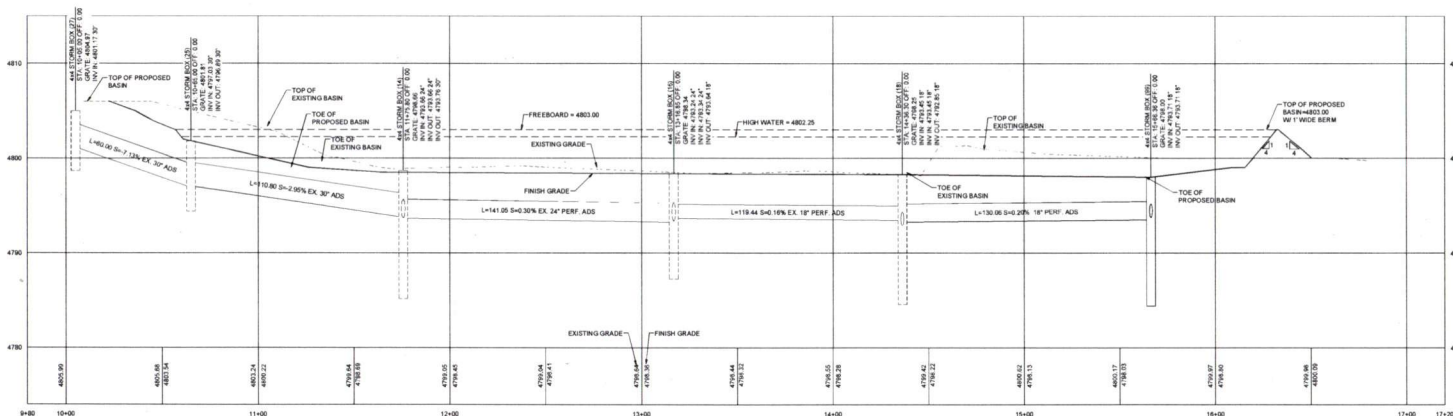
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8/02/2018

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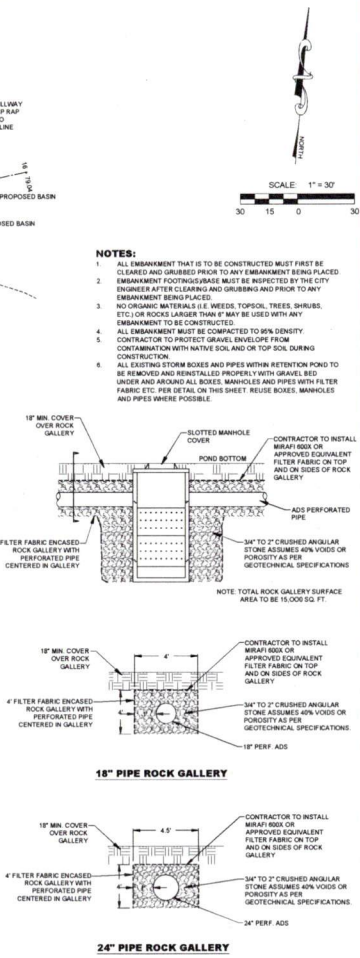
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### RETENTION BASIN PLAN VIEW



### RETENTION BASIN PROFILE VIEW



**NOTES:**

1. ALL EMBANKMENT THAT IS TO BE CONSTRUCTED MUST FIRST BE CLEARED AND GRUBBED PRIOR TO ANY EMBANKMENT BEING PLACED
2. EMBANKMENT FOOTING/GRAVEL MUST BE INSPECTED BY THE CITY ENGINEER AFTER CLEARING AND GRUBBING AND PRIOR TO ANY EMBANKMENT BEING PLACED.
3. NO ORGANIC MATERIALS (E.G. WEEDS, TOPSOIL, TREES, SHRUBS, ETC.) OR ROCKS LARGER THAN 4" MAY BE USED WITH ANY EMBANKMENT TO BE CONSTRUCTED.
4. ALL EMBANKMENT MUST BE COMPACTED TO 95% DENSITY.
5. CONTRACTOR TO PROTECT GRAVEL ENVELOPE FROM CONTAMINATION WITH NATIVE SOIL AND OR TOP SOIL DURING CONSTRUCTION.
6. ALL EXISTING STORM BOXES AND PIPES WITHIN RETENTION POND TO BE REMOVED AND REINSTALLED PROPERLY WITH GRAVEL BED UNDER AND AROUND ALL BOXES. MANHOLES AND PIPES WITH FILTER FABRIC, ETC. PER DETAIL ON THIS SHEET. REUSE BOXES, MANHOLES AND PIPES, WHERE POSSIBLE.

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**THE ORCHARDS EAST**  
**SANTAQUIN, UTAH**

## RETENTION POND PLAN & PROFILES

REVISIONS	
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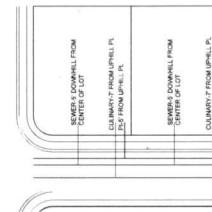
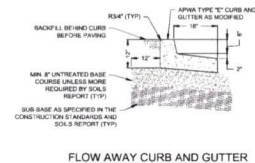
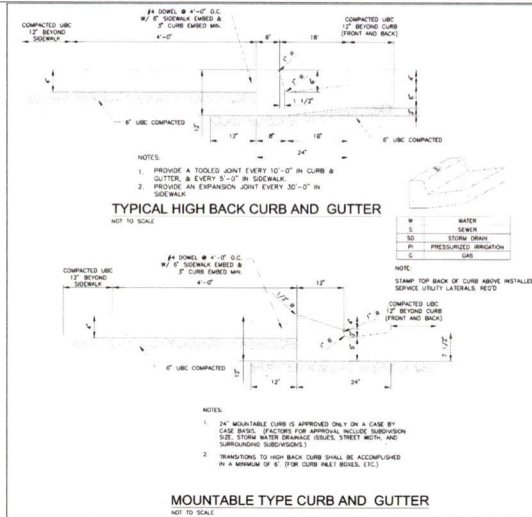
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8/02/2018

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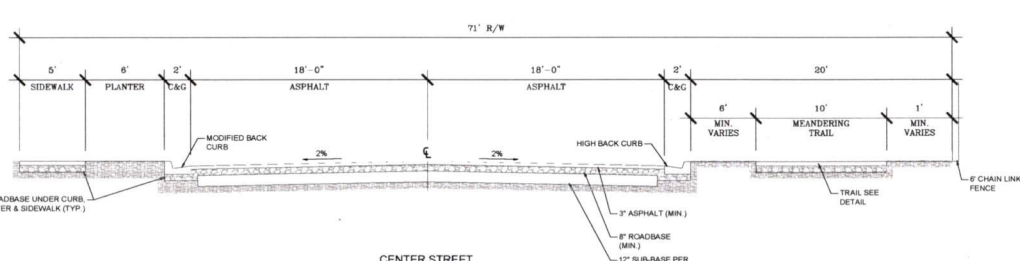
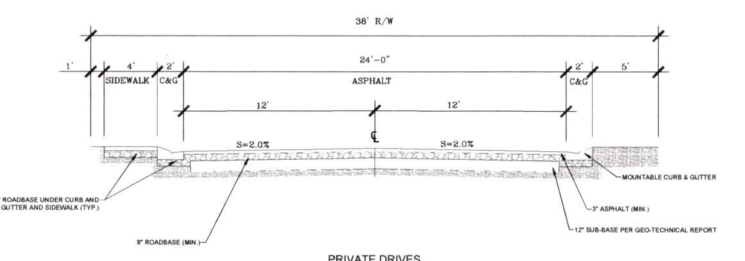
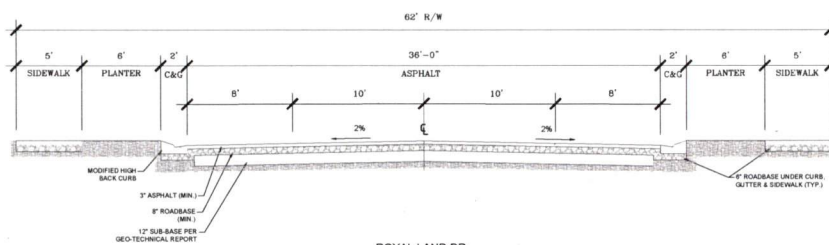
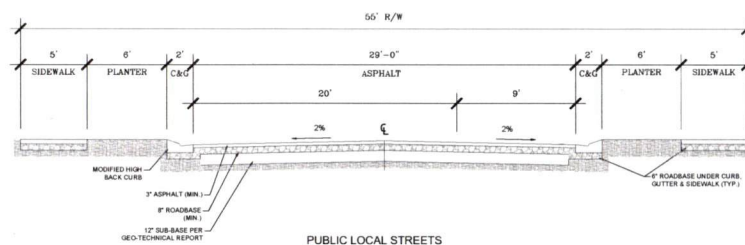
# SEE SANTAQUIN CONSTRUCTION SPECIFICATION AND STANDARDS FOR FURTHER DETAILS



