

## NOTICE AND AGENDA

Notice is hereby given that the City Council of the City of Santaquin will hold a City Council Meeting on Wednesday, February 21, 2018 in the Council Chambers, 45 West 100 South, at 6:00 pm.

1. **ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**
3. **INVOCATION/INSPIRATIONAL THOUGHT**
4. **DECLARATION OF ANY CONFLICT OF INTEREST**
5. **CONSENT AGENDA**
  - a. Minutes:
    1. February 07, 2018
  - b. Bills:
    1. \$545,757.32
6. **PUBLIC FORUM, BID OPENINGS, AWARDS, AND APPOINTMENTS**
  - a. Appointment of Planning Commissioner – Jessica Tolman
7. **FORMAL PUBLIC HEARING**
8. **BUSINESS LICENSES**
9. **NEW BUSINESS & ADOPTION OF ORDINANCES AND RESOLUTIONS**
  - a. Discussion and Possible Action Regarding Orchard Park Subdivision/Condo Preliminary Review
  - b. Discussion and Possible Action Regarding McMullin Twin-Home Preliminary Review
  - c. Resolution 02-03-2018, "A Resolution Approving an Interlocal Agreement for EMS Services with the Town of Goshen"
  - d. Resolution 02-05-2018, "A Resolution Approving the City's Consolidated Fee Schedule"
  - e. Resolution 02-06-2018, "A Resolution Approving a Mutual Aid Agreement with Juab County for Fire/EMS Services"
  - f. Resolution 02-07-2018, "A Resolution encouraging the Utah State Legislature's passage of a funding tool to allow cities and towns the ability to finance the continued maintenance of their local roads."
  - g. Resolution 02-08-2018, "A Resolution to surplus city parcels (09:069:0016, 09:069:0017, and 09:069:0018 – Santaquin City's Old Public Safety Buildings) and authorize the preparation of said properties for development"
  - h. Ordinance 02-04-2018, "An Ordinance Adopting the Olsons Greenhouse III Addition Annexation"
  - i. City Council Training – Annual Open Public Meetings Act Training
10. **CONVENE OF THE COMMUNITY DEVELOPMENT BOARD**
11. **CONVENE OF THE SPECIAL SERVICE DISTRICT FOR ROADS MAINTENANCE**
12. **CONVENE OF THE LOCAL BUILDING AUTHORITY OF SANTAQUIN CITY**
13. **CONVENE OF THE SANTAQUIN WATER DISTRICT**
14. **WORK MEETING**
15. **PETITIONS AND COMMUNICATIONS**
16. **REPORTS OF OFFICERS, STAFF, BOARDS, AND COMMITTEES**
  - a. City Manager Reeves
  - b. Community Development Director Bond
  - c. City Engineer Beagley
17. **REPORTS BY MAYOR AND COUNCIL MEMBERS**
  - a. Mayor Hunsaker
  - b. Council Members
18. **EXECUTIVE SESSION** (May be called to discuss the character, professional competence, or physical or mental health of an individual)
19. **EXECUTIVE SESSION** (May be called to discuss the pending or reasonably imminent litigation, and/or purchase, exchange, or lease of real property)
20. **ADJOURNMENT**

If you are planning to attend this Public Meeting and, due to a disability, need assistance in understanding or participating in the meeting, please notify the City ten or more hours in advance and we will, within reason, provide what assistance may be required.

**CERTIFICATE OF MAILING/POSTING**

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted in 3 places; City Center, Post Office and Zions Bank as well as posted on the State of Utah's Public Website.

BY: \_\_\_\_\_  
Susan Farnsworth, City Recorder

**MINUTES OF A CITY COUNCIL MEETING  
HELD IN THE COUNCIL CHAMBERS  
FEBRUARY 21, 2018**

The meeting was called to order by Mayor Kirk Hunsaker at 6:00 pm. Council Members attending: Keith Broadhead, Lynn Mecham, Betsey Montoya, and Chelsea Rowley. Keith Broadhead arrived at 6:11 pm. Nick Miller was excused.

Others attending: City Manager Ben Reeves, City Engineer Norm Beagley, Police Chief Rod Hurst, Fire Chief Stephen Olson, Jessica Tolman, Terri Kirk, Luke Kirk, Jared Toone, Thomas Toone, Scott Peterson, Kim Hunsaker, and other unidentified individuals.

**PLEDGE OF ALLEGIANCE**

Scout Kirk led the Pledge of Allegiance.

**INVOCATION/INSPIRATIONAL THOUGHT**

Mr. Madsen Offered an Invocation.

**DECLARATION OF ANY CONFLICT OF INTEREST**

There were not any Declarations of Conflicts noted.

**CONSENT AGENDA**

***Minutes:***

February 07, 2018

***Bills:***

\$545,757.32

Council Member Mecham moved to approve the Consent Agenda. Council Member Rowley seconded the motion. The vote was as follows:

Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The vote was 3 to 0 in favor of the motion.

**PUBLIC FORUM, BID OPENINGS, AWARDS, AND APPOINTMENTS**

***Appointment of Planning Commissioner – Jessica Tolman***

Mayor Hunsaker introduced Jessica Tolman to the Council Members. She has expressed a desire to serve the community as a Planning Commission Member.

Council Member Mecham moved to appoint Jessica Tolman to the Planning Commission for a 3-year term. Council Member Rowley seconded the motion. The vote was as follows:

Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The vote was 3 to 0 in favor of the motion.

**FORMAL PUBLIC HEARING**

There weren't any Formal Public Hearings scheduled.



## **BUSINESS LICENSES**

Following are the new Business Licenses issues since the February 7<sup>th</sup> meeting:

- Jetstream Tradewind - Eric Olsen - 515 N 100 W - Distribution
- Magnolia Blooms LLC. - Melissa Carter & MaryBeth Smith -340 E. Main St. STE, 5 - Floral
- The Quilted Barn - Emmaline Evans - 1154 Vista Ridge Drive - Quilting

It was also reported to date there have been 32 Building Permit's Issued Year to Date. Of those 32, 14 were new single family homes and 17 other residential (multi).

## **NEW BUSINESS & ADOPTION OF ORDINANCES AND RESOLUTIONS**

### ***Discussion and Possible Action Regarding Orchard Park Subdivision/Condo Preliminary Review***

It was reported the Orchard Park development was first reviewed at the end of 2016. Multiple-unit dwellings are a permitted use in the R-8 zone. The construction of 18 units is well under way and nearing completion. There are 5 units that have not started yet and the 3 single family lots on the west side of the property are currently vacant. The applicant is now proposing that the multi-family portion of the development be subdivided so that the units can be under separate ownership. This proposal is subject to the subdivision regulations (Title 11) (see Attachment "A" for Staff Memo).

Mr. Peterson reported the roadway within the subdivision is a private roadway. He was asked if there were additional parking options. Mr. Peterson indicated they could add 5 additional parking units to the development. Council Member Broadhead voiced his concern changing the use of the property without the new requirements being in affect. It was reported the garages are currently 20 X 20 with a 16' door. Council Member Montoya voiced her concern with removing any infrastructure to meet the current parking requirements. She questioned if it would be better for the City to have the unit's owner occupied. Council Member Mecham requested Legal Counsel Rich review the issue. Council Member Rowley was in agreement.

After the discussion, Council Member Montoya moved to continue this item until the next Council Meeting. Council Member Rowley seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The vote was 4 to 0 in favor of the motion.

### ***Discussion and Possible Action Regarding McMullin Twin-Home Preliminary Review***

It was reported Mr. Robert McMullin is seeking approval of a 16-unit twin home project located along the west side of Peach Street between Lambert Avenue and 150 North. The proposal is within the Eastside Development which comprises of all of the developed land that is north of Main Street and west of State Road 198 (see attachment "Exhibit "B"). The Development Review Committee (DRC) has reviewed the proposal and found that all development issues have been or can be addressed prior to preliminary review by the City Council.



The subject area is part of the Eastside Partnership Annexation and subject to a development agreement between Eastside Partners and Santaquin City which was entered into on February 10, 1999. The development is a Planned Unit Development (PUD) with a density of 3.36 units per acre. The proposed plat consisting of twin homes complies with the development agreement.

After the discussion, Council Member Mecham moved to approve the McMullin Twin-Home Preliminary Plat with the condition that the twin home design is approved by the Architectural Review Committee. Council Member Montoya seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Nay

The vote was 3 to 0 in favor of the motion.

***Resolution 02-03-2018, "A Resolution Approving an Interlocal Agreement for EMS Services with the Town of Goshen"***

Council Member Montoya moved to approve Resolution 02-03-2018, "A Resolution Approving an Interlocal Agreement for EMS Services with the Town of Goshen". Council Member Rowley seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The vote was 4 to 0 in favor of the motion.

***Resolution 02-05-2018, "A Resolution Approving the City's Consolidated Fee Schedule"***

Council Member Mecham moved to approve Resolution 02-05-2018, "A Resolution Approving the City's Consolidated Fee Schedule". Council Member Broadhead seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The vote was 4 to 0 in favor of the motion.

***Resolution 02-06-2018, "A Resolution Approving a Mutual Aid Agreement with Juab County for Fire/EMS Services"***

Council Member Rowley moved to approve Resolution 02-06-2018, "A Resolution Approving a Mutual Aid Agreement with Juab County for Fire/EMS Services" striking the EMS Service and making the changes to the appropriate documents. Council Member Mecham seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The vote was 4 to 0 in favor of the motion.

***Resolution 02-07-2018, "A Resolution encouraging the Utah State Legislature's passage of a funding tool to allow cities and towns the ability to finance the continued maintenance of their local roads"***

Council Member Mecham moved to approve Resolution 02-07-2018, "A Resolution encouraging the Utah State Legislature's passage of a funding tool to allow cities and towns the ability to finance the continued maintenance of their local roads". Council Member Montoya seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The vote was 4 to 0 in favor of the motion.

***Resolution 02-08-2018, "A Resolution to surplus city parcels (09:069:0016, 09:069:0017, and 09:069:0018 – Santaquin City's Old Public Safety Buildings) and authorize the preparation of said properties for development"***

Council Member Montoya moved to approve Resolution 02-08-2018, "A Resolution to surplus city parcels (09:069:0016, 09:069:0017, and 09:069:0018 – Santaquin City's Old Public Safety Buildings) and authorize the preparation of said properties for development". Council Member Broadhead seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The vote was 4 to 0 in favor of the motion.

***Ordinance 02-04-2018, "An Ordinance Adopting the Olsons Greenhouse III Addition Annexation"***

Council Member Montoya moved to approve Ordinance 02-04-2018, "An Ordinance Adopting the Olsons Greenhouse III Addition Annexation". Council Member Mecham seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye



The vote was 4 to 0 in favor of the motion.

***City Council Training – Annual Open Public Meetings Act Training***

City Manager Reeves showed a You Tube Video with regard to the current Open Public Meetings Act. He reviewed when it is appropriate to hold Executive Sessions as well as how the Executive Sessions should be conducted.

**CONVENE OF THE COMMUNITY DEVELOPMENT BOARD**

There wasn't a need to convene the Community Development Board.

**CONVENE OF THE SPECIAL SERVICE DISTRICT FOR ROADS MAINTENANCE**

There wasn't a need to convene the Special Service District for Roads Maintenance Board.

**CONVENE OF THE LOCAL BUILDING AUTHORITY OF SANTAQUIN CITY**

There wasn't a need to convene the Board of the Local Building Authority of Santaquin City.

**CONVENE OF THE SANTAQUIN WATER DISTRICT**

There wasn't a need to convene the Santaquin Water District Board.

**WORK MEETING**

There wasn't a need to hold a work meeting.

**PETITIONS AND COMMUNICATIONS**

There wasn't any Petitions or Communications to address.

**REPORTS OF OFFICERS, STAFF, BOARDS, AND COMMITTEES**

***City Manager Reeves***

City Manager Reeves Utah League of Cities and Towns in scheduled for April. Anyone wanting to go should contact him.

City Manager Reeves held a discussion with regard to the Transportation SSD. It was created with the intent to raise property taxes within the district and lower equally within City. The action required a vote of the people to raise the taxes but not reduce them. He requested closing the SSD and create a Roads Department which would be managed the same as the Water, Sewer or Fire Departments.

He met with the Museum Board Members. They have committed to meet a June 30<sup>th</sup> deadline to have all the inventory completed. They are desirous to purchase paint which has not been budgeted for. They were told to seek additional funds after they have met the 1<sup>st</sup> mile stone of inventory.

He reported he met with Mark Openshaw with regard to annexation of property along the South exit. They also discussed Openshaw's desire to have water delivered through the pressurized irrigation system to approximately 9 acres of property located at approximately 900 S and Canyon Road. They currently have approximately 25 shares of Summit Creek Irrigation Water that could be delivered through a 2" meter. Comment was made that a booster pump would be needed to deliver water to his acres. Additional water welding discussion will be held at a later date.

***City Engineer Beagley***

The Mayor or Council Members didn't have any additional questions for Engineer Beagley.

**REPORTS BY MAYOR AND COUNCIL MEMBERS**

***Mayor Hunsaker***

Mayor Hunsaker reported the Summit Creek Board Meeting is scheduled for Saturday at 8:00 am.

He also reported "Bills and Bagels" will be held at the Nebo School District Building on Saturday at 7 am.

In closing he reported he attended Congressman Curtis' Town Hall Meeting in Spanish Fork. Mayor Hunsaker asked Chief Hurst if our schools were safe. Chief Hurst indicated they are not any safer than they were 5 years ago. Chief Hurst indicated it comes down to a money issue and depends on how much you want to spend.