## 1 CURB & GUTTER DETAILS

## 2 LATERAL DETAIL

## 3 CENTER STREET LANDSCAPING DETAIL



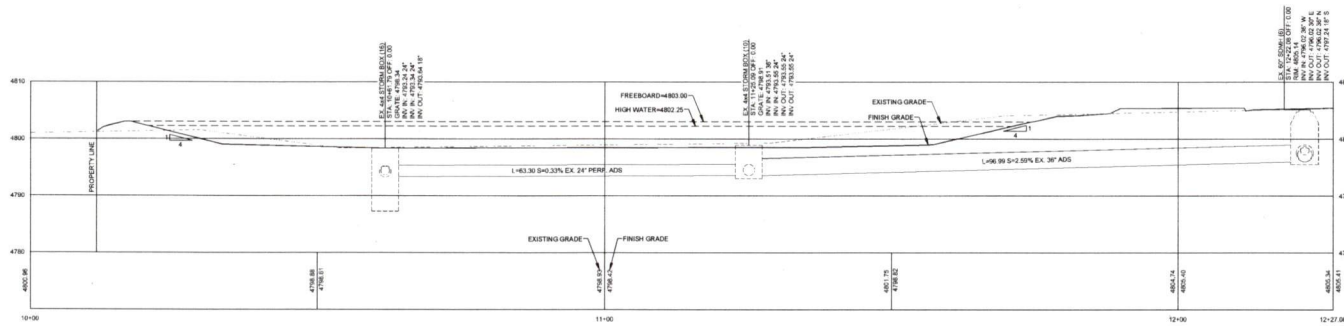
## 4 STREET CROSS SECTIONS

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Spanish Fork, UT 84660  
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Fax: 801.798.9393  
ette@lei-eng.com  
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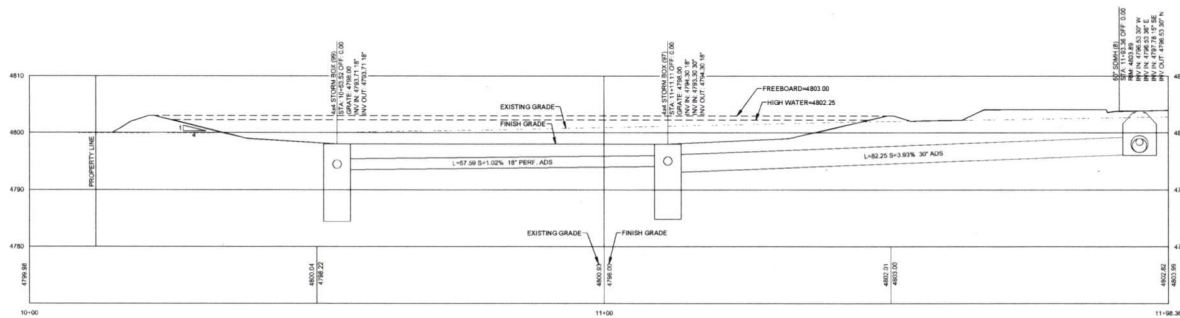


**THE ORCHARDS EAST**  
SANTAQUIN, UTAH  
DETAILS

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8/02/2018	
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**POND CROSS SECTION 1**



**POND CROSS SECTION 2**



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Spanish Fork, UT 84606  
Phone: 801.788.0555  
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www.lei-eng.com



**THE ORCHARDS EAST**  
SANTAQUIN, UTAH  
RETENTION POND PROFILES

REVISIONS
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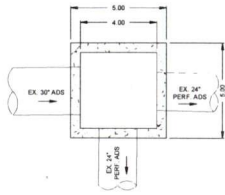
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8/02/2018

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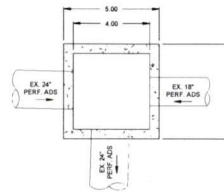


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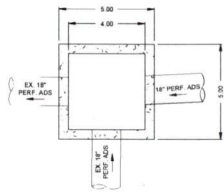
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8/02/2018  
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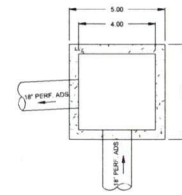
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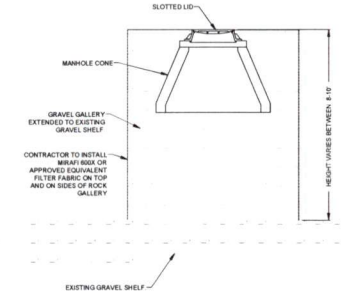
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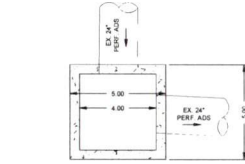
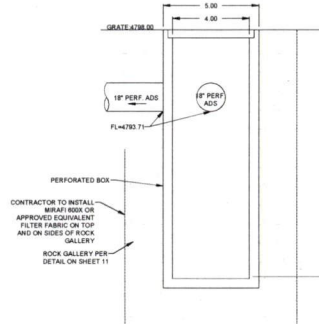
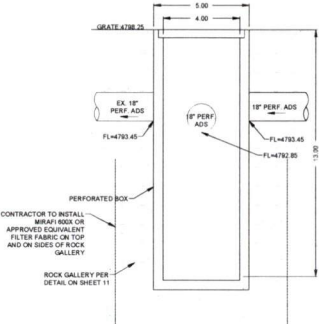
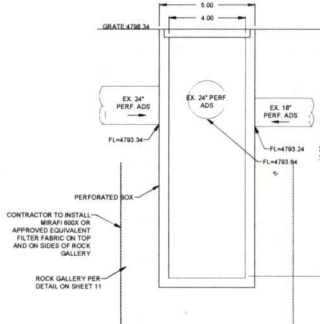
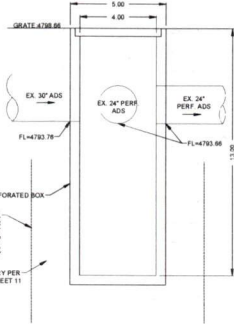
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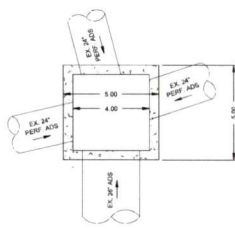
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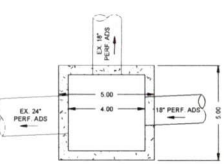
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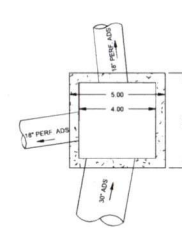
**STORM BOX #12**



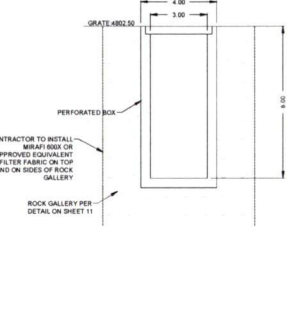
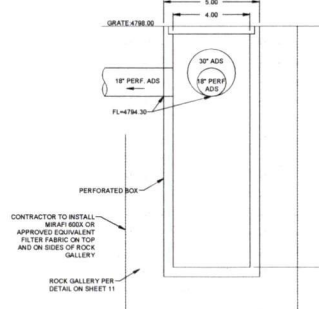
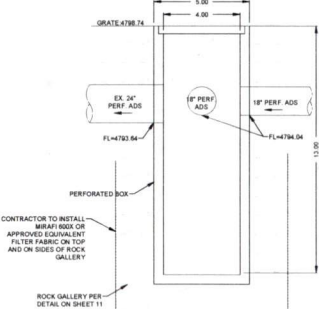
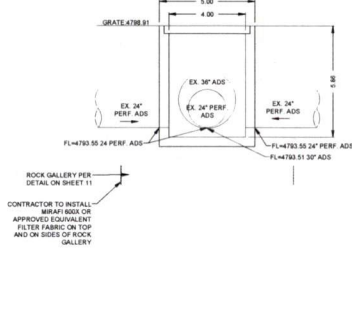
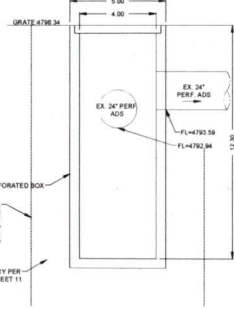
**STORM BOX #10**



**STORM BOX #20**



**STORM BOX #97**



**STORM BOX #436 & 437**



## Memorandum

To: Mayor Hunsaker and City Council  
From: Norm Beagley, P.E., City Engineer  
Date: August 10, 2018  
Re: **Consideration for Acceptance of Water Rights for Future Development**

City Engineering has reviewed a request from Evan Johnson, a water broker, asking if Santaquin City would be interested in accepting a proposed water right dedication that could fulfill future development requirements within Santaquin City. Should this water dedication be accepted by the City Council, and should a water right change application be approved by the State Engineer in the name of Santaquin City Corporation, the dedicated water rights could potentially be applied to multiple future developments for property owned within Santaquin City. Future developers could negotiate purchasing portions of this water right to apply towards their development(s).

The following is information gathered regarding the proposed water right dedication for your consideration:

- The water right number for the proposed transfer is as follows:
  - 53-1277 (A33374) 1,500 acre feet
- WR number 53-1277 (A33374) for up to 1,500 acre feet currently has an underground diversion point that is located in the southwest area west of Utah Lake and is currently approved to divert water from several underground wells within that area. Two exhibits showing the current diversion locations are attached to this memo for your convenience.
- It is noted that this water right was originally located within Salem, Utah and was owned by the Salem Irrigation & Canal Company prior to them deeding the water right to J.H. Allen Corporation in April of 1969.
- Subsequent to the irrigation company deeding the water right to J.H. Allen Corporation, a change application for the water right was approved by the State Engineer in December of 1969 for its current diversion location.
- The water has been used on the southwest side of Utah Lake since the change application was approved by the State in 1969.
- Per the Utah State Engineer's office, Division of Water Rights, the current location of this water right is considered to be within the Utah Lake Drainage Basin area of Utah County, which is considered to be the same drainage area as Santaquin City.