Council Member Mecham who is a principle within the Nebo School District indicated they have begun educating their staff members on safety issues.

Chief Hurst reported he has requested having the class room doors numbered in case outside agencies come to help with any issues.

Mrs. Kirk reported ATEC, a Spanish Fork Company, is currently installing bullet proof glass in Salt Lake County Police cars. They could provide something similar for school buildings.

***Council Members***

Council Member Broadhead reported by Saturday the City needs to let Summit Creek know where to divert the canyon water. Recorder Farnsworth will supply him with a copy of all the Summit Creek shares the City owns which will help determine how many share should be diverted where.

He also reported he is a committee member representing Mt Nebo Water Agency. They are looking for a way to create an "underground water pool". The committee hopes it would make "shuffling" of water easier as a big group. He will share the information as it is available.

Council Member Mecham reported he met with the Museum Board along with City Manager Reeves. He also took a tour of the Museum which he enjoyed.

Council Member Rowley reported the Chamber Dinner was a success as well as the Library Board Fund Raiser.

**EXECUTIVE SESSION** (May be called to discuss the character, professional competence, or physical or mental health of an individual)

There wasn't a need to call an Executive Session to discuss the character, professional competence, or physical or mental health of an individual.

**EXECUTIVE SESSION** (May be called to discuss the pending or reasonably imminent litigation, and/or purchase, exchange, or lease of real property)



There wasn't a need to call an Executive Session to discuss the pending or reasonably imminent litigation, and/or purchase, exchange, or lease of real property.

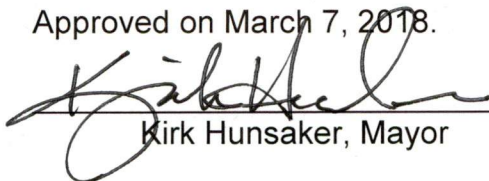
**ADJOURNMENT**

At 8:16 pm Council Member Montoya moved to adjourn. Council Member Mecham seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Mecham	Aye
Council Member Montoya	Aye
Council Member Rowley	Aye

The vote was 4 to 0 in favor of the motion.

Approved on March 7, 2018.

  
Kirk Hunsaker, Mayor

  
Susan B. Farnsworth, City Recorder

# MEMO



To: Mayor Hunsaker and City Council  
From: Jason Bond, Community Development Director  
Date: February 16, 2018  
Re: **Orchard Park Subdivision Preliminary Review**

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The Orchard Park development was first reviewed at the end of 2016. Multiple-unit dwellings are a permitted use in the R-8 zone. The construction of 18 units is well under way and nearing completion. There are 5 units that have not started yet and the 3 single family lots on the west side of the property are currently vacant. The applicant is now proposing that the multi-family portion of the development be subdivided so that the units can be under separate ownership. This proposal is subject to the subdivision regulations (Title 11).

The Planning Commission motion is as follows:

**Motion:** Commission member Lance made a motion to forward a positive recommendation to City Council for the Orchard Park Subdivision upon staff's findings with findings. Commissioner Sperry seconded.

**Roll Call:** Adcock Aye, Francom Aye, Wood, Aye, Sperry Aye, Lance Aye. The vote passed 5 to 0.

"Following a recommendation from the development review committee and the planning commission, the city council may do one of the following: 1) approve a preliminary plat application if it finds that the application fully complies with the ordinances of the city, 2) approve a subdivision plat subject to conditions that are intended to mitigate any shortcoming as determined through the review process, or in order to foster the betterment of the health, safety, and general welfare of the citizens of Santaquin, or 3) deny an application based on a compelling countervailing public interest." (Santaquin City Code 11-5-6C)

Furthermore, the Development Review Committee (DRC) will still need to approve the final plat before any lots are recorded. The Development Review Committee may only approve a plat submittal after finding that the development standards of subdivision title, the zoning title, the laws of the State of Utah, and any other applicable ordinances, rules, and regulations have been or can be met prior to the recordation or construction beginning (Santaquin City Code 11-5-6B)

**Staff Recommendation:** It is recommended that the City Council discuss the proposed preliminary plan of the Orchard Park subdivision.




# ORCHARD PARK TOWNHOMES

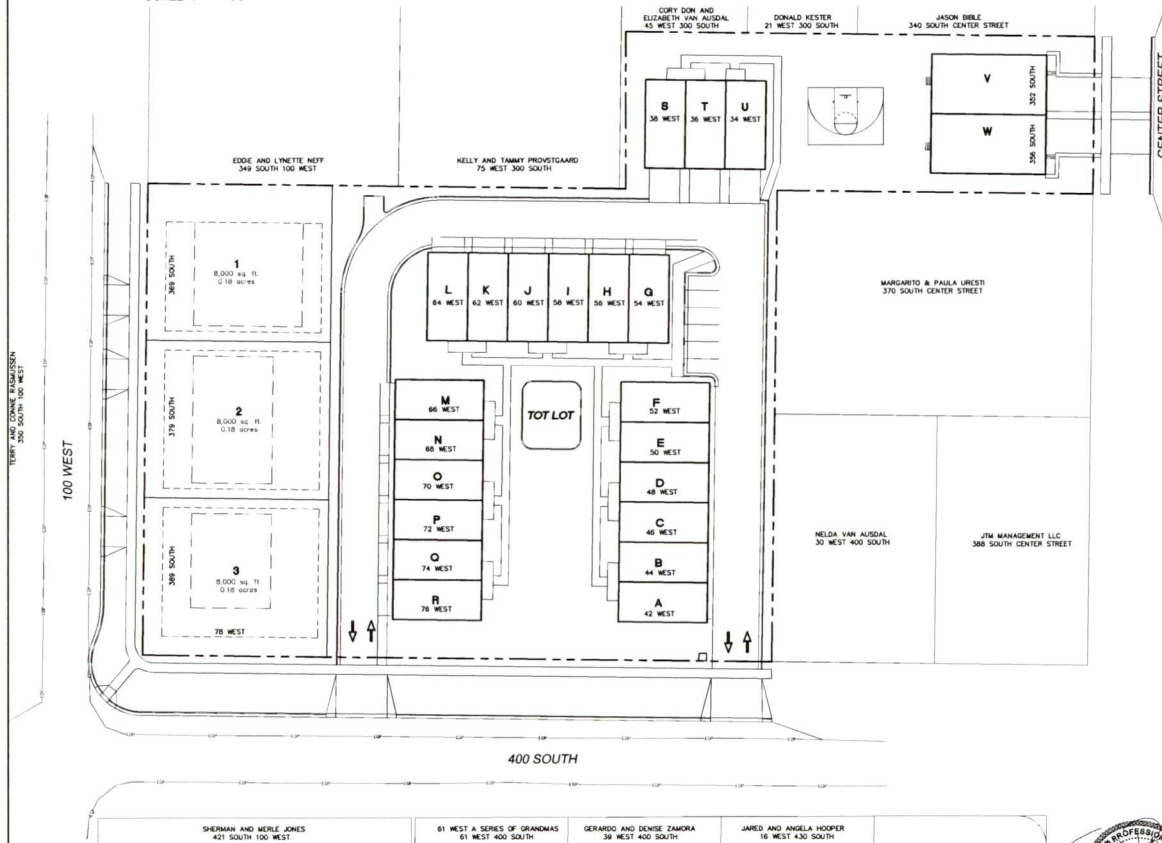
## AMENDED SITEPLAN

### SANTAQUIN, UTAH COUNTY, UTAH

#### FINAL PLAN SET

#### JANUARY 2018

  
 (24"x36")  
 SCALE 1" = 30'  
 (11"x17")  
 SCALE 1" = 60'



**BOUNDARY DESCRIPTION:**  
 ALL OF LOTS 2 AND 3, BLOCK 2, PLAT A, SANTAQUIN CITY SURVEY OF BUILDING LOTS. ALSO COMMENCING AT THE SOUTHEAST CORNER OF LOT 6, BLOCK 2, PLAT A, SANTAQUIN CITY SURVEY OF BUILDING LOTS THENCE WEST 15 RODS; THENCE NORTH 5 RODS; THENCE EAST 15 RODS; THENCE SOUTH 5 RODS TO BEGINNING. ALSO DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 3, BLOCK 2, PLAT A, SANTAQUIN CITY SURVEY OF BUILDING LOTS, WHICH POINT LIES SOUTH 89°48'25" WEST 311.03 FEET ALONG THE SECTION LINE AND NORTH 498.75 FEET FROM THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE SOUTH 89°19'00" EAST 350.00 FEET ALONG THE BLOCK LINE TO THE SOUTHEAST CORNER OF LOT 2 OF SAID BLOCK 2; THENCE NORTH 0°41'00" EAST 247.50 FEET ALONG AN EXISTING FENCE AND THE LOT LINE TO THE NORTHEAST CORNER OF SAID LOT 2; THENCE SOUTH 89°19'00" EAST 165.00 FEET ALONG AN EXISTING FENCE AND THE LOT LINE TO THE SOUTHEAST CORNER OF LOT 6; THENCE NORTH 0°41'00" EAST 82.50 FEET ALONG THE EAST LINE OF LOT 6; THENCE NORTH 89°19'00" WEST 245.14 FEET TO AN EXISTING FENCE; THENCE SOUTH 0°04'42" WEST 82.50 FEET ALONG SAID FENCE TO THE NORTH LINE OF LOT 2; THENCE NORTH 89°19'00" WEST 250.73 FEET ALONG A FENCE AND THE NORTH LINE OF LOTS 2 AND 3 TO THE NORTHWEST CORNER OF LOT 3; THENCE SOUTH 0°41'00" WEST 247.50 FEET ALONG THE WEST LINE OF LOT 3 TO THE POINT OF BEGINNING. AREA = 2.34 AC.

### -SHEET INDEX-

SHEET	SHEET NAME
1	COVER & INDEX
2	SITE PLAN
3	GRADING PLAN
4	LANDSCAPING PLAN
5	IRRIGATION PLAN
6	DETAIL SHEET
7	DETAIL SHEET
8	FIRE ACCESS PLAN
PP-01	STREET PLAN & PROFILE SHEET - 100 WEST - STA. 10+00 TO STA. 14+04.11
PP-02	STREET PLAN & PROFILE SHEET - 400 SOUTH - STA. 10+00 TO STA. 16+35.13
PP-03	STREET PLAN & PROFILE SHEET - LOOP ROAD - STA. 10+00 TO STA. 13+60
PP-04	STREET PLAN & PROFILE SHEET - LOOP ROAD - STA. 13+60 TO STA. 17+20.03
PP-05	STREET PLAN & PROFILE SHEET - CENTER STREET - STA. 10+00 TO STA. 11+63.48
SS-01	SEWER PLAN & PROFILE SHEET

### DENSITY TABLE

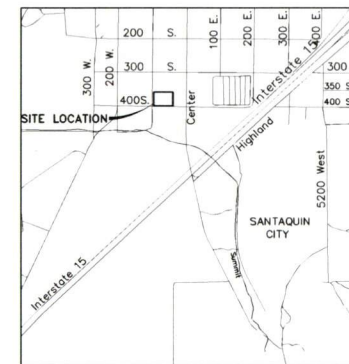
ZONING CLASSIFICATION=R-8  
 NUMBER OF UNITS=26  
 ACREAGE=2.34 ACRES  
 ACREAGE TO BE DEDICATED FOR STREET ROW=0.00  
 PARCEL SIZE SF=101,930  
 SINGLE FAMILY LOT SF=24,000  
 BUILDING AREA SF=23,915  
 PARKING LOT AREA SF=22,798  
 LANDSCAPE AREA IN SF=31,217

### NOTES

1. ALL UNITS TO BE ADA ADAPTABLE.
2. IF PROJECT IS TO BE SOLD AS CONDO UNITS, CONDOMINIUM PLAT, CEAR'S, AND HOA DOCS WILL BE REQUIRED TO BE APPROVED BY PLANNING COMMISSION.