Per current Santaquin City Code (8-1-10: "Water Dedication Requirements") 3 acre feet of water right dedication is required per gross acre developed. Therefore, dedication of this water right would allow for development of approximately up to **500 acres** of property, should this water right be accepted by the City Council and also be approved by the State Engineer.

Per Santaquin City Code, should the Council agree to allow the broker to pursue this water right for dedication to Santaquin City, it is the broker's sole responsibility to prepare, file, pay for and to obtain all necessary paperwork, filings, change applications, etc. to completely effect the (any) change for water right dedication to Santaquin City.

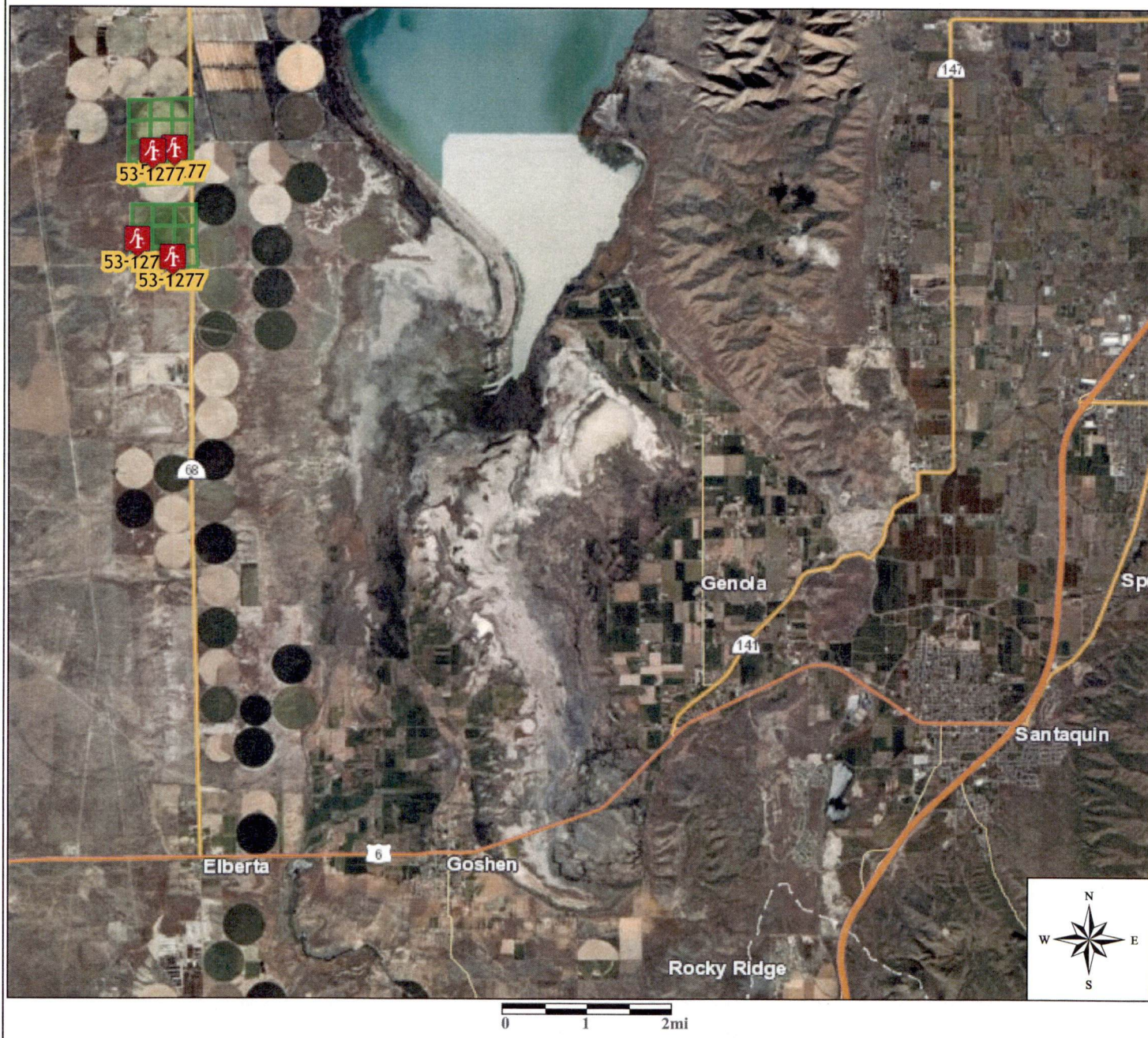
Should the Council approve and thereby allow the developer to move forward with obtaining and transferring these water rights to Santaquin City, City engineering staff would work with the developer as needed to effect the change.

I would be glad to answer any questions you may have regarding this matter.

**Potential motion:** "Motion to (approve or not approve/deny), in whole or in part, the acceptance of the proposed water right to meet Santaquin City water dedication requirements on the condition that Evan Johnson, or his representatives, complete all necessary filing, payment, etc., per City Code, to effect the change of this water right into the name and service area of Santaquin City Corporation."

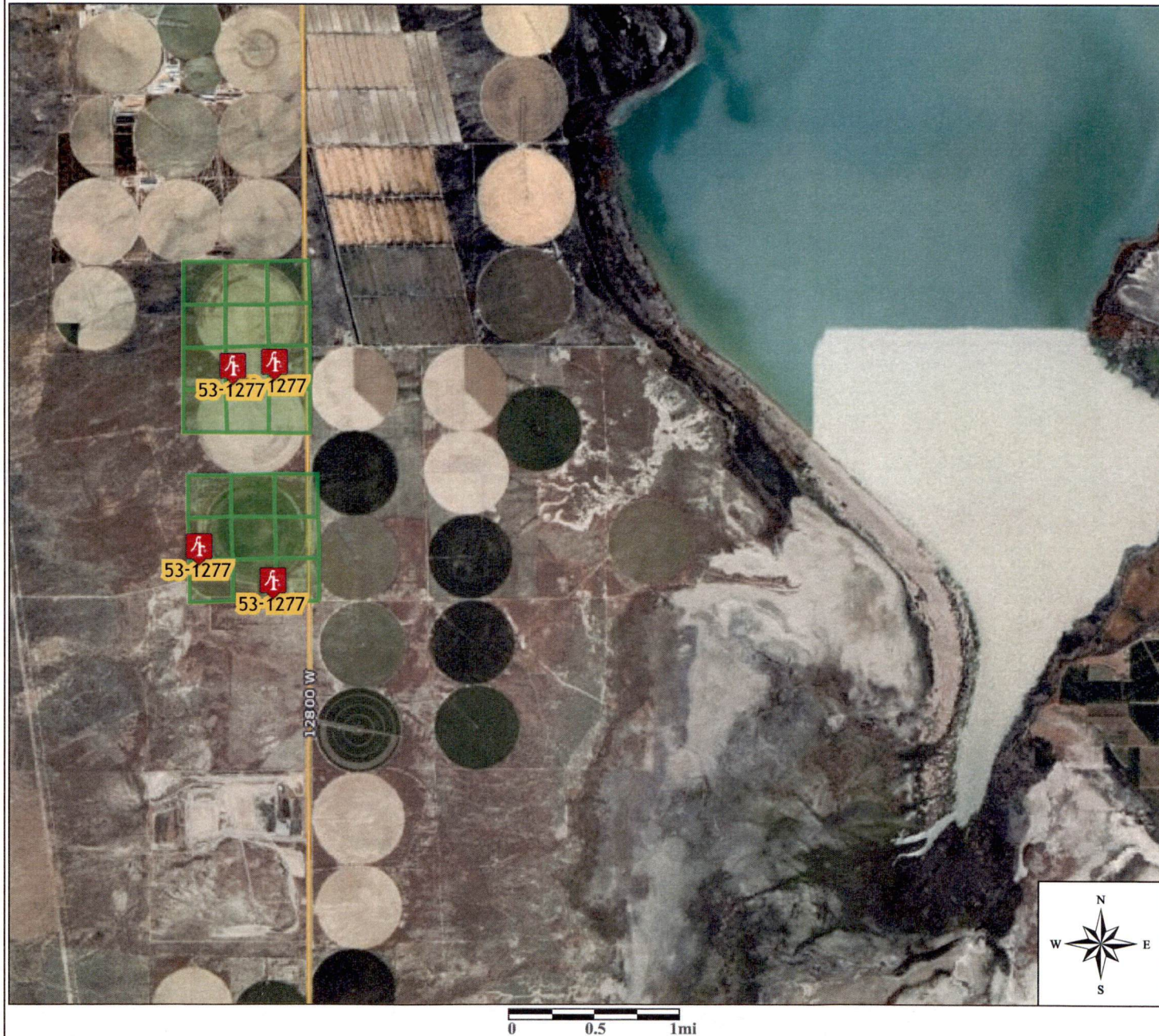


# Water Rights Map





## Water Rights Map





BEFORE THE STATE ENGINEER OF THE STATE OF UTAH

IN THE MATTER OF CHANGE APPLI- )  
CATION NO. a-5816 (51-1557) )

MEMORANDUM DECISION

The above-numbered change application was filed May 2, 1969, by J. H. Allen Corporation to permanently change the point of diversion and place of use of 6 sec.-ft. of water acquired by approved but unperfected Application No. 33374 (51-1557).

The basic application to appropriate water was originally filed by Salem Irrigation Company June 26, 1961, to divert 6 sec.-ft. of water from a 16-in. well 200 to 350 ft. deep at a point near Salem located W. 2015 ft. S. 635 ft. from E $\frac{1}{4}$  Cor. Sec. 12, T9S, R2E, SLBM. The water was to be used from April 1 to October 31 of each year for the supplemental irrigation of 2200 acres within Sections 6 and 7, T9S, R3E; Sections 1, 2, 9, 10, 11, 12, 14, 15, and 16, T9S, R2E; SLBM. The State Engineer approved the application February 1, 1963. The applicant completed drilling the well in 1963 but encountered sand formation difficulties that caused them to abandon the well. The applicant has been granted requests for extensions of time within which to submit proof to and including December 31, 1970, with the understanding that no further extensions will be granted by the State Engineer beyond this date. Salem Irrigation Company deeded the application to J. H. Allen Corporation April 21, 1969.

J. H. Allen Corporation proposes now to divert the 6 sec.-ft. of water from any or all of five 16-in. wells to be drilled to depths of 500 to 800 feet on the west side of Utah Lake within the immediate Utah Lake drainage at the following points: (1) W. 1000 ft. N. 600 ft. (2) N. 2640 ft. (3) N. 3960 ft.; all from SE Cor. Sec. 5; (4) W. 1000 ft. from NE Cor. Sec. 5; (5) N. 700 ft. E. 1400 ft. from SW Cor. Sec. 5; all T9S, R1W, SLBM. The water is to be used from April 1 to October 31 for the supplemental irrigation of 2000 acres, but limited to the sole supply of 720 acres, within Sections 31 and 32, T8S, R1W; Sections 5 and 8, T9S, R1W, SLBM.

The application was protested by Kennecott Copper Corporation, Provo River Water Users Association, Metropolitan Water District of Salt Lake City, and Utah Lake Distributing Company, Salt Lake City Corporation, and the United States Bureau of Reclamation. A hearing was held October 2, 1969, at Provo, Utah. The protestants maintain that the proposed change would impair their water rights in Utah Lake, that the proposed change across Utah Lake constitutes a change into a different water drainage and is in effect a new appropriation, and that the sale of the basic application to the applicant constitutes speculation of a water right.

At the request of the attorney for the applicant, a further meeting was held December 3, 1969, in the State Engineer's Office to consider the request to have the State Engineer act now on the subject application rather than wait for the pending court action on Change Application No. a-5102 (51-1482) in the name of James B. Fitzgerald which is similar in nature.

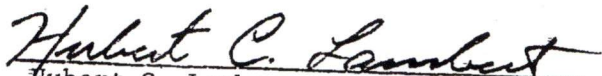
Memorandum Decision  
Change Appl. No. a-5816  
J. H. Allen Corporation  
Page 2

The State Engineer, under previous policy, announced in a public meeting and by letter that all approved, unperfected applications in southern Utah County would not be granted extensions of time within which to submit proof beyond December 31, 1970. It is the conclusion of the State Engineer that the applicant is entitled, under the proposed change, to develop the water as applied for in the original application up to the cut-off date of December 31, 1970. Furthermore, the vested rights in Utah Lake will not be differently affected under the proposed change than would have occurred under the original application that was approved without protest.

It is, therefore, ordered, and Change Application No. a-5816 is hereby APPROVED, subject to all existing water rights, especially those of the protestants.

This decision is subject to the provision of Section 73-3-14, Utah Code Annotated 1953, which provides for plenary review by the filing of a civil action in the appropriate district court within sixty days of the date hereof.

Dated this 23rd day of December, 1969.

  
Hubert C. Lambert, State Engineer

HCL/SBM/mt

cc: Joseph Novak  
520 Continental Bank Bldg.  
Salt Lake City, Utah 84101

cc: James B. Lee  
Kearns Building  
Salt Lake City, Utah 84101

cc: Jack L. Crellin  
101 City and County Bldg.  
Salt Lake City, Utah 84111

cc: Thomas O. Parker  
U. S. Regional Solicitor's Office  
125 South State Street  
Salt Lake City, Utah 84111

cc: Charles W. Wilson, Chairman  
Associated Canals of Salt Lake City  
Salt Lake City Water Supply & Water Works  
City and County Building  
Salt Lake City, Utah 84111

cc: E. J. Skeen



# STATE OF UTAH -- DIVISION OF WATER RIGHTS -- DATA PRINT OUT for a19390(53-1277)

(WARNING: Water Rights makes NO claims as to the accuracy of this data.) RUN DATE: 08/10/2018 Page 1

CHANGE: a19390 WATER RIGHT: 53-1277 CERT. NO.: AMENDATORY? No COUNTY TAX ID:

BASE WATER RIGHTS: 53-1277

RIGHT EVIDENCED BY: 51-1277 (A33374)

CHANGES: Point of Diversion [X], Place of Use [ ], Nature of Use [ ], Reservoir Storage [ ].

NAME: L & V Properties L.L.C.  
ADDR: P.O. Box 190  
Elberta, Utah 84626  
INTEREST: 100% REMARKS:

DATES, ETC.\*\*\*\*\*

FILED: 10/17/1995|PRIORITY: 10/17/1995|ADV BEGAN: 11/08/1995|ADV ENDED: 11/15/1995|NEWSPAPER: The Payson Chronicle  
ImpairDesig[NO ]|IMP NOTICE:

Water Rights which the State Engineer has Identified may Experience Quantity Impairment:

ProtestEnd:12/05/1995|PROTESTED: [No ]|HEARNG HLD: |SE ACTION: [Approved]|ActionDate:12/22/1995|PROOF DUE:  
EXTENSION: |ELEC/PROOF:[ ]|ELEC/PROOF: |CERT/WUC: 09/19/2001|LAP, ETC: |LAPS LETTER:  
RUSH LETTR: |RENOVATE: |RECON REQ: |TYPE: [ ]

Status: Certificated

\*\*\*\*\* HERETOFORE\*\*\*\*\* HEREAFTER\*\*\*\*\*

FLOW: 4.934 cfs OR 2368.4 acre-feet	FLOW: 4.934 cfs OR 2368.4 acre-feet
SOURCE: Underground Water Wells (6)	SOURCE: Underground Water Wells (4)
COUNTY: Utah	COUNTY: Utah COM DESC: 8.5 miles north of Elberta
This application has been filed to add  an additional point of diversion.	
Approval of Change Application No.  53-1277 (a5816) was appealed by Provo  River Water Users' Association, et al.,  Utah County Civil No. 34,239; the  appeal was dismissed by the Court in  an order dated 04/15/1988.	
The sole supply acreage of 720 was  calculated as follows:	
1. The original applicant,  Salem Irrigation Company, had 2200  acres. Using an irrigation  diversion requirement of 3.5  acre-feet per acre, this  acreage required 7700 acre-feet.	

2. Salem Irrigation Company had  
4400 acre-feet (2200 shares)  
of Spanish Fork River water  
and 533.85 acre-feet of Straw-  
berry Project water for a  
total supply of 4933.85 acre-  
feet and a deficiency of  
2766.15 acre-feet (7700 - 4933.85)

3. A continuous flow of 6.0 cfs  
for 210 days produces only  
2500 acre-feet. Hence, the  
acreage limitation of  
 $2500/3.5 = 720$ .

## POINT(S) OF DIVERSION -----&gt;

SAME AS HERETOFORE, AND IN ADDITION TO: (Click link for WRPLAT)

## Point Underground:

Point Underground:

(1) N 1900 ft E 600 ft from S4 cor, Sec 32, T 8S, R 1W, SLBM	(1) S 2600 ft W 350 ft from NE cor, Sec 32, T 8S, R 1W, SLBM
Diameter: 16 ins. Depth: 500 to 800 ft. WELL ID#: 000000	Diameter: 16 ins. Depth: 500 to 800 ft. WELL ID#: 011319
(2) 0 ft W 1000 ft from NE cor, Sec 05, T 9S, R 1W, SLBM	
Diameter: 16 ins. Depth: 500 to 800 ft. WELL ID#: 000000	
(3) N 700 ft E 1400 ft from SW cor, Sec 05, T 9S, R 1W, SLBM	
Diameter: 16 ins. Depth: 500 to 800 ft. WELL ID#: 000000	
(4) N 2640 ft 0 ft from SE cor, Sec 05, T 9S, R 1W, SLBM	
Diameter: 16 ins. Depth: 500 to 800 ft. WELL ID#: 000000	
(5) N 3960 ft 0 ft from SE cor, Sec 05, T 9S, R 1W, SLBM	
Diameter: 16 ins. Depth: 500 to 800 ft. WELL ID#: 000000	
(6) N 660 ft W 1000 ft from SE cor, Sec 05, T 9S, R 1W, SLBM	
Diameter: 16 ins. Depth: 776 to ft. WELL ID#: 000000	

## PLACE OF USE -----&gt;

SAME AS HERETOFORE

	--NW-- --NE-- --SW-- --SE--
	N N S S   N N S S   N N S S   N N S S
	W E W E   W E W E   W E W E   W E W E
Sec 31 T 8S R 1W SLBM	*X:X:X:X*X:X:X*X*X:X:X*X*X:X:X*
Sec 32 T 8S R 1W SLBM	*X:X:X:X*X:X:X*X*X:X:X*X*X:X:X*
Sec 05 T 9S R 1W SLBM	*X:X:X:X*X:X:X*X*X:X:X*X*X:X:X*
Sec 08 T 9S R 1W SLBM	*X:X:X:X*X:X:X*X*X:X:X*X*X:X:X*

## NATURE OF USE -----&gt;

SAME AS HERETOFORE

IRR = values are in acres.  
STK = values are in ELUs meaning Cattle or Equivalent.  
DOM = values are in EDUs meaning Equivalent Domestic Units  
(or Families).