### LEGEND

LEGEND APPLIES TO ALL SHEETS



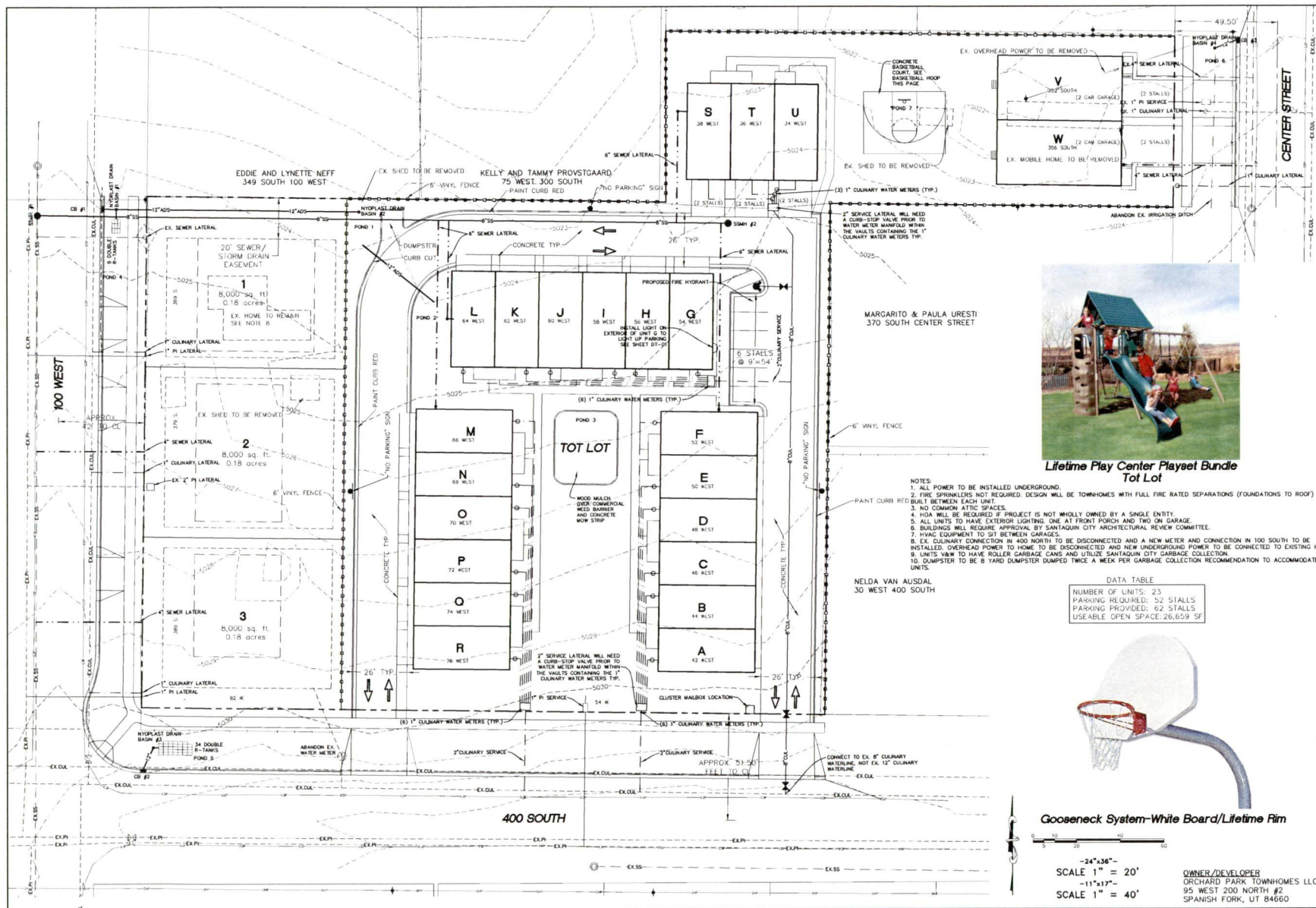
VICINITY MAP  
-NTS-



PHONE: 801-655-0566  
 FAX: 801-655-0109  
 946 E 1800 N SUITE A  
 SPANISH FORK, UT 84660

OWNER/DEVELOPER  
 ORCHARD PARK TOWNHOMES LLC  
 95 WEST 200 NORTH #2  
 SPANISH FORK, UT 84660





SHEET NO. 2

SITE PLAN

SANTIAGO, UTAH

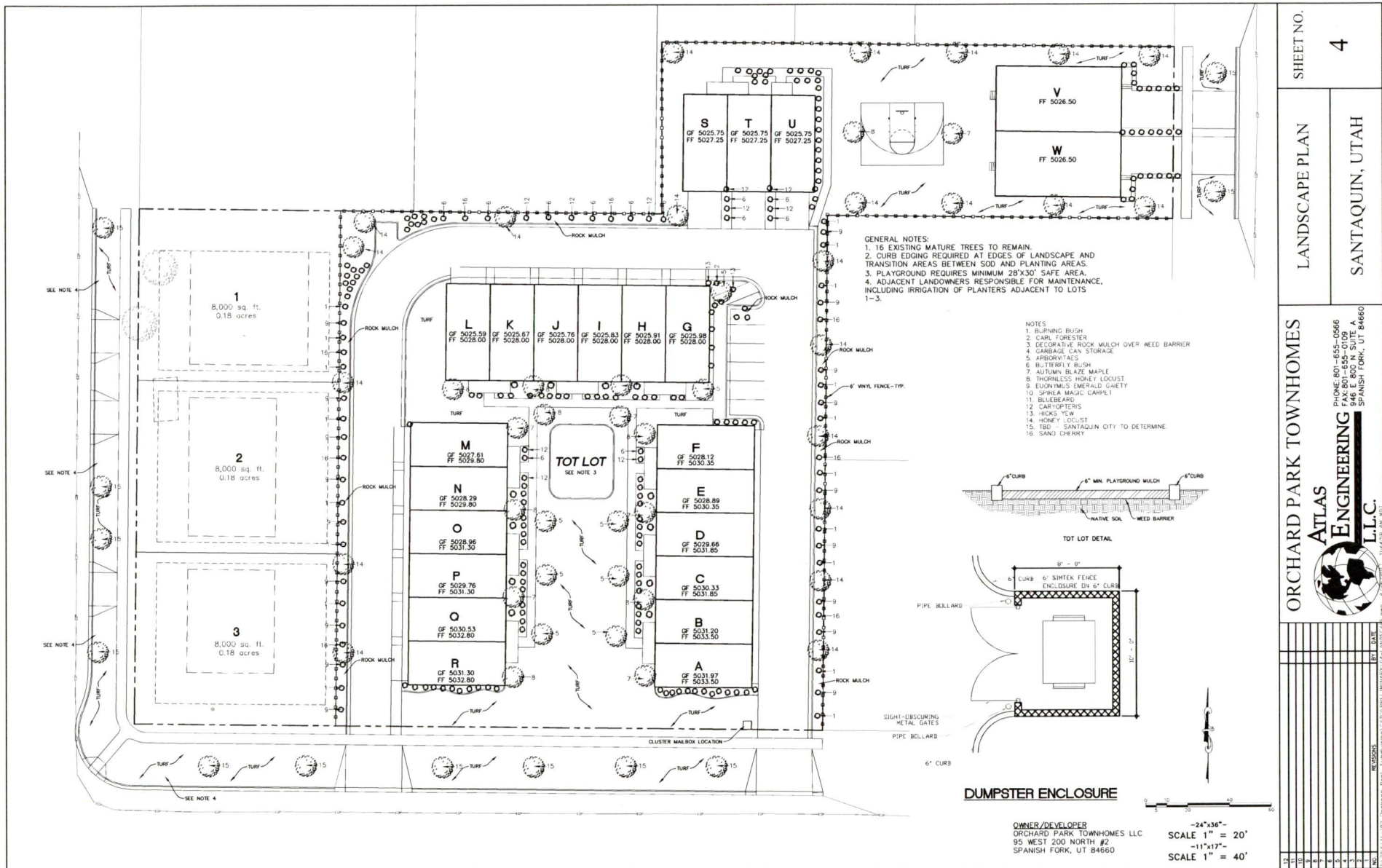
ORCHARD PARK TOWNHOMES

**ATLAS**  
ENGINEERING  
LLC

PHONE: 801-655-0566  
 FAX: 801-655-0109  
 946 E 800 N SUITE A  
 SPANISH FORK, UT 84660



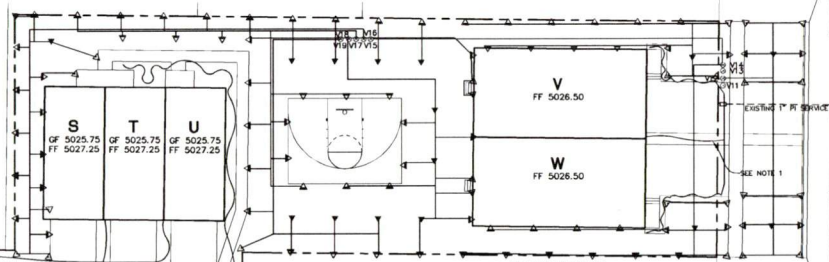
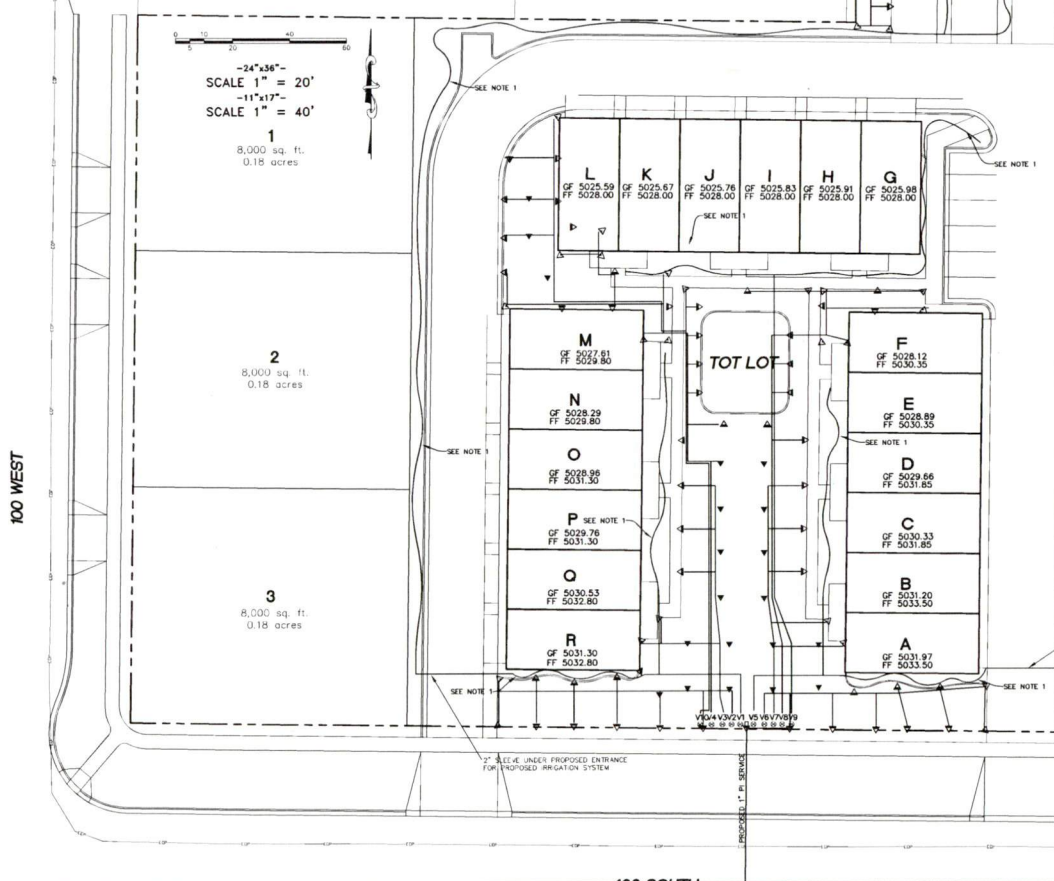






# IRRIGATION LEGEND

SYMBOL	DESCRIPTION	PRECIP IN/HR	PS	GPM	RADIUS	REMARKS
●●●●●	RANBRO 1804 POP-UP SPRAY WITH 100, 10T, 10H, AND 10F NOZZLES	1.52	30	0.38, 0.53, 0.79, 4, 1.58	10 FEET	KEEP 2" AWAY FROM HARDSCAPE
●●●●●	RANBRO 1804 POP-UP SPRAY WITH 150, 15H, AND 15F NOZZLES	1.52	30	0.61, 1.21	15 FEET	KEEP 2" AWAY FROM HARDSCAPE
●●●●●	RANBRO 1804 POP-UP SPRAY WITH 10F NOZZLE	1.52	30	1.58	10 FEET	KEEP 2" AWAY FROM HARDSCAPE
●●●●●	RANBRO 1804 POP-UP SPRAY WITH 150, 15H, AND 15F NOZZLES	1.58	30	0.92, 1.85, 3.70	15 FEET	KEEP 2" AWAY FROM HARDSCAPE
●●●●●	RANBRO 5000 SERIES ROTOR WITH 1.0 AND 2.0 NOZZLE	0.20-1.01	55	0.73 - 9.63	25-50 FEET	KEEP 2" AWAY FROM HARDSCAPE
●●●●●	RANBRO 5000 SERIES ROTOR WITH 4.0 NOZZLE	0.20-1.01	55	0.73 - 9.63	25-50 FEET	KEEP 2" AWAY FROM HARDSCAPE
●●●●●	NETAW PRO/VALVE DRIP CONTROL VALVE - 3/4"	-	-	-	-	INSTALL IN STD. VALVE BOX
●●●●●	RANBRO PLSB-PHS-D AUTOMATIC CONTROL VALVE (SIZE AS NOTED ON PLAN)	-	-	-	-	INSTALL IN JUMBO VALVE BOX
●●●●●	1" RANBRO QUICK COUPLER VALVE, MODEL # 4-K-ACME	-	-	-	-	INSTALL IN 10" ROUND VALVE BOX
●●●●●	BACKFLOW PREVENTION	-	-	-	-	-
●●●●●	RANBRO ESP-LV PLUS-24 OUTDOOR CONTROLLER	-	-	-	-	CONNECT TO POWER, VALVES AND COU
●●●●●	RESURGENT WEDGE GATE VALVE (LINE SIZE)	-	-	-	-	INSTALL IN JUMBO VALVE BOX
●●●●●	SCHEDULE 40 PVC LATERAL LINE (SIZE AS NOTED ON PLAN)	-	-	-	-	REFERENCE IRRIGATION DETAILS
●●●●●	2" SCHEDULE 40 MAIN LINE	-	-	-	-	REFERENCE IRRIGATION DETAILS
●●●●●	CLASS 250 SLEEVE (SIZE TO BE A MIN. OF TWICE THE DIAMETER OF THE LATERAL)	-	-	-	-	COORDINATE W/CONCRETE & ASPHALT
●●●●●	14 GAUGE CONTROL WIRE (SOLID COPPER, 2 STRAND)	-	-	-	-	ROUTE WITH MAINLINE
●●●●●	RANBRO LANDSCAPE DRIP LINE 1D-09-18-500	-	-	-	-	REFERENCE IRRIGATION DETAILS