SUPPLEMENTAL to Other Water Rights: No

SUPPLEMENTAL to Other Water Rights: No

IRR: 2000.0000

USED 04/01 - 10/31

\*\*\*\*\*END OF DATA\*\*\*\*\*



# APPLICATION TO APPROPRIATE WATER STATE OF UTAH

NOTE:—The information given in the following blanks should be free from explanatory matter, but when necessary, a complete supplementary statement should be made on the following page under the heading "Explanatory."

For the purpose of acquiring the right to use a portion of the unappropriated water of the State of Utah, for uses indicated by (X) in the proper box or boxes, application is hereby made to the State Engineer, based upon the following showing of facts, submitted in accordance with the requirements of the Laws of Utah.

Assigned: Salem Irrigation & Canal Co.

1. Irrigation ☒ Domestic ☐ Stockwatering ☐ Municipal ☐ Power ☐ Mining ☐ Other Uses ☐
2. The name of the applicant is Salem Irrigation & Canal Co.
3. The Post Office address of the applicant is Salem, Utah
4. The quantity of water to be appropriated is 6 second-feet or          acre-feet
5. The water is to be used for Irrigation from April 1 to Oct. 31  
(Major Purpose) (Month) (Day) (Month) (Day)  
other use period          from          to           
(Minor Purpose) (Month) (Day) (Month) (Day)  
and stored each year (if stored) from          to           
(Month) (Day) (Month) (Day)
6. The drainage area to which the direct source of supply belongs is           
(Leave Blank)
7. The direct source of supply is \* Underground Water  
(Name of stream or other source)

which is tributary to         , tributary to         

\*Note.—Where water is to be diverted from a well, a tunnel, or drain, the source should be designated as "Underground Water" in the first space and the remaining spaces should be left blank. If the source is a stream, a spring, a spring area, or a drain, so indicate in the first space, giving its name, if named, and in the remaining spaces, designate the stream channels to which it is tributary, even though the water may sink, evaporate, or be diverted before reaching said channels. If water from a spring flows in a natural surface channel before being diverted, the direct source should be designated as a stream and not a spring.

8. The point of diversion from the source is in Utah County, situated at a point \*  
West 2015 ft. and South 635 ft. from the East 1/4 Cor. Sec. 12, T9S, R2E, SLB&M.

ACTUAL DIA. 12 1/4" DEPTH 175' well  
ST. ENG. ENDORSED 1-3-62 OCT. abandon  
Company to be pulled later  
date

\*Note.—The point of diversion must be located definitely by course and distance or by giving the distances north or south, and east or west with reference to a United States land survey corner or United States mineral monument, if within a distance of six miles of either, or if at a greater distance, to some prominent and permanent natural object. No application will be received for filing in which the point of diversion is not defined definitely.

9. The diverting and carrying works will consist of a 16 inch casing a depth of from 200 to 350 ft. Diverted into the Salem Irrigation Canal.
10. If water is to be stored, give capacity of reservoir in acre-feet          height of dam           
area inundated in acres          legal subdivision of area inundated

11. If application is for irrigation purposes, the legal subdivisions of the area irrigated are as follows:

Sec. 6 & 7, T9S, R3E, Sec. 1, 2, 9, 10, 11, 12, 14, 15, 16 in T9S, R2E, SLB&M.

Total 2200 Acres

12. Is the land owned by the applicant? Yes X No          Spanish Fork River
13. Is this water to be used supplementally with other water rights? Yes X No           
If "yes," identify other water rights under explanatory.
14. If application is for power purposes, describe type of plant, size and rated capacity
15. If application is for mining, the water will be used in          Mining District at the          mine, where the following ores are mined
16. If application is for stockwatering purposes, number and kind of stock watered

J. R. Allen  
Salem, Utah  
1050 E 13200 S. Draper, Utah





To: Mayor Hunsaker and City Council  
 From: Amy Johnson, Parks & Recreation Director  
 Date: August 15, 2018

**RE: 2018 Orchard Days report**

Event:	Rev. '18:	Exp. '18:	Diff. '18:	Rev. '17:	Exp. '17:	Diff. '17:	Rev. '16:	Exp. '16:	Diff. '16:
Rodeo	\$38,471.95	-\$38,720.51	-\$248.56	\$25,309.04	-\$33,560.06	-\$8,251.02	\$26,106.21	-\$32,821.25	-\$6,715.04
Buck-a-roo	\$9,942.20	-\$13,865.09	-\$3,922.89	\$6,607.10	-\$8,275.10	-\$1,668.00	\$4,276.86	-\$5,863.42	-\$1,586.56
Horse Shoe Tournament	\$237.80	-\$384.00	-\$146.20	\$217.80	-\$359.19	-\$141.39	\$276.78	-\$403.41	-\$126.63
Home Run Derby	\$379.75	-\$1,002.50	-\$622.75	\$499.95	-\$402.50	\$97.45	\$554.30	-\$252.50	\$301.80
Booth Rental	\$4,024.80	-\$1,100.00	\$2,924.80	\$2,886.30	-\$200.00	\$2,686.30	\$3,233.70	-\$590.00	\$2,643.70
Parade	\$475.80	-\$577.80	-\$102.00	\$445.20	-\$212.80	\$232.40	\$416.10	-\$192.05	\$224.05
Ad Booklet		-\$21,707.02	-\$21,707.02	\$0.00	-\$21,344.73	-\$21,344.73	\$0.00	-\$21,204.08	-\$21,204.08
Baby Contest			\$0.00	\$252.45		\$252.45	\$163.35		\$163.35
Supplies			\$0.00		-\$17.18	-\$17.18		-\$5.25	-\$5.25
Misc	\$232.17	-\$796.95	-\$564.78	\$171.16	-\$107.11	\$64.05	\$394.98	-\$115.09	\$279.89
Family Night	\$697.95	-\$4,266.50	-\$3,568.55		-\$3,132.90	-\$3,132.90		-\$3,022.08	-\$3,022.08
Movie in the Park		-\$665.00	-\$665.00		-\$565.00	-\$565.00		-\$550.00	-\$550.00
Donations	\$51,103.15		\$51,103.15	\$46,885.25	-\$126.28	\$46,758.97	\$44,153.30	-\$1,059.00	\$43,094.30
Rodeo Queen		-\$1,189.45	-\$1,189.45		-\$1,254.30	-\$1,254.30		-\$748.88	-\$748.88
Permits		-\$200.00	-\$200.00		-\$200.00	-\$200.00		-\$200.00	-\$200.00
Fireworks		-\$8,000.00	-\$8,000.00		-\$8,000.00	-\$8,000.00		-\$8,000.00	-\$8,000.00
Children's Parade			\$0.00		-\$48.49	-\$48.49		-\$27.00	-\$27.00
Employee Wages			\$0.00			\$0.00			\$0.00
<b>Totals</b>	<b>\$105,565.57</b>	<b>-\$92,474.82</b>	<b>\$13,090.75</b>	<b>\$83,274.25</b>	<b>-\$77,805.64</b>	<b>\$5,468.61</b>	<b>\$79,575.58</b>	<b>-\$75,054.01</b>	<b>\$4,521.57</b>





**2018 Post Orchard Days Meeting notes: 8/13/18**

- **Flag raising:** *Mayor and Council will serve breakfast with the flag raising.*
- **Little Buck-a-roo:** *Will think about starting at 2pm so the rodeo can be finished by midnight. Talk of limiting participation or two nights if the earlier time won't work.*
- **Family Night:** *Start everything at the same time and on time if at all possible. - Think about a gate in the middle of field #2 home run fence and place vendors there but will need to think about power. - Price out other activities like large slides, ziplines, etc.*
- **Quilt Show:** *Signage on the outside of building.*
- **Home Run Derbies:** *Would like more participation but otherwise it was a great event.*
- **5k & Mile Run:** *Liked the new concept. No problems reported.*
- **Parade:** *We need to find a chairman for next year. Will be looking for one this year. - Need to start on time regardless of AirMed being behind. - Talk of concern on how long we should allow any candy to be a part of the parade.*
- **Saturday in the Park:** *Need a chairman for the day. - Liked the live band and shade tents but we need to look into our own portable stage. - Would be nice if car show would post when they will be announcing awards so the council knows when to be there to pick awards. - Need a visible first aid tent. - Horseshoe tournament continues to be an enjoyable event. - Vendors were great but isles could be wider.*

- **Rodeo:** *EMS station visible and located by the IC trailer. - Keith will talk with Jon Lundell about max capacity of the arena. - Talk of a different live band performing such as Rock Daddy or Intense Country. - Mark Robbins will talk with his family about the possibility of us renting their property for contestant parking and/or fireworks. - Golf carts should be considered for next year. - Overflow parking needs to be considered behind the school if fireworks are moved or at the church. - We need better perimeter control if fireworks stay behind the school. - Large booth space (chamber) will be required to sell items while walking around to help with line. We need to reconsider the layout of the vendors or moving them to field 2. Lines are interfering with the natural walkway. - Trusses for the big screen need to move about 10 feet to the North. - We need large signs saying no outside food or drink posted. - Better lighting by the vendors and restrooms. - National anthem singers should try out in front of the Mayor and Council so they can decide who will be singing that year.*
- **Other:** *Would like to think about having a dance for early to middle age teens. - We need more help to coordinate the events. More chairman will help. It would be nice to have an events coordinator.*

### **What's next?**

It's time to start planning our next concert. We would like to start by looking at dates so we can pick which weekend would be best.

It looks like Aug 16-17 is the weekend with nothing going on, so far. I still like the thought of having something earlier in the summer rather than everything at the same time, but I would like to hear your thoughts after reading the following list.

- Art City Days - June 1-8
- Manti Pageant - June 13-22
- Genola Rodeo - June 17-18
- Elk Ridge City Celebration - June 21
- Lehi Rodeo - June 27-29



- Juab Xtreme Racing – June 27
- Stadium of Fire - July 4
- Ute Stampede - July 11-13
- Payson Scottish Festival – July 14-15
- Fiesta Days Spanish Fork - July 18-27
- Mapleton - July 23-24
- Springville Folk Fest – July 31- Aug 3
- Orchard Days - July 26 - Aug 3
- Salmon Supper – Aug 2
- Juab County Fair – Aug 4-9
- Salem Days - Aug 3 – 11
- Juab Demolition Derby – Aug 9
- Payson Days – Aug 30 – Sep 3
- Peach Days - Aug 29 - Sep 2
- Harvest Days Mona - Sep 28-29

Next, we will need to decide which range we are looking for. Another approach would be for us to see who is available and come back to you with the costs, but it helps if we have an idea of a range to focus on.

- Mark Wills, Bellamy Brothers, Little Texas - \$10,000 - \$15,000
- Restless Heart - \$25,000
- Sara Evans - \$50,000

Bring on another year! We have small events like Halloween Carnival, the Easter Egg Hunt and the Long Drive Golf Tournament too!

We appreciate the opportunity to bring these fun activities to our community.

# MEMO



To: Mayor Hunsaker and City Council

From: Jason Bond, Community Development Director

Date: August 11, 2018

Re: **Discussion for Creation of Mining Zone, Applicable Regulations and Definitions**

---

In the Fall of 2107, the City Council was approached by Mr. John Ogden and Mr. Martin White regarding annexation of approximately 640 acres of property west of Santaquin City. As part of that proposal, they wanted to do a mining operation. Eventually, it was understood that the applicants would want an asphalt batch plant to accompany the mining operation. They also asked for development rights, specifically a PUD designation, so that the property could be developed. This development would include an additional 80 acres that is already located within Santaquin City limits.

Since Santaquin City Code did not have an appropriate zone that permitted a mining operation, a draft ordinance was created. The Planning Commission and City Council held a few meetings each to discuss and review the draft ordinance. Ultimately, Mr. Ogden and Mr. White did not agree with some of the regulations that were included in the draft ordinance and nothing was ever approved. This proposed ordinance has not been worked on or discussed since early December of 2017.

Since a lot of work was put into the draft Mining Ordinance, staff is asking the City Council to consider if it is worthwhile to discuss the regulations more and adopt a Mining Ordinance that can be available to apply to areas around Santaquin City that could be annexed and could be used for mining purposes in the future.

**Staff Recommendation:** Provide direction to staff regarding the creation of a Mining Zone, applicable regulations and definitions.



**TABLED 11-21-2017**  
**ORDINANCE NO. 11-01-2017**

**AN ORDINANCE CREATING A MINING ZONE WITH APPLICABLE REGULATIONS AND DEFINITIONS WITHIN THE SANTAQUIN CITY CODE, PROVIDING SEVERABILITY AND AN EFFECTIVE DATE FOR THE ORDINANCE.**

**WHEREAS**, a request has been made to create a mining zone with applicable regulations and definitions within the Santaquin City Code creating Article 10-7-6R and amending Chapter 10-2; and

**WHEREAS**, the Santaquin City Planning Commission held a public hearing on September 28<sup>th</sup>, 2017, which hearing was preceded by the posting of public notice in at least three public places within the City limits of Santaquin City, and which notice of public hearing was published in the Payson Chronicle Newspaper in accordance with Section 10-9a-205 of the Utah State Code; and

**WHEREAS**, after the noted public hearing, the Santaquin City Planning Commission forwarded a recommendation to the City Council for consideration of the new zone and amendments,

**WHEREAS**, the City Council has been given specific authority in Title 10, Chapter 9a Utah Code Ann. 1953 to adopt a zoning plan including an ordinance and map which divide the municipality into districts or zones and within such districts to regulate the erection, construction, reconstruction, alteration, repair and uses of buildings and structures and the uses of land; and

**WHEREAS**, the state legislature has granted general welfare power to the City Council, independent, apart from, and in addition to, its specific grants of legislative authority, which enables the city to pass ordinances which are reasonably and appropriately related to the objectives of that power, i.e. providing for the public safety, health, morals, and welfare;

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of Santaquin City, State of Utah, as follows:

**Section I. Amendments**

Chapter 10-2 is amended as follows: (Underlined text is added, stricken text is deleted)

MINING: The process of extracting peat, gravel, rock, sand, clay and other soils by way of excavation, quarrying, blasting, and crushing operations. Such soils or aggregate materials may be removed from the site and sold by the owner or its assigned agent. Mining shall only take place in an area approved to be zoned as "M-1 Mining Zone".

BLASTING: The controlled use of explosives underground by a qualified person to fracture, break and loosen rock for excavation and quarrying.

HOT/BATCH PLANT: Machinery or equipment used to create hot asphalt. The plant usually consists of a cold aggregate elevator with means for feeding, rotary dryer, either oil or gas fired, hot aggregate elevator, screening and classifying system, weight hoppers, and mixer.

Article 10-7-6R is adopted as follows: (Underlined text is added, stricken text is deleted)

## ARTICLE R. M-1 MINING ZONE

### 10-7-6R-1: OBJECTIVES AND CHARACTERISTICS

### 10-7-6R-2: PURPOSE OF PROVISIONS

### 10-7-6R-3: PERMITTED USES

### 10-7-6R-4: LAND USE AUTHORITY AND APPEAL AUTHORITY

### 10-7-6R-5: INTERPRETATION, EXISTING OPERATION, AND RESTRICTIONS

### 10-7-6R-6: APPLICATION PROCESS

### 10-7-6R-7: FEES

### 10-7-6R-8: BONDING

### 10-7-6R-9: MARKETING OF MATERIALS

### 10-7-6R-10: AREA REQUIREMENTS

### 10-7-6R-11: SETBACKS

### 10-7-6R-12: FENCING AND SCREENING

### 10-7-6R-13: ROAD ACCESS

### 10-7-6R-14: ROAD MAINTENANCE

### 10-7-6R-15: TRANSPORTATION VEHICLE STANDARDS

### 10-7-6R-16: PARKING

### 10-7-6R-17: DUST STANDARDS

### 10-7-6R-18: NOISE STANDARDS

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### 10-7-6R-20: TIMES OF OPERATION

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### 10-7-6R-24: EXCAVATION AND BACKFILLING

### 10-7-6R-25: VIOLATIONS, PENALTIES, SUSPENSION, AND REVOCATION OF PERMIT

### 10-7-6R-1: OBJECTIVES AND CHARACTERISTICS:

The M-1 mining zone has been established for the primary purpose of providing a location and conditions where mining can be carried out most appropriately and with minimum conflict or deleterious effects upon surrounding properties.

Other objectives in establishing the zone are to promote the economic well-being of the City and its residents. This zone is characterized as mining operations with the potential of intermittent open land served by streets, power, water and other utilities and facilities or where such facilities can be readily provided for purposes related to the mining operation.

### 10-7-6R-2: PURPOSE OF PROVISIONS:

This section is adopted for the purposes of establishing regulations for the safe, effective and viable removal of sand, gravel, rock, soil, and other materials through mining, excavation and mass grading within this zone, by:



- A. Establishing regulations, safeguards, and controls in the incorporated areas of Santaquin City regarding noise, dust, traffic, drainage, and other factors which will minimize the environmental and aesthetic impacts on the mined, excavated, mass graded, or adjacent property.
- B. Reducing the potential for pollution caused by wind, soil erosion, and sedimentation.
- C. Establishing locations, an orderly approval process, and operating conditions under which such operations will be allowed in incorporated areas of Santaquin City and to establish conditions which ensure the mining or grading of land areas consistent with the existing and planned land use patterns.
- D. Ensuring that mining is only permitted when Santaquin City and the Division of Oil Gas and Mining (DOGM) has approved a site to be mined and has deemed it prudent to mine and/or extract the materials.
- E. Ensuring that proper reclamation of mined land is accomplished.