OWNER/DEVELOPER  
ORCHARD PARK TOWNHOMES LLC  
95 WEST 200 NORTH #2  
SPANISH FORK, UT 84660

VALVE SIZE	VALVE ID TAG	GALLONS PER MINUTE
1"	V1	24.97
1"	V2	24.97
1"	V3	24.97
1"	V4	24.97
1"	V5	24.97
1"	V6	24.97
1"	V7	24.97
1"	V8	24.97
1"	V9	24.97
1"	V10	24.97
1"	V11	24.97
1"	V12	24.97
1"	V13	24.97
1"	V14	24.97
1"	V15	24.97
1"	V16	24.97
1"	V17	24.97
1"	V18	24.97
1"	V19	24.97

- DRIP IRRIGATION AND BUBBLER NOTES:**
- 1) USE RANBRO DRIP SYSTEM IRRIGATION PRODUCTS FOR THE DRIP SYSTEM OR AN APPROVED EQUAL.
  - 2) USE LOW VOLUME CONTROL ZONE (LVCS) OR APPROVED EQUAL.
  - 3) USE 17 MM TECHTUBE TUBING WITH 15' EMITTER SPACING. TRIANGULATE LOCATION OF EMITTERS IF POSSIBLE.
  - 4) DO NOT EXCEED 500 LIN. FEET OF TUBING FOR ANY SINGLE RUN.
  - 5) ALL SUPPLY LINES ARE TO BE 3/4" SCHEDULE 40 PVC.
  - 6) RUN TUBING PARALLEL TO CONTIGUOUS WHEN POSSIBLE.
  - 7) INSTALL DRAIN VALVE AT LOW POINT IN EACH ZONE.
  - 8) INSTALL AIR RELIEF VALVE AT HIGH POINT IN EACH ZONE.
  - 9) INSTALL (2) 1400 PSI PRESSURE COMPENSATING FULL CIRCLE BUBBLER PER TREE. LOCATE BUBBLER NEXT TO ROOTBALL OF TREE. REFERENCE DETAILS FOR INSTALLATION OF BUBBLER ON RISER.

- SPRINKLER NOTES:**
- 1) LANDSCAPE CONTRACTOR (L.C.) SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SLEEVES.
  - 2) MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK SHALL BE ALLOWED IN TRENCHES.
  - 3) ALL MAIN LINES AND LATERALS SHALL BE SDR-40 PVC.
  - 4) PROVIDE AN AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION.
  - 5) PLACE PIPES, VALVE BOXES, AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS WHENEVER POSSIBLE. ALL PIPES SHALL BE ON PROPERTY OF OWNER.
  - 6) L.C. SHALL HAVE ALL UTILITIES STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE L.C. WITH NO EXTRA COST TO THE OWNER.
  - 7) MAIN LINE SHALL BE 2" UNLESS OTHERWISE DIRECTED. LATERAL LINES SHALL BE NO SMALLER THAN 3/4". PIPES SHALL CARRY NO MORE THAN THE FOLLOWING:  
3/4" PIPE MAX. 100PM  
1" PIPE MAX. 130PM  
1-1/4" PIPE MAX. 240PM  
1-1/2" PIPE MAX. 300PM  
2" PIPE MAX. 500PM
  - 8) INSTALL ALL HEADS 2" AWAY FROM ALL WALKS AND WALLS. BOXES 6" MIN. FROM WALKS AND WALLS SQUARED WITH THE WALK.
  - 9) L.C. SHALL ONLY USE COMMERCIAL GRADE RANBRO PRODUCTS OR EQUAL. L.C. IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
  - 10) L.C. SHALL BUILD IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE FOR ALL LANDSCAPE AREAS.
  - 11) L.C. SHALL PRESSURE TEST MAIN AND VALVES AT 150 PSI BEFORE BURNAL.
  - 12) ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE L.C. SHALL APPLY FOR ALL PERMITS AND PAY FOR THE SAME.
  - 13) ALL SPRINKLERS TO BE ADJUSTED ON SITE AS NECESSARY TO AVOID ANY WATER SPRAYING ONTO STREETS, SIDEWALKS AND BUILDINGS.
  - 14) ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS AS NEEDED TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
  - 15) POWER TO CONTROLLER TO BE PROVIDED BY DEVELOPER. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER.
  - 16) AUTOMATIC RING DRAINS TO BE INSTALLED AT ALL LOW POINTS IN IRRIGATION PIPE. CONTRACTOR IS RESPONSIBLE TO ENSURE SYSTEM DRAINS PROPERLY.
  - 17) EXISTING STATIC WATER PRESSURE AT POINT OF CONNECTION IS — PSI. PRESSURE REDUCER TO BE INSTALLED BY DEVELOPER AT POINT OF CONNECTION AND BE SET TO 70 PSI. VALVES TO BE SET TO OPERATE AT SPECIFIED PRESSURE NOTED IN LEGEND.
  - 18) INSTALL (1) QUICK COUPLER PER GROUPING OF VALVES.
  - 19) RAIN SHUT OFF DEVICE TO BE INSTALLED AT OR NEAR CONTROLLER PER MANUFACTURER'S RECOMMENDATIONS.

SHEET NO. 5

IRRIGATION PLAN

SANTAQUIN, UTAH

ORCHARD PARK TOWNHOMES

ATLAS ENGINEERING LLC

PHONE 801-455-0566  
FAX 801-655-0109  
946 E 800 N SUITE 1A  
SPANISH FORK, UT 84660



SHEET NO. 6

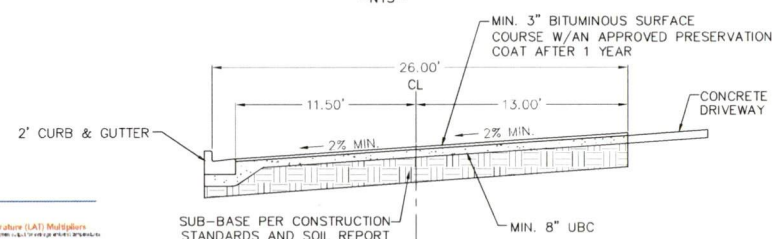
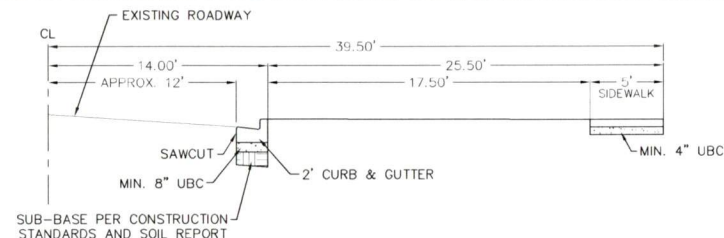
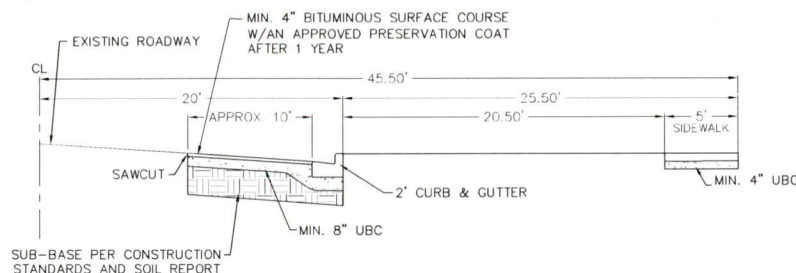
DETAIL SHEET

SANTAQUIN, UTAH

ORCHARD PARK TOWNHOMES  
**ATLAS**  
**ENGINEERING**  
**L.L.C.**

PHONE: 801-655-0566  
 FAX: 801-655-0109  
 546 E 900 N SUITE A  
 SPANISH FORK, UT 84660

DATE	11/11/11
BY	WJG
CHECKED	WJG
APPROVED	WJG
SCALE	AS SHOWN
PROJECT	ORCHARD PARK TOWNHOMES
SHEET NO.	6
TOTAL SHEETS	6

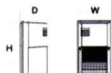


# TWS LED LED Wall Luminaire

Quantity: \_\_\_\_\_  
 Notes: \_\_\_\_\_  
 Price: \_\_\_\_\_

## Specifications

Width: 3.24"  
 Height: 1.72"  
 Depth: 5.51"  
 Weight: 3.1 lbs



## Introduction

The popular TWS luminaire is now available with long lasting, energy efficient LED technology. Featuring a classic design, the TWS LED offers a traditional appearance and is powered by advanced LEDs.

The TWS LED luminaire is powerful yet energy efficient, capable of replacing up to a 70W HPS wall pack while saving up to 78% in energy costs. With long life LEDs, the TWS LED eliminates frequent lamp and ballast replacements associated with traditional technologies.

## Ordering Information

EXAMPLE: TWS LED 1 50K 120 PE

Series	Performance/Range	Color Temperature	Output	Beam Angle	Control System	Notes
TWS LED	1	3000K	20W	120°	RL	120V AC, 60Hz

## Accessories

WJG  
 11/11/11  
 11/11/11

## FEATURES & SPECIFICATIONS

**WARRANTY**  
 The TWS LED luminaire is warranted against defects in materials and workmanship for a period of 5 years from the date of installation. This warranty is void if the luminaire is not installed according to the instructions provided. The warranty does not cover damage caused by misuse, abuse, or neglect.

**CONSTRUCTION**  
 The TWS LED luminaire is constructed from high quality materials and is designed for long life. The luminaire is rated for outdoor use and is resistant to corrosion.

**FINISH**  
 The TWS LED luminaire is finished with a durable, powder coated finish that is resistant to fading and chipping.

**OPTIONS**  
 The TWS LED luminaire is available with a variety of options, including different color temperatures and beam angles.

**ELECTRICAL**  
 The TWS LED luminaire is designed to be used with a standard 120V AC, 60Hz power source. The luminaire is rated for a maximum load of 20W.

**INSTALLATION**  
 The TWS LED luminaire should be installed in a well-ventilated area. The luminaire should be mounted to a solid surface and should be protected from physical damage.

**MAINTENANCE**  
 The TWS LED luminaire requires minimal maintenance. The luminaire should be cleaned regularly with a soft cloth and mild detergent.

## Performance Data

**Lumen Output**

Series	Power (W)	Beam Angle (°)	Output (lm)	lm/W	Series	Power (W)	Beam Angle (°)	Output (lm)	lm/W
TWS LED	1	120	2000	100	TWS LED	1	120	2000	100

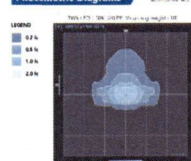
**Lumen Ambient Temperature (LAT) Multipliers**

Series	Power (W)	Beam Angle (°)	Output (lm)	lm/W	Series	Power (W)	Beam Angle (°)	Output (lm)	lm/W
TWS LED	1	120	2000	100	TWS LED	1	120	2000	100

## Electrical Load

Series	Power (W)	Beam Angle (°)	Output (lm)	lm/W	Series	Power (W)	Beam Angle (°)	Output (lm)	lm/W
TWS LED	1	120	2000	100	TWS LED	1	120	2000	100

## Photometric Diagrams



## Lighting Facts Labels



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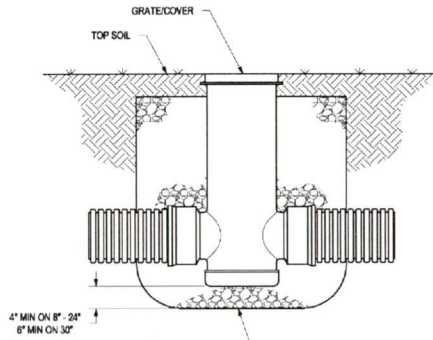


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TWS LED  
 Rev. 11/11

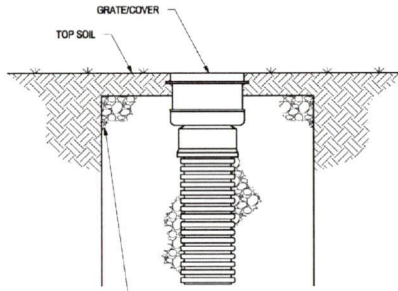
# NON TRAFFIC INSTALLATION

## DRAIN BASIN



THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

## INLINE DRAIN



THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

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DATE: 9-26-99  
REVISED BY: NMM  
DATE: 03-11-10  
PROJECT NO./NAME:  
DWG SIZE: A  
SCALE: 1/2\"/>

3134 VERONA AVE  
BURLINGAME, CA 94010  
PHONE: (770) 832-2443  
FAX: (770) 832-2440  
WWW.NYLOPLAST.COM  
NYLOPLAST  
TITLE: DRAIN BASIN & INLINE DRAIN  
NON TRAFFIC INSTALLATION  
DWG NO.: 7081-115-111  
REV: E

SHEET NO.