#### **10-7-6R-3: PERMITTED USES:**

Land uses in the M-1 mining zone are permitted as follows. Alphabetical use designations in the table below have the following meanings:

<u>P</u>	<u>The listed use is a permitted use within the represented area, based on city development standards and ordinances.</u>
<u>C</u>	<u>The listed use requires a conditional use permit within the represented area in addition to complying with all applicable development standards and ordinances.</u>
<u>N</u>	<u>The listed use is a prohibited use within the represented area.</u>

<u>USE</u>	<u>M-1</u>
<u>Accessory buildings and parking lots</u>	<u>P</u>
<u>Commercial, heavy</u>	<u>P</u>
<u>Dwelling, caretaker</u>	<u>C</u>
<u>Mining, quarrying, rock, gravel, sand, earth extraction and mass grading</u>	<u>P</u>
<u>Crushing Operations, Stockpiling, Conveying</u>	<u>P</u>
<u>Hot Plants, Batch Plants, Processing Plants</u>	<u>C</u>
<u>Water Storage, Fuel and Oil Storage Tanks</u>	<u>C</u>
<u>Manufacturing, compounding, processing, packing, fabrication, and warehousing of goods and materials, excluding the processing of animal byproducts, livestock feed yards, oil refineries, wallboard manufacturing, and similar establishments which emit offensive fumes, smoke, noise, odor, etc.</u>	<u>C</u>
<u>Blasting</u>	<u>P</u>
<u>Heavy Equipment Operation and Storage</u>	<u>P</u>
<u>Metal Ore Mining / Metal Ore Smelting</u>	<u>N</u>

#### **10-7-6R-4: LAND USE AUTHORITY AND APPEAL AUTHORITY:**

- A. Development Review Committee (DRC) shall be the land use authority. Only upon finding the applicant has complied with the terms and requirements of this title may approval be given. As part of approval of an application, the DRC may impose as requirements of the approval any reasonable restrictions or requirements related to the location, design, or operation of the proposed use as deemed necessary to ensure the public health, safety, and general welfare, to ensure that the operations will not create a nuisance, or unreasonably interfere with the enjoyment of property. Such requirements may be in addition to the express requirements of this title.
- B. A party aggrieved or affected by a decision may appeal the DRC's decision to the City Council by filing a written appeal within ten (10) days after the DRC's decision. A party aggrieved or affected by said decision of the City Council may appeal the decision to the appeal authority, subject to the provisions of the Utah State Code, section 10-9-704.

#### **10-7-6R-5: INTERPRETATION, EXISTING OPERATION, AND RESTRICTIONS:**

It is not the intent of this section 10-7-6R to annul, or in any way, repeal any existing law or ordinance unless expressly so stated in this title. Further, it is not the intention of this section 10-7-6R to interfere with operations already existing except that this section 10-7-6R sets forth minimum standards which shall apply to such operations. To the extent that any restrictions or standards imposed by this section 10-7-6R are more stringent and restrictive than existing restrictions or standards, this title shall control.

#### **10-7-6R-6: APPLICATION PROCESS:**

- A. Application Required: No person shall operate an excavation, or mining site in the city except in accordance with an approved application issued under this title.
- B. Application Procedure: The following application procedure shall govern any mining, excavation or mass grading which is proposed as of or after the effective date hereof.
  - 1. All applicants shall use forms provided by Santaquin City, accompanied by the documents enumerated on that form. Approvals shall be issued to applicants for the duration of an approved project provided that the work is progressing as per the approved plan in the submitted documents and in accordance will all requirements.
- C. Application Contents: All applications must contain, but not be limited to, the following:
  - 1. Name, address, and phone number of the owner, or owners, of land on which the proposed use will take place.
  - 2. Name, address, and phone number of the applicant making a request for the permit.
  - 3. Name, address, and phone number of the person, firm, or corporation who will be conducting the proposed use.
  - 4. Location, size, and legal description of the area from which the proposed use is to be made.
  - 5. Type of materials or resources to be mined, excavated, processed, stockpiled, or hauled away.



6. Proposed method of removal and general haul route.
7. General types of equipment to be used.
8. The estimated time frame to complete operations and the number of phases where appropriate.
9. As a part of the application, the applicant shall submit a plan of operation and will be expected to comply with such a plan. Said plan of operation shall include a topographic survey of the existing parcel drawn to a scale of one inch to one hundred feet (1":100') and prepared by a registered civil engineer or land surveyor with contour intervals not to exceed five feet (5') based on United States geological survey datum. The drawing shall also clearly show the area to be mined, excavated or mass graded, including existing features and roads within five hundred feet (500') of all property lines, areas for stockpiling, maintenance areas, berms, fencing, screening and similar use areas.
10. As a part of the application, the applicant shall submit a site plan and will be expected to comply with such a plan. Site plans for such projects shall provide a complete set of plans, which include:
  - a. All necessary detail drawings;
  - b. All temporary and permanent improvements;
  - c. Details of all buildings and other structures to be placed on the location;
  - d. Surveyed boundary lines;
  - e. Engineered studies, reviews, and designs, as warranted;
  - f. Details of all access routes, egress routes, and on site travel routes;
  - g. Plans to address surface water and storm water issues; and
  - h. All adjacent properties with the name and address of each property owner within three hundred feet (300') of the proposed site;
11. As a part of the application, the applicant shall submit nuisance mitigation plans and will be expected to comply with such plans during the time for which a permit is issued. These plans should provide written and drawn details of the applicant's control of:
  - a. Dust;
  - b. Noise;
  - c. Odors;

- d. Any other possible nuisances that could originate from the site, any other possible nuisance recognized by the city, and/or any pertinent nuisance contained within the city's nuisance ordinance.
12. As a part of the application, the applicant shall submit a site reclamation plan and will be expected to comply with such a plan. This plan shall include a complete set of written and drawn plans outlining the applicant's requirement for reclamation of the land after the expiration of the conditional use permit and the applicant removes any extraction facility from the land. This plan shall address:
- a. Issues concerning topsoil and subsoils;
  - b. Grading and contouring;
  - c. Compaction;
  - d. Surface water diversions;
  - e. Water impoundments;
  - f. Revegetation;
  - g. Roads;
  - h. Structures;
  - i. Any and all waste materials; and
  - j. Any other site pertinent issues.
13. The applicant shall also prepare a finished grading plan that complies with the requirements of Santaquin City Code.
14. The applicant shall also prepare a haul route plan. The City Engineer may recommend that additional bonding be provided to mitigate any potential damage to roads or property along the proposed haul route based upon the review of the proposed plan.
15. The applicant shall submit a copy of their application submitted to, and approved by, the Utah Division of Oil, Gas and Mining for the proposed site.
16. The applicant shall provide verification from the following agencies to Santaquin City that they comply with all requirements:
- a. Utah Division of Oil, Gas and Mining (DOGM),
  - b. Mining Safety and Hazard Awareness (MSHA),
  - c. Utah Department of Environmental Quality (UDEQ),
  - d. Utah Department of Transportation (UDOT),
  - e. And any other applicable county, state, and federal regulatory agency.



#### **10-7-6R-7: FEES:**

All applications shall be accompanied by an application and processing fee to be paid by the applicant in an amount established by resolution of the City Council.

#### **10-7-6R-8: BONDING:**

All such operations shall be required to put forth a bond for the reclamation of the project to ensure the adequate restoration of the site as previously proposed for further use or development.

Such bonding shall follow the City's guidelines and procedures and be subject to approval by the City Engineer and City Council. The City Council reserves the right to determine the terms of bond value and pertinent time frame for completion of the reclamation project.

The amount of the bond required under this section may be reduced by the amount of any other reclamation bonds covering the project required by any other regulatory agency.

#### **10-7-6R-9: MARKETING OF MATERIALS:**

The owner and/or operator may market and sell the materials. In order to conduct sales, the owner and/or operator must maintain an onsite office, or other suitable facility, and hold and clearly display within said office, a current Santaquin City business license. The point of sale, as defined by the Utah State Tax Commission, shall be Santaquin City.

#### **10-7-6R-10: AREA REQUIREMENTS:**

The minimum size of a parcel of land for any M-1 zoning designation shall be fifty (50) acres.

#### **10-7-6R-11: SETBACKS:**

All on site structures of a permanent or temporary nature shall be set back from property lines as follows:

- A. Setbacks: No structure, dwelling, weigh station, crushing equipment, or other related mining facility or operation shall be located within three hundred feet (300') of all property lines.

#### **10-7-6R-12: FENCING AND SCREENING:**

- A. Mined, excavated and graded areas shall be fenced according to current mine safety and health administration regulations.

- B. All active mining, excavation or mass grading equipment shall be visually screened where reasonable. The following methods are acceptable for screening of mining, excavation or mass grading areas:

- 1. Construction of a raised earth berm area on the site along boundary lines thereof where such lines abut a public highway or privately owned property which is improved and occupied for residential purposes. This provision with regard to lands improved and occupied for residential

purposes shall be applicable to any land upon which dwellings are built and occupied subsequent to the date hereof. The berm shall be sufficient in length and height to screen the excavation, crushing or grading area. Where the topography of the area acts as a screen, the DRC may waive the berm requirement. Berms shall have slopes not in excess of one foot (1') vertical to two feet (2') horizontal.