7

DETAIL SHEET

SANTAQUIN, UTAH

ORCHARD PARK TOWNHOMES

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SANTAQUIN, UT 84660

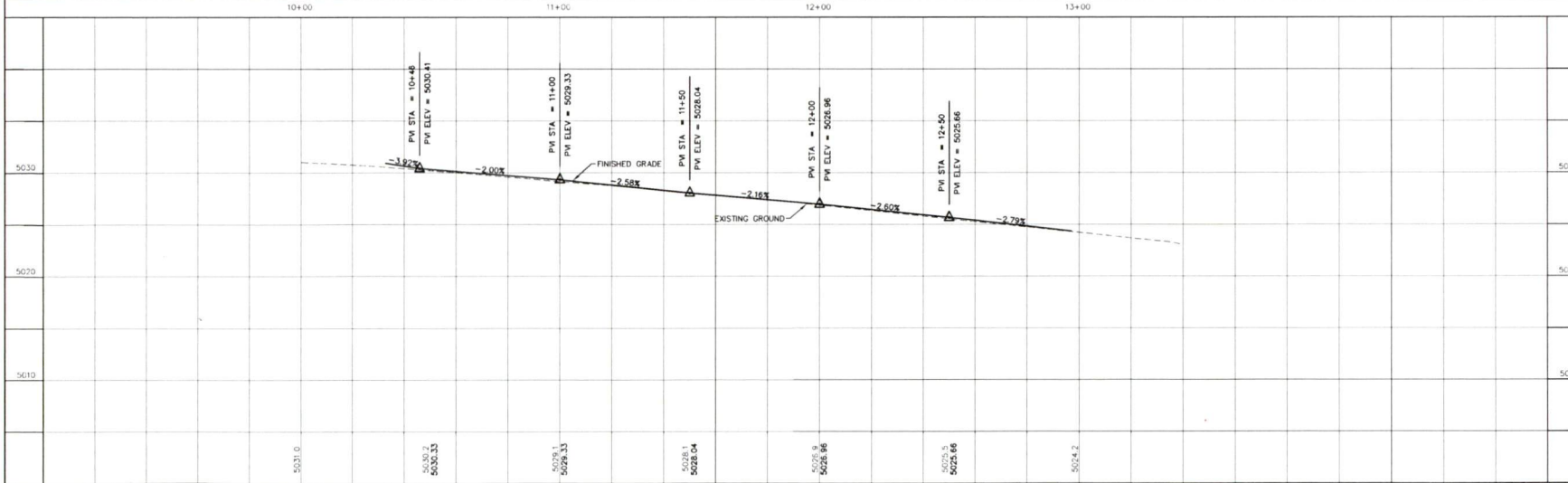
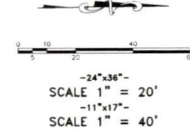
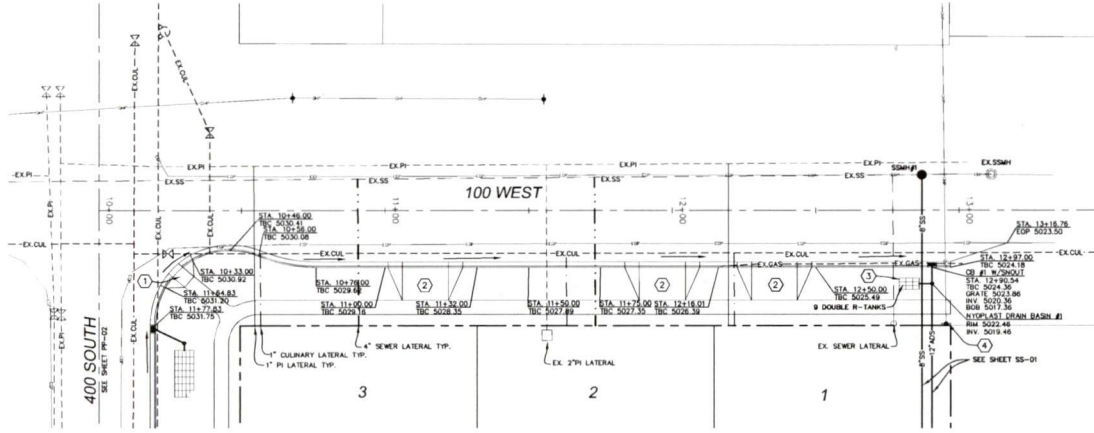
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# CONSTRUCTION NOTES:

1. INSTALL PEDESTRIAN ACCESS RAMP PER SANTAQUIN CITY STANDARDS.
2. DRIVEWAY PER SANTAQUIN CITY STANDARDS.
3. R-TANKS TO HAVE MIRAFY (OR EQUIVALENT) ALL SIDES. BACK FILL WITH SAND. PROVIDE MIN 18" COVER.
4. EXISTING POWER POLE TO BE REMOVED.



SHEET NO.  
**PP-01**

100 WEST  
STA. 10+00 TO STA. 13+50  
SANTAQUIN, UTAH

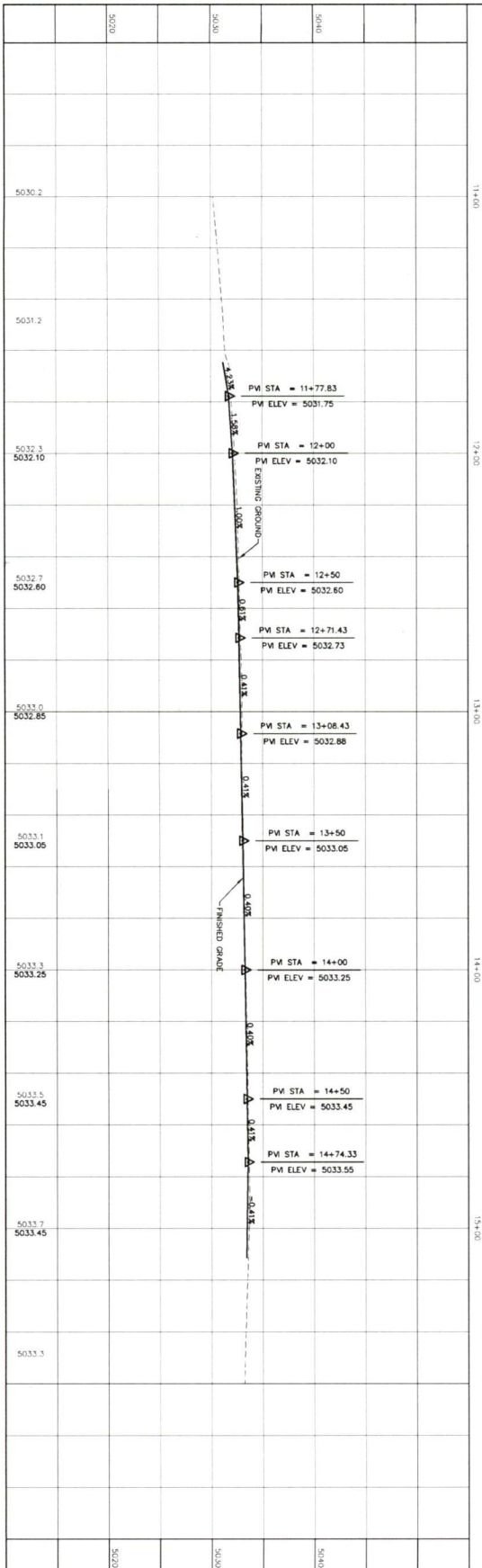
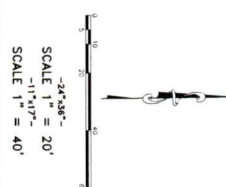
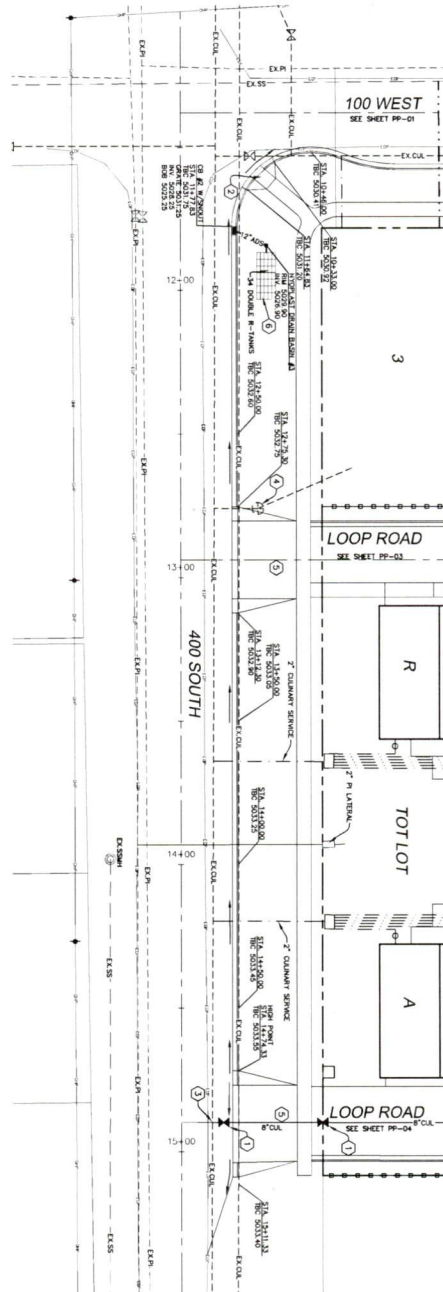
ORCHARD PARK TOWNHOMES  
ATLAS  
ENGINEERING  
L.L.C.

NO.	REVISION	DATE
1		
2		
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6		
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10		

PHONE 801-655-0566  
FAX 801-655-0709  
100 WEST  
SANTAQUIN, UTAH 84460



- CONSTRUCTION NOTES:
1. INSTALL FLOWMETER WATER VALVE PER SANTAQUIN CITY STANDARDS.
  2. ALL PROPOSED ACCESS ROADS SHALL BE CONSTRUCTED PER SANTAQUIN CITY STANDARDS.
  3. ALL EXISTING UTILITY LOCATIONS SHALL BE MAINTAINED.
  4. EX. WATER METERS TO BE MAINTAINED.
  5. DRIVE APPROACH PER SANTAQUIN CITY STANDARDS.
  6. R-TANKS TO HAVE UNFURY (OR EQUIVALENT) ALL SIDES.
  7. BACK FILL WITH SAND. PROVIDE MIN 18" COVER.



NO.	REVISIONS	BY	DATE
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2	2.0		
3	3.0		
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17	17.0		
18	18.0		
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20	20.0		

ORCHARD PARK TOWNHOMES

ATLAS ENGINEERING L.L.C.

PHONE: 801-655-0566  
FAX: 801-655-0109  
946 E 800 N SUITE A  
SPANISH FORK, UT 84660

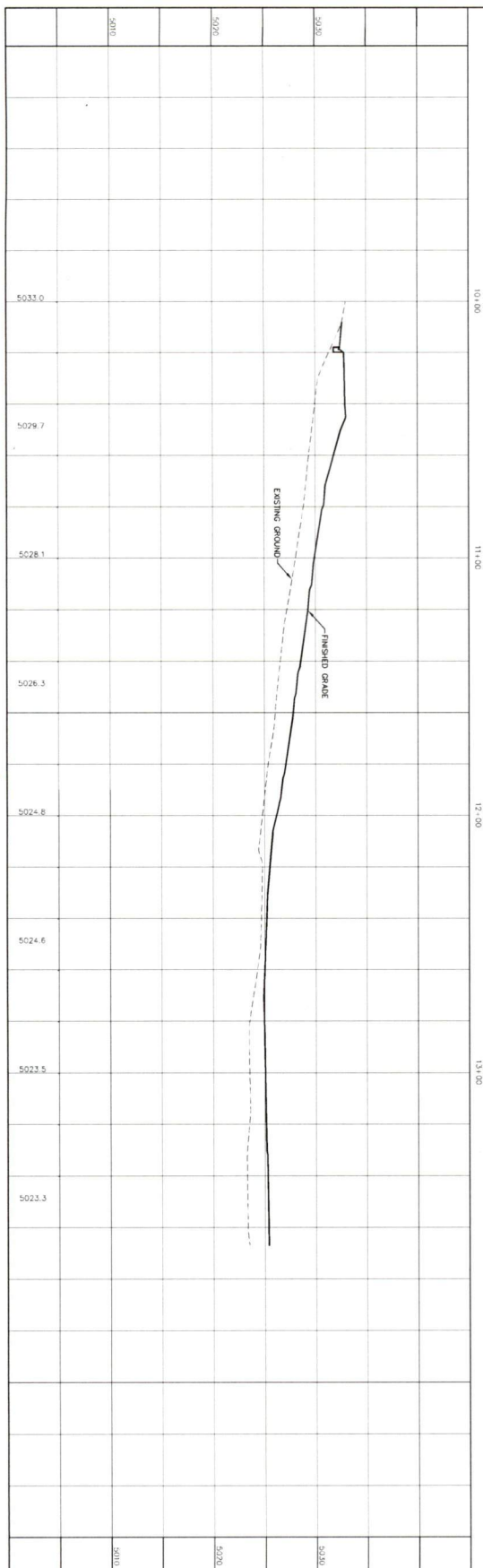
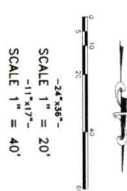
400 SOUTH  
STA. 11+00 TO STA. 15+50

SANTAQUIN, UTAH

SHEET NO.  
PP-02

- CONSTRUCTION NOTES  
 1. ALL EXISTING UTILITIES TO BE ABANDONED.  
 2. PROPOSED FENCE

REFERENCE UP CURB & GUTTER



NO.	REVISIONS	BY	DATE
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ORCHARD PARK TOWNHOMES  
**ATLAS ENGINEERING L.L.C.**  
 PHONE: 801-655-0566  
 FAX: 801-655-0109  
 946 E 800 N SUITE A  
 SPANISH FORK, UT 84660

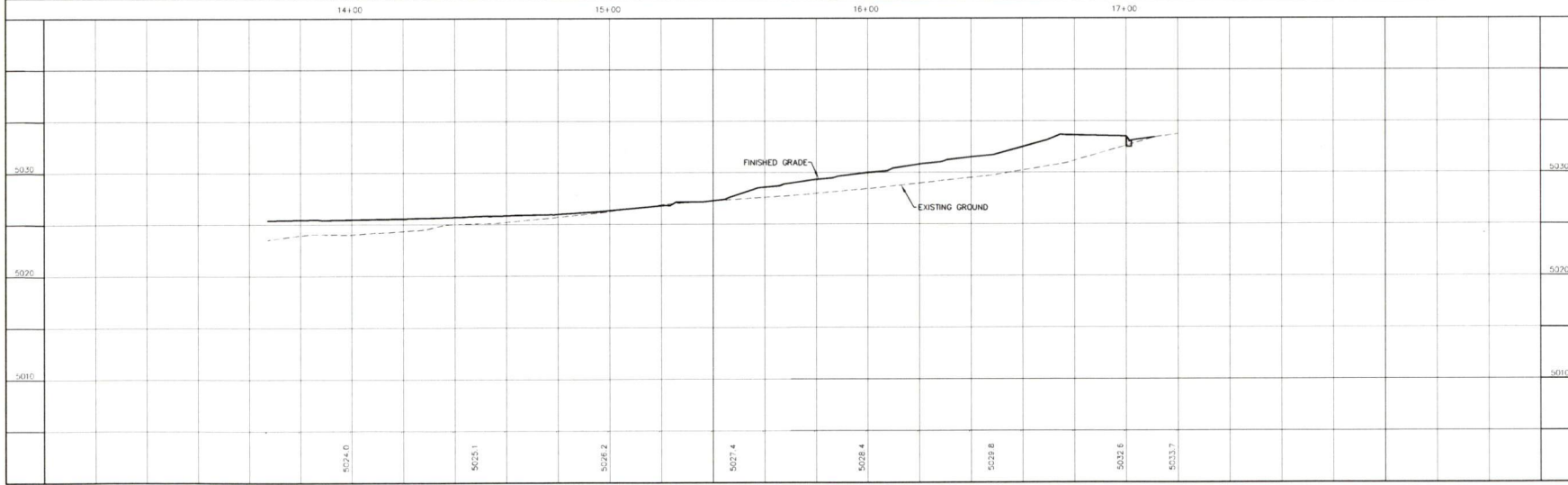
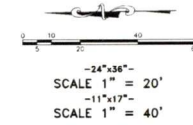
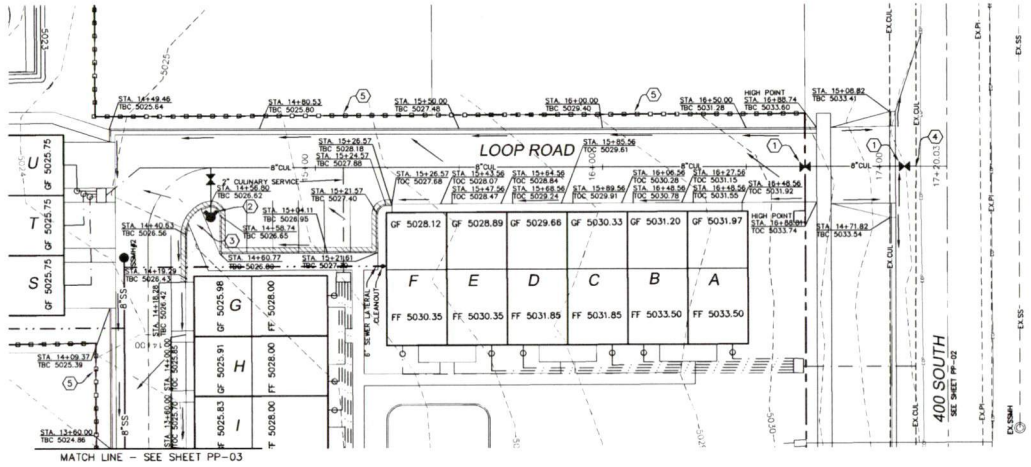
LOOP ROAD  
 STA. 10+00 TO STA. 13+60  
 SANTAQUIN, UTAH

SHEET NO.  
**PP-03**



- CONSTRUCTION NOTES:
1. INSTALL 8" CULINARY WATER VALVE PER SANTAQUIN CITY STANDARDS.
  2. INSTALL FIRE HYDRANT PER SANTAQUIN CITY STANDARDS.
  3. INSTALL PEDESTRIAN ACCESS RAMP PER SANTAQUIN CITY STANDARDS.
  4. LOCATE AND TIE TO EXISTING CULINARY WATERLINE.
  5. PROPOSED FENCE

REVERSE LIP CURB & GUTTER

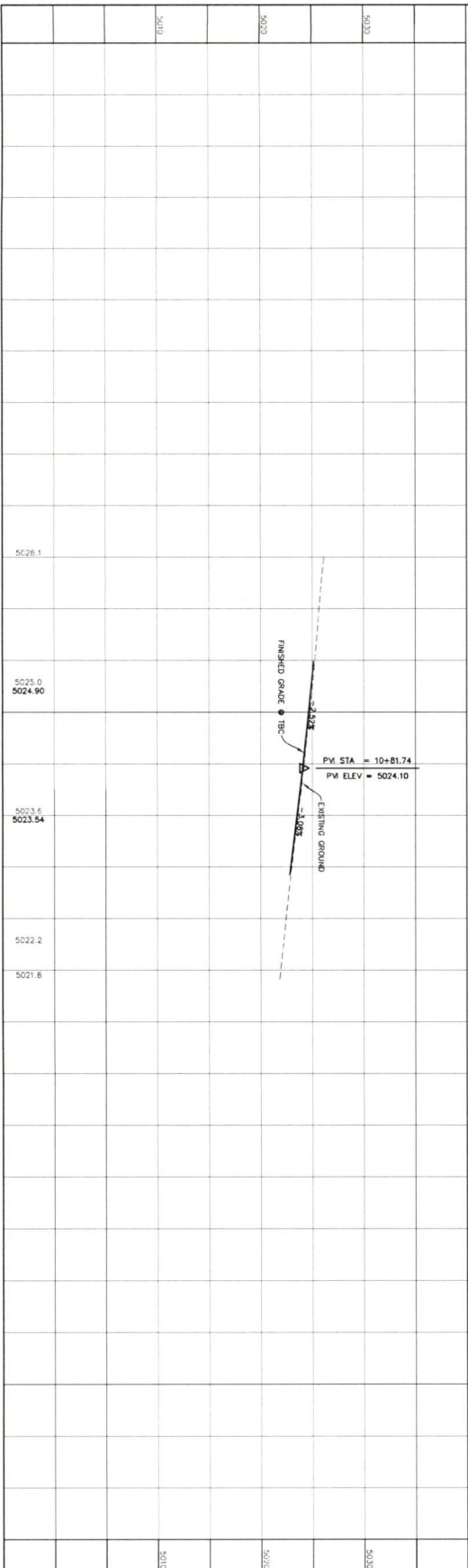


SHEET NO.  
**PP-04**

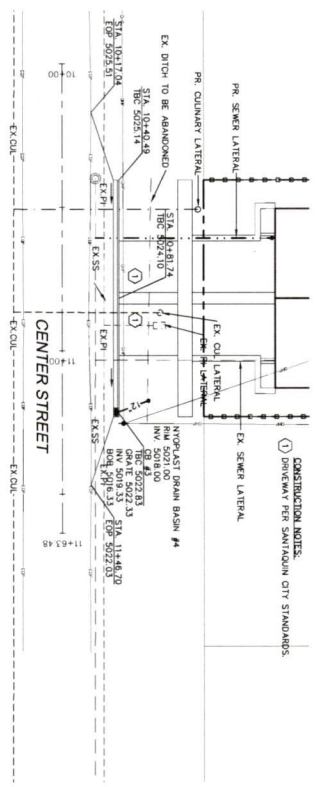
LOOP ROAD  
STA. 13+60 TO STA. 17+20.03  
SANTAQUIN, UTAH

ORCHARD PARK TOWNHOMES  
**ATLAS ENGINEERING L.L.C.**  
PHONE: 801-655-0566  
FAX: 801-655-0109  
846 E 800 N SUITE A  
SPRINGDALE, UT 84660

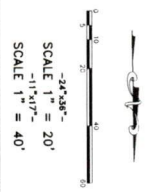
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10+00 11+68.43



CONSTRUCTION NOTES:  
① ORIENTED PER SANTIQUIN CITY STANDARDS.



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ORCHARD PARK TOWNHOMES

**ATLAS  
ENGINEERING  
L.L.C.**

PHONE: 801-655-0566  
FAX: 801-655-0109  
846 E 800 N SUITE A  
SPANISH FORK, UT 84660

CENTER STREET  
STA. 10+00 TO STA. 11+68.43

SANTAQUIN, UTAH

SHEET NO.  
**PP-05**





# MEMO



To: Mayor Hunsaker and City Council

From: Jason Bond, Community Development Director

Date: February 16, 2018

Re: **McMullin Twin Homes (Eastside Subdivision) Preliminary Review**

Zone: R-10
Size: 2.15
Lots: 16

Mr. Robert McMullin is seeking approval of a 16-unit twin home project located along the west side of Peach Street between Lambert Avenue and 150 North. The proposal is within the Eastside Development which comprises of all of the developed land that is north of Main Street and west of State Road 198 (see attachment "Exhibit A"). The Development Review Committee (DRC) has reviewed the proposal and found that all development issues have been or can be addressed prior to preliminary review by the City Council.

The subject area is part of the Eastside Partnership Annexation and subject to a development agreement between Eastside Partners and Santaquin City which was entered into on February 10, 1999. The development is a Planned Unit Development (PUD) with a density of 3.36 units per acre. The proposed plat consisting of twin homes complies with the development agreement.

Peach Street currently has all utility main lines (culinary water, pressurized irrigation and sewer) located within the right-of-way. The new lots would need to cut into the existing roadway and connect to those main lines. Because of the extent in which the road would be cut for lateral trenches, the developer will need to properly patch the road and place a 2-inch asphalt overlay over the entire width of the road.

The Planning Commission held a public hearing on February 13, 2018 and received input from residents that live in the area of the proposed development. The concerns were mostly related to the aesthetics of twin homes and the desire for them to look nice and not detract from the neighborhood.

The Planning Commission motion is as follows:

**Motion:** Commissioner Francom motioned to forward a positive recommendation to the City Council for the McMullin Residential Subdivision with the conditions that the design of the dwellings are approved by the ARC and meet the current city standards, with an acknowledgement of the concerns regarding the architectural design of the homes. Commissioner Adcock Second.

**Roll Call:** Adcock Aye, Francom Aye, Wood, Aye, Sperry Aye, Lance Aye. The vote passed 5 to 0.

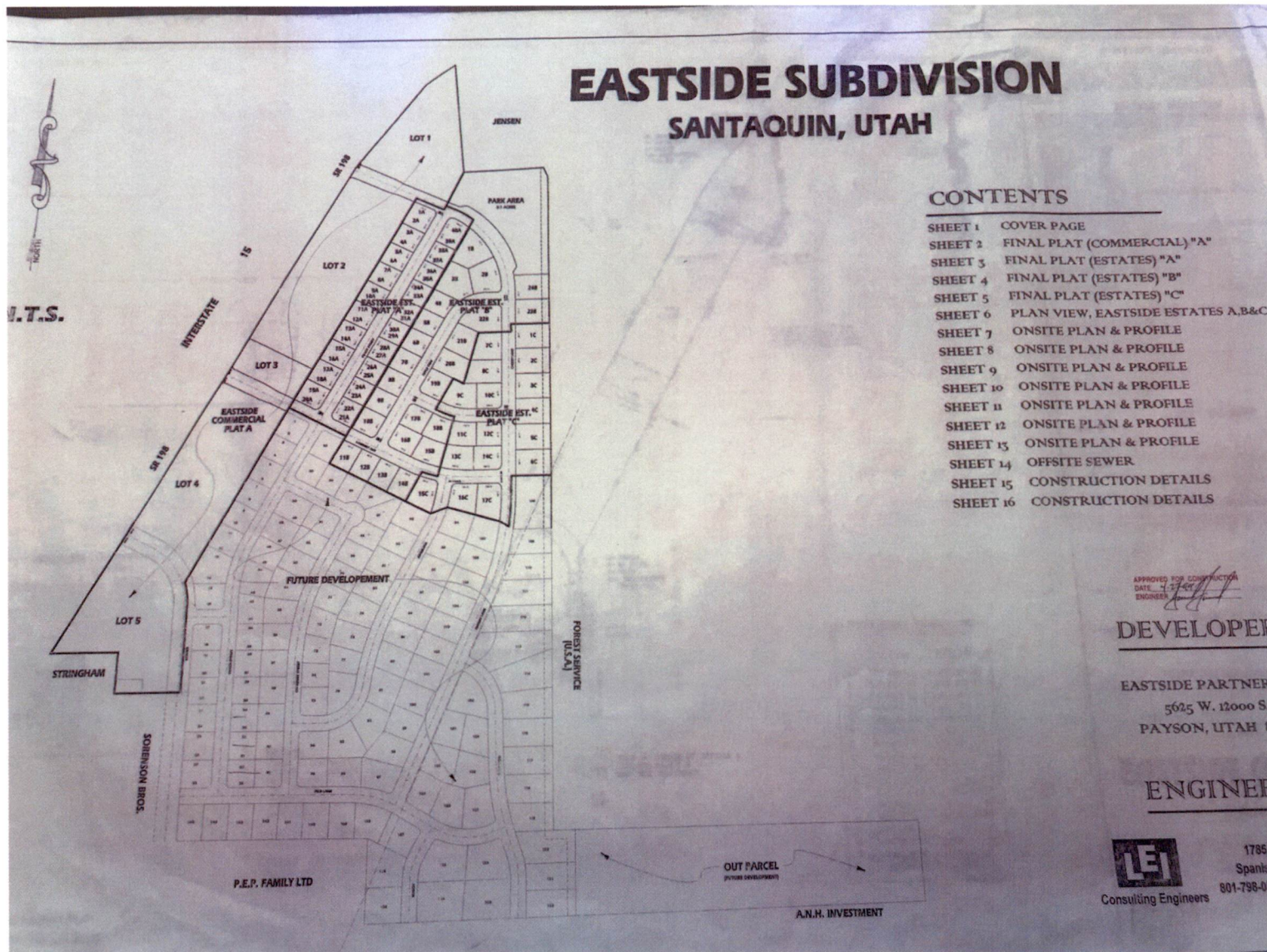
The Development Review Committee (DRC) will still need to approve the final plat before any lots are recorded. In addition, the proposed twin homes will need to be approved by the Architectural Review Committee (ARC).