2. Trees along the boundaries of the property with sufficient rows and depth to permit effective screening of the mining, excavation or mass grading area.
3. To the extent that the foregoing is not practical, the proposed permittee may submit alternate proposals.

#### **10-7-6R-13: ROAD ACCESS:**

All sites permitted under the provisions of this section 10-7-6R shall have direct access to a city, county, or state road. When the operation of the permitted area results in the excavated material, overburden, and/or similar material being deposited or spilled upon a public roadway, it shall be the responsibility of the permitted operator to remove such material immediately.

#### **10-7-6R-14: ROAD MAINTENANCE:**

Access roads within the permitted site shall be maintained by the operator so as to minimize the dust arising from the use of said roads. Such maintenance shall be accomplished through the application of chloride, water, and/or similar dust retardant materials. Application of oil shall be prohibited. A paved road of no less than forty feet (40') in width from the entrance and exit, a distance of not less than three hundred feet (300') from the right of way line into the area of operation shall be provided by the owner in order to minimize the deposit of dirt and gravel from trucks onto the public highway. Entrances and exits shall be gated and securely locked except during hours of operation.

#### **10-7-6R-15: TRANSPORTATION VEHICLE STANDARDS:**

All vehicles used to transport excavated material shall be required to be loaded in such a manner that the material may not be unintentionally discharged from the vehicle. Vehicles shall be cleaned of all material not in the load bed prior to entering any public street.

#### **10-7-6R-16: PARKING:**

All parking shall be provided on site. No parking shall be permitted within any required setback or landscaped area. Each facility shall provide one parking space for each on-site employee with an additional amount of parking for drivers and visitors as approved by the Planning Commission.

#### **10-7-6R-17: DUST STANDARDS:**

Dust generated in the extraction and processing of the earth products shall be kept under control by the operator by keeping the extraction area, main roads in the pit, and loaded trucks, watered down. Any un-paved access road to the pit from the paved road system shall be maintained by the pit operator for dust control by watering down the access road surface or placing dust inhibiting material on the surface of the access road.



#### **10-7-6R-18: NOISE STANDARDS:**

A project approved under this section 10-7-6R shall be operated such that the noise of operation or equipment vibration cannot reasonably be considered disturbing to the inhabitants of neighboring properties. Objectionable noises due to intermittence, beat, frequency, or shrillness shall be muffled so as not to become a nuisance to adjacent properties. Equipment on permitted sites shall not be operated at any time or under any condition so as to result in noise exceeding the following levels for specified adjacent land uses when measured at the common property line nearest the active work area:

#### **ADJACENT USE MAXIMUM SOUND LEVELS**

<u>Residential</u>	<u>75 dBA</u>
<u>Commercial</u>	<u>85 dBA</u>
<u>Industrial and other</u>	<u>90 dBA</u>

The city shall, at its discretion, monitor noise levels using weighted decibel measurements (referenced to 20 micropascals) with a type of audio output meter approved by the united bureau of standards.

#### **10-7-6R-19: ODOR STANDARDS:**

A project approved under this section 10-7-6R shall be operated in such a way to reduce odors as much as possible. Masking agents, scrubbing, and other industry standards must be considered to reduce the impact on neighboring residential and agricultural uses.

#### **10-7-6R-20: TIMES OF OPERATION:**

No project approved under this section 10-7-6R shall operate between the hours of six o'clock (6:00) A.M and ten o'clock (10:00) P.M. No project approved under this section 10-7-6R shall operate on Sundays and city observed holidays. In emergency situations this time period may be modified by the mayor provided such emergency order shall not be effective for more than seventy-two (72) hours.

#### **10-7-6R-21: BLASTING:**

Blasting shall be permitted as a part of any mining, earth extraction, or similar operation conducted within the city. Blasting will be conducted only between the hours of ten o'clock (10:00) A.M. and four o'clock (4:00) P.M. No blasting shall occur on Saturday, Sunday, or city observed holidays. All blasting shall comply with the Mine Safety and Hazard Awareness (MSHA) regulations.

#### **10-7-6R-22: LIGHTING:**

All lighting used to illuminate the proposed use(s) shall be directed downward and away from all surrounding property.

### **10-7-6R-23: DRAINAGE:**

Property drainage shall be provided at all times to prevent the collection and stagnation of water. Surface water shall not be discharged onto adjoining property. Any water areas, retention ponds, settling ponds, or similar water areas shall be fenced in accordance with section 10-7-6R-12 of this chapter.

### **10-7-6R-24: EXCAVATION AND BACKFILLING:**

All mining, excavation and mass grading areas shall be made to the finished elevation as included on the approved finished grading plans. Backfill, if necessary, shall consist of inert, noxious free, nonflammable, nonradioactive, nonhazardous, and noncombustible materials, to assure:

- A. That the excavation shall not collect and permit to remain therein, stagnant water;
- B. That the surface of any area which is not permanently submerged is graded or backfilled as necessary so as to reduce the peaks and depressions thereof; and
- C. To produce a surface that will minimize erosion due to rainfall and which will be in substantial conformity to the adjoining land area.

### **10-7-6R-25: VIOLATIONS, PENALTIES, SUSPENSION, AND REVOCATION OF PERMIT:**

If the zoning administrator, or other authorized City officer, notifies the permittee of any violation of the permit, or of this title, and upon failure of the permittee to abate said violation within thirty (30) days after mailing of said notice, said mining or excavation site may be summarily closed, and the permit and/or business license therefore, suspended or revoked. Any permittee aggrieved by any notice pursuant to this section 10-7-6R may file a written request for a hearing before the City Council. The permittee shall set forth why operations on the site should not be summarily closed and/or the permit suspended or revoked. If a request for a hearing is received by the City Council, the City Council shall provide to the permittee notice of the time and place of the hearing, an opportunity to be heard, and shall make an impartial determination of whether a violation of this title or this section 10-7-6R has occurred and whether the health, safety, and welfare of persons or property dictates the necessity of a suspension or revocation of said permit. Upon receipt of a request for a hearing, the City Council may summarily close the site, if not yet closed by the zoning administrator, or other authorized City officer, pending the hearing if it is determined that the health, safety, and welfare of persons or property require such action.

### **Section II. Severability**

If any part of this ordinance or the application thereof to any person or circumstances shall, for any reason, be adjudged by a court of competent jurisdiction to be unconstitutional or invalid, such judgment shall not affect, impair or invalidate the remainder of this ordinance or the application thereof to other persons and circumstances, but shall be confined to its operation to the section, subdivision, sentence or part of the section and the persons and circumstances directly involved in the controversy in which such judgment shall have been rendered. It is hereby declared to be the intent of the City Council that this section would have been adopted if such invalid section, provisions, subdivision, sentence or part of a section or application had not been included.



**Section II. Posting and Effective Date**

This ordinance shall become effective at 5:00 p.m. on Wednesday, November 22, 2017. Prior to that time, the City Recorder shall deposit a copy of this ordinance in the official records of the City and place a copy of this ordinance in three places within the City.

PASSED AND ADOPTED this 21<sup>st</sup> day of November, 2017.

\_\_\_\_\_  
Kirk Hunsaker, Mayor

Councilmember David Hathaway	Voted	___
Councilmember Marianne Stevenson	Voted	___
Councilmember Amanda Jeffs	Voted	___
Councilmember Keith Broadhead	Voted	___
Councilmember Nick Miller	Voted	___

ATTEST:

\_\_\_\_\_  
Susan Farnsworth, City Recorder

STATE OF UTAH                    )  
  ) ss.  
COUNTY OF UTAH                )

I, SUSAN B. FARNSWORTH, City Recorder of Santaquin City, Utah, do hereby certify and declare that the above and foregoing is a true, full, and correct copy of an ordinance passed by the City Council of Santaquin City, Utah, on the 21<sup>st</sup> day of November, 2017, entitled

**“AN ORDINANCE CREATING A MINING ZONE WITH APPLICABLE REGULATIONS AND DEFINITIONS WITHIN THE SANTAQUIN CITY CODE, PROVIDING SEVERIBILITY AND AN EFFECTIVE DATE FOR THE ORDINANCE.”**

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Corporate Seal of Santaquin City Utah this 21<sup>st</sup> day of November, 2017.

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SUSAN B. FARNSWORTH  
Santaquin City Recorder

(SEAL)



AFFIDAVIT OF POSTING

STATE OF UTAH                    )  
  ) ss.  
COUNTY OF UTAH                )

I, SUSAN B. FARNSWORTH, City Recorder of Santaquin City, Utah, do hereby certify and declare that I posted in three (3) public places the ordinance which is attached hereto on the 21<sup>st</sup> day of November, 2017.

The three places are as follows:

1.     Zions Bank
2.     Post Office
3.     City Office

I further certify that copies of the ordinance so posted were true and correct copies of said ordinance.

\_\_\_\_\_  
SUSAN B. FARNSWORTH  
Santaquin City Recorder

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, by SUSAN B. FARNSWORTH.

My Commission Expires:

\_\_\_\_\_  
Notary Public

Residing at:           Utah County