**Staff Recommendation:** It is recommended that the City Council discuss the proposed preliminary plan of the Orchard Park subdivision.

**Recommended motion:** "Motion to (approve/not approve) the preliminary plan for the McMullin Twin Homes with a condition that the twin home design is approved by the Architectural Review Committee.



Exhibit "A"



Previously approved lot layout.

# MCMULLIN TWINHOMES

## A RESIDENTIAL SUBDIVISION SANTAQUIN CITY, UTAH COUNTY, UTAH PRELIMINARY & FINAL PLAN SET JANUARY 2018

**Finalized**  
02/07/2018 4:38:34 PM

**NOTES:**  
1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES, AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS.  
2. A 2-IN OVERLAY IS REQUIRED ALONG THE ENTIRE WIDTH OF PEACH STREET WILL NEED TO BE PLACED AFTER UTILITY LATERALS HAVE BEEN INSTALLED.  
3. ALL UTILITY TRENCHES WILL NEED TO BE "T" PATCHED PRIOR TO OVERLAY.  
4. ALL BACKFILL MATERIALS USED WITHIN RIGHT-OF-WAY MUST MEET AN AASHTO A-10 OR APPROVED BY THE CITY ENGINEER AND PUBLIC WORKS DIRECTOR.

### LEGEND

LEGEND APPLIES TO ALL SHEETS

	SECTION CORNER	-----	EASEMENT
	EXISTING VALVE	-----	EXISTING DEED LINE
	EXISTING POWER POLE	-----	EDGE OF PAVEMENT
	PROPOSED STREET LIGHT	-----	EXISTING OVER HEAD POWER
	PROPOSED FIRE HYDRANT	-----	EXISTING GAS
	EXISTING SIGN	-----	EXISTING FENCE LINE
	EXISTING STREET SIGN	-----	EXISTING DITCH
	PROPERTY BOUNDARY	-----	EXISTING SANITARY SEWER W/ MANHOLE
	CENTERLINE	-----	PROPOSED IRRIGATION LINE
	RIGHT-OF-WAY LINE	-----	EXISTING CULINARY WATERLINE
	LOT LINE	-----	EXISTING PRESSURIZED IRRIGATION
	SECTION LINE	-----	PROPOSED CULINARY WATERLINE
	BUILDING SETBACK	-----	PROPOSED PRESSURIZED IRRIGATION
		-----	PROPOSED SEWER LINE

### DATA TABLE:

TOTAL ACREAGE=2.15  
TOTAL # OF LOTS=16  
TOTAL ACREAGE IN LOTS=2.15  
DENSITY UNITS/ACRE=7.44

### GENERAL NOTES:

1. ALL RECOMMENDATIONS MADE IN GEOTECHNICAL REPORT SHALL BE FOLLOWED.  
2. ALL CONSTRUCTION SHALL BE DONE ACCORDING TO SANTAQUIN CITY STANDARDS AND SPECIFICATIONS, AS ADOPTED 2012.  
3. NAD 83 COORDINATE SYSTEM.

### NOTE TO DEVELOPERS AND GENERAL CONTRACTORS:

IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY STANDARDS.

OWNER/DEVELOPER  
ROBERT MCMULLIN  
801-420-6910  
5625 W 12000 S  
PAYSON, UT 84651

PHONE: 801-655-0566  
FAX: 801-655-0109  
946 EAST 800 NORTH  
SUITE A  
SPANISH FORK, UT 84660



### SHEET

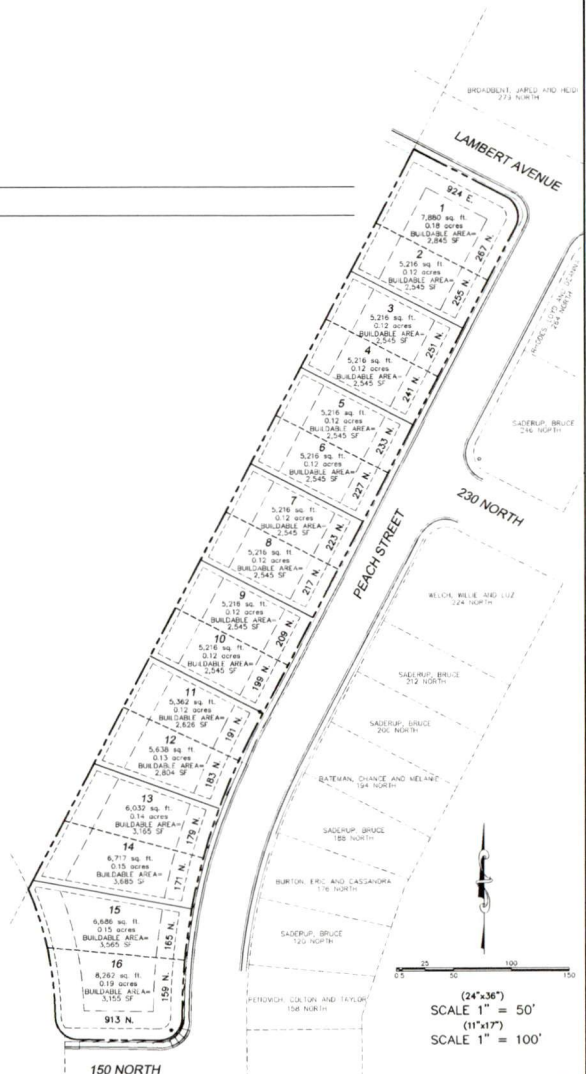
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DT-01  
DT-02

### -SHEET INDEX- SHEET NAME

COVER & INDEX  
FINAL PLAT  
UTILITY PLAN  
EXISTING TOPOGRAPHY  
GRADING PLAN  
DETAIL SHEET  
DETAIL SHEET



VICINITY MAP  
-NTS-



(24"x36")  
SCALE 1" = 50'  
(11"x17")  
SCALE 1" = 100'





VICINITY MAP  
-NTS-

**ENGINEER CONTACT INFO:**  
ATLAS ENGINEERING  
PHONE: 801-855-0566  
FAX: 801-855-0109  
946 EAST 800 NORTH  
SUITE A  
SPANISH FORK, UT 84606

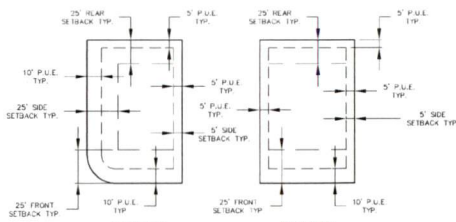
**SURVEYOR CONTACT INFO:**  
BARRY PRETTYMAN  
PHONE: 801-423-1040  
946 EAST 800 NORTH  
SUITE B  
SPANISH FORK, UT 84606

**OWNER/DEVELOPER:**  
ROBERT MCMULLIN  
801-420-8910  
5625 W 12000 S  
PAYSON, UT 84651

LEGEND



FOUND BRASS CAP  
SET 5/8" IRON PIN  
CALCULATED POINT, NOT SET  
PROPERTY BOUNDARY  
RIGHT-OF-WAY LINE  
LOT LINE  
SECTION LINE  
EASEMENT  
SETBACK



DETAIL-TYP. BUILDING SETBACK & EASEMENT  
-NTS-

DOMINION ENERGY COMPANY

QUESTAR APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. QUESTAR MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ASSURANCE OR WARRANTY OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL, OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT INCLUDING THOSE SET FORTH IN THE OWNERS' DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT QUESTAR'S RIGHT-OF-WAY DEPARTMENT AT 1-800-368-1033.

APPROVED \_\_\_\_\_  
DOMINION ENERGY REPRESENTATIVE

CURVE	RADIUS	LENGTH	CHORD DIST.	CHORD BRG.	DELTA
C1	20.00	31.42	28.29	S 17°35'47" E	90°00'38"
C2	528.00	253.67	251.24	S 13°38'44" W	27°31'38"
C3	20.00	31.70	28.49	S 45°17'27" W	90°49'05"
C4	20.00	31.29	28.20	N 44°29'40" W	89°38'30"
C5	290.00	114.26	113.52	N 11°44'35" W	22°34'29"
C6	528.00	22.45	22.45	S 26°11'27" W	2°26'11"
C7	528.00	45.28	45.26	S 22°30'58" W	4°54'47"
C8	528.00	45.28	45.26	S 17°36'11" W	4°54'47"
C9	528.00	45.28	45.26	S 12°41'24" W	4°54'47"
C10	528.00	45.28	45.26	S 07°46'37" W	4°54'47"
C11	528.00	50.12	50.10	S 02°36'04" W	5°26'19"
C12	290.00	60.71	60.60	N 05°27'09" W	11°59'37"
C13	290.00	53.56	53.48	N 17°44'23" W	10°34'52"

EAST 1/4 CORNER  
SECTION 1, TOWNSHIP 10 SOUTH,  
RANGE 1 EAST, SB&M

**Finalized**  
02/07/2018 4:38:40 PM

SURVEYORS CERTIFICATE

I, BARRY L. PRETTYMAN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 166406 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH LIES N00°47'46"W 971.88 FEET AND WEST 53.98 FROM THE EAST QUARTER CORNER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE N27°24'33"E 728.90 FEET, THENCE S62°36'00"E 89.99 FEET, THENCE ALONG THE ARC OF A 20 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 31.42 FEET, (THE CHORD BEARS S17°35'47"E 28.29 FEET), THENCE S27°24'32"W 503.10 FEET, THENCE ALONG THE ARC OF A 528 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 253.67 FEET, (THE CHORD BEARS S13°38'44"W 251.24 FEET), THENCE ALONG THE ARC OF A 20 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 31.70 FEET, (THE CHORD BEARS S45°17'27"W 28.49 FEET), THENCE N44°29'40"W 70.02 FEET, THENCE ALONG THE ARC OF A 20 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 31.29 FEET, (THE CHORD BEARS N44°29'40"W 28.20 FEET), THENCE ALONG THE ARC OF A 290 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 114.26 FEET, (THE CHORD BEARS N11°44'35"W 113.52 FEET) TO THE POINT OF BEGINNING. CONTAINS 2.15 ACRES.

OWNER'S DEDICATION

(I)WE, \_\_\_\_\_ BEING THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF \_\_\_\_\_ A.D. 2018.

MEMBER: \_\_\_\_\_  
MEMBER: \_\_\_\_\_  
MEMBER: \_\_\_\_\_

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH \_\_\_\_\_ S.S.  
COUNTY OF UTAH \_\_\_\_\_  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2018 PERSONALLY APPEARED BEFORE ME \_\_\_\_\_ WHOSE IDENTITY IS PERSONALLY KNOWN TO ME OR PROVEN IN THE BASIS OF SATISFACTORY EVIDENCE AND WHO BY ME DULY SWORN/AFFIRMED, DID SAY THAT HE/SHE IS THE \_\_\_\_\_ OF \_\_\_\_\_ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID \_\_\_\_\_ ACKNOWLEDGMENT TO ME THAT SAID CORPORATION EXECUTED THE SAME.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC COMMISSIONED IN UTAH  
NOTARY ADDRESS \_\_\_\_\_ PRINTED FULL NAME OF NOTARY

ACCEPTANCE BY LEGISLATIVE BODY

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2018.

CENTURYLINK APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2018.

CENTURYLINK REPRESENTATIVE

CENTRACOM APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2018.

CENTRACOM REPRESENTATIVE

ROCKY MOUNTAIN POWER APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2018.

ROCKY MOUNTAIN POWER REPRESENTATIVE

PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2018, BY THE SANTIAQUIN CITY PLANNING COMMISSION:

DIRECTOR-SECRETARY \_\_\_\_\_ CHAIRMAN, PLANNING COMMISSION

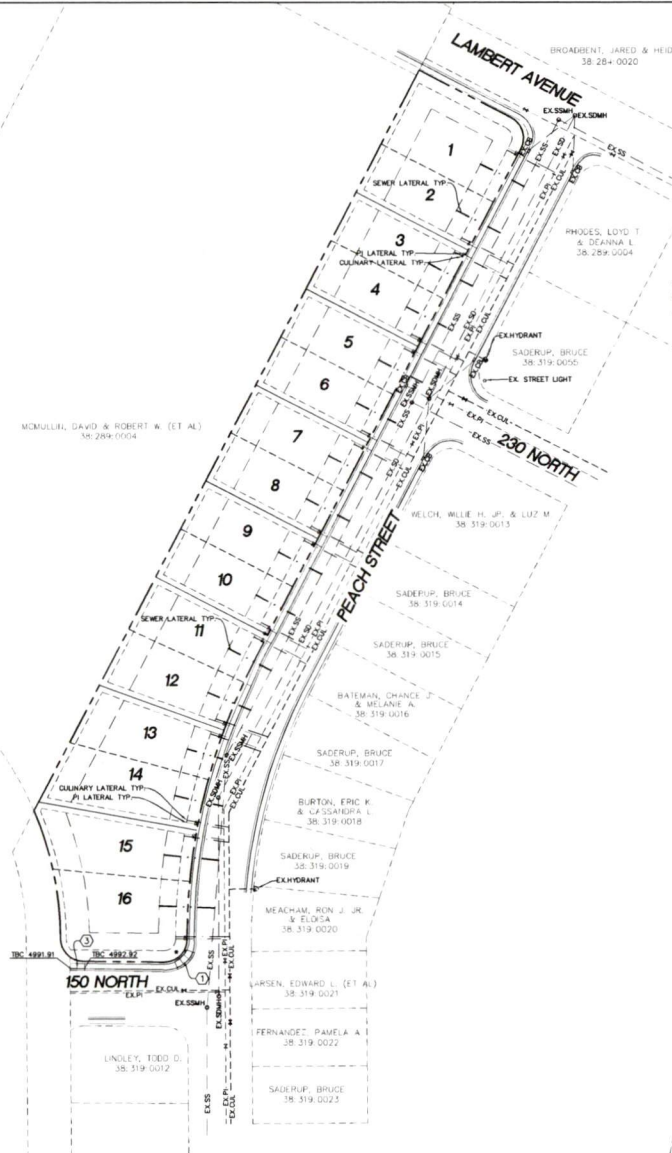
MCMULLIN TWINHOMES

FINAL PLAT

SANTIAQUIN CITY, UTAH COUNTY UTAH  
CONTAINING 16 LOTS AND 2.15 ACRES  
LOCATED IN THE NORTHWEST CORNER OF SECTION 6, TOWNSHIP 10 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH.

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY ENGINEER SEAL CLERK-RECORDER SEAL

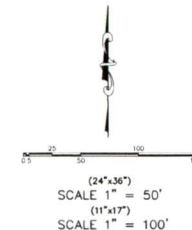
LEGEND	
LEGEND APPLIES TO ALL SHEETS	
	SECTION CORNER
	EXISTING VALVE
	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	PROPOSED FIRE HYDRANT
	EXISTING SIGN
	EXISTING STREET SIGN
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	BUILDING SETBACK
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVERHEAD POWER
	EXISTING GAS
	EXISTING FENCE LINE
	EXISTING DITCH
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED IRRIGATION LINE
	EXISTING CULINARY WATERLINE
	EXISTING PRESSURIZED IRRIGATION
	PROPOSED CULINARY WATERLINE
	PROPOSED PRESSURIZED IRRIGATION
	PROPOSED SEWER LINE



- CONSTRUCTION NOTES**
1. CONSTRUCT PEDESTRIAN ACCESS RAMP PER SANTAQUIN CITY STANDARDS.
  2. SAWCUT REQUIRED FOR UTILITY LATERAL INSTALLATION SHALL BE REPAIRED PER SANTAQUIN CITY STANDARDS.
  3. EXTEND CURB TO PROPERTY LINE @ 8.00%

- GENERAL NOTES**
1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES, AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS.
  2. A 2-IN OVERLAY IS REQUIRED ALONG THE ENTIRE WIDTH OF PEACH STREET WILL NEED TO BE PLACED AFTER UTILITY LATERALS HAVE BEEN INSTALLED.
  3. ALL UTILITY TRENCHES WILL NEED TO BE "T" PATCHED PRIOR TO OVERLAY.
  4. ALL BACKFILL MATERIALS USED WITHIN RIGHT-OF-WAY MUST MEET AN AASHTO A-1a OR APPROVED BY THE CITY ENGINEER AND PUBLIC WORKS DIRECTOR.

**Finalized**  
02/07/2018 4:38:43 PM



SHEET NO.	3
	UTILITY PLAN
SANTAQUIN CITY, UTAH	
<p><b>MC MULLIN TWINHOMES</b></p> <p><b>ATLAS ENGINEERING L.L.C.</b></p> <p>PHONE: 801-655-0566 FAX: 801-655-0109 946 EAST 800 NORTH SPANISH FORK, UT 84660</p>	



**GENERAL NOTES:**

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES, AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES, AND STANDARDS.
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**Finalized**  
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SHEET NO.

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EXISTING TOPOGRAPHY

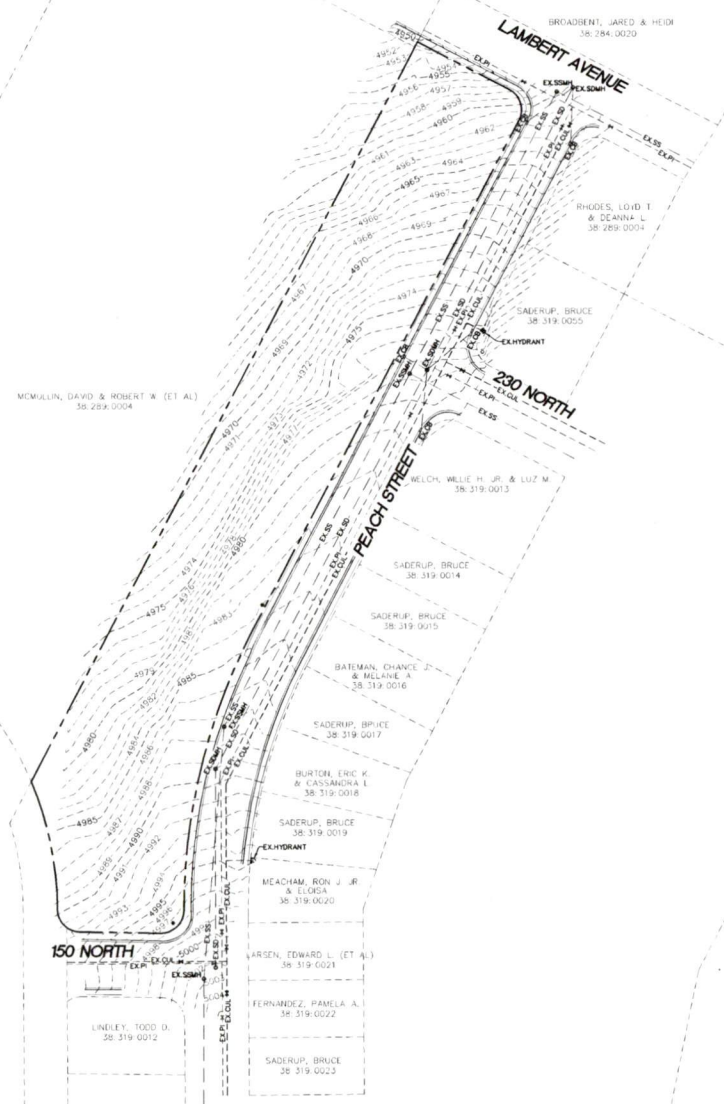
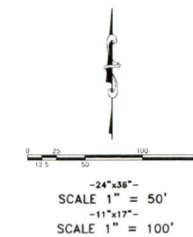
SANTAQUIN CITY, UTAH

MCMULLIN TWINHOMES



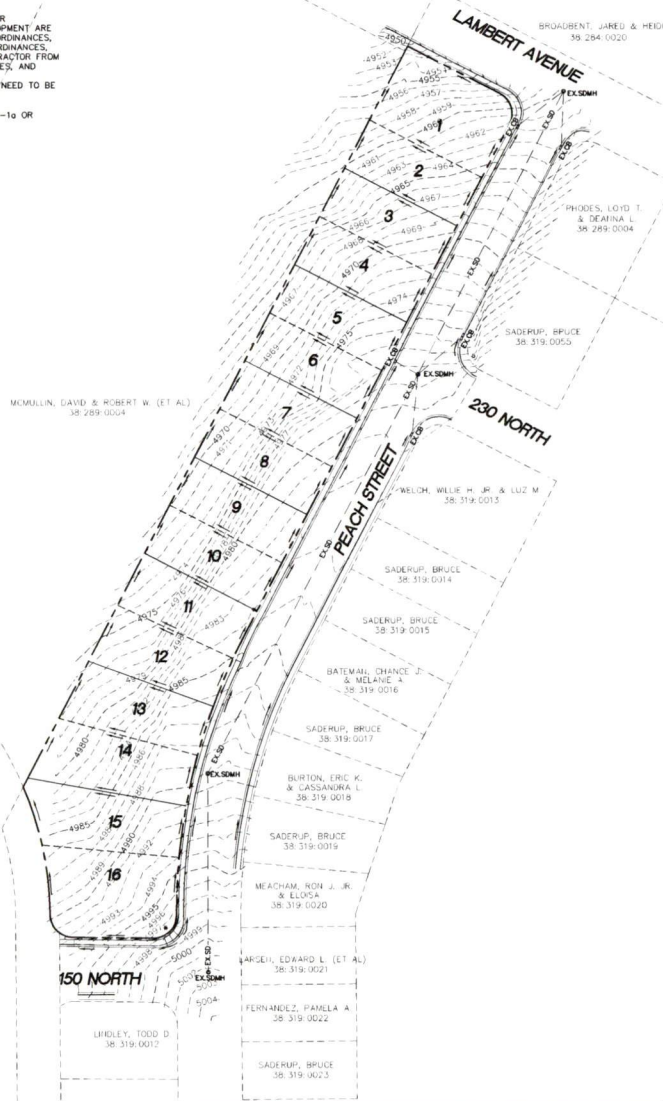
PHONE: 801-655-0566  
FAX: 801-655-0109  
946 EAST 800 NORTH  
SPANISH FORK, UT 84660

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**GENERAL NOTES:**

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**Finalized**  
02/07/2018 4:38:50 PM

SHEET NO.

5

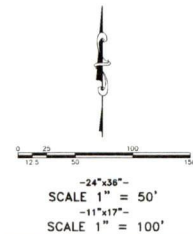
GRADING PLAN

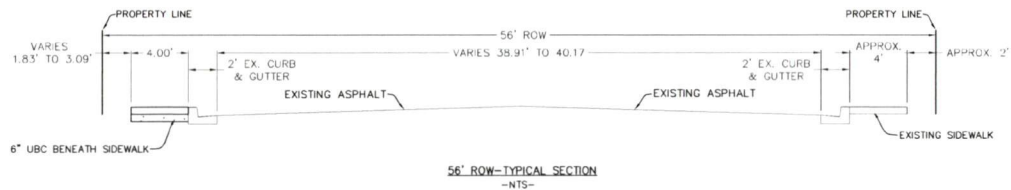
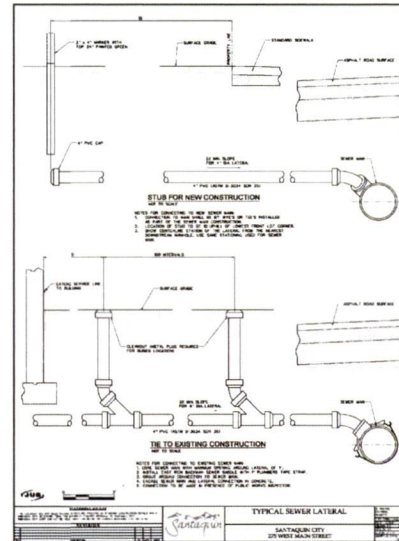
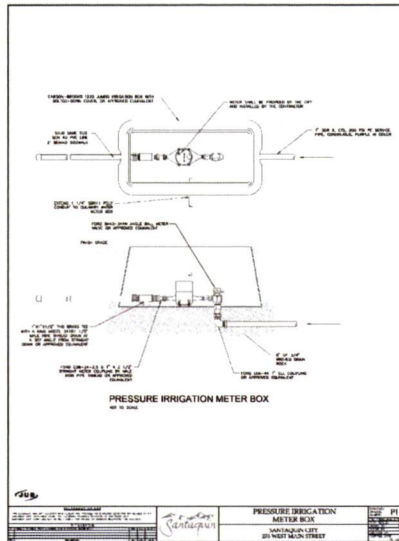
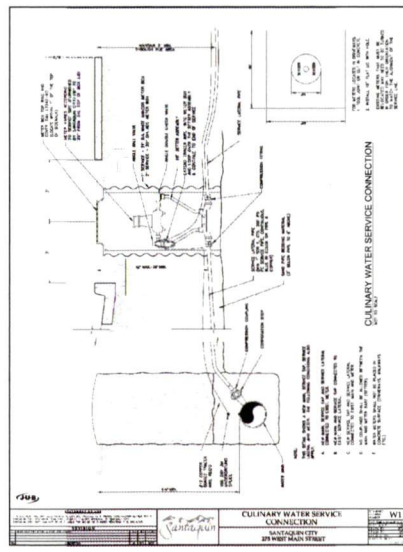
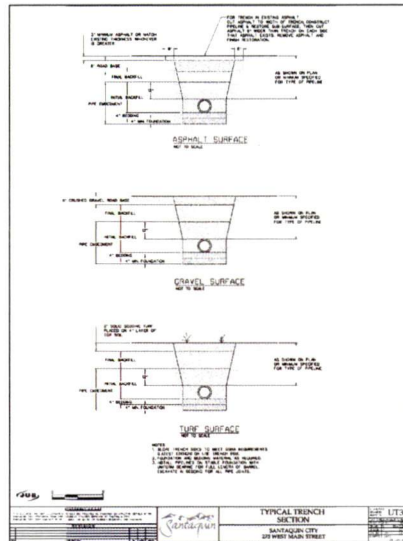
SANTAQUIN CITY, UTAH

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DETAIL SHEET

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DATE	02/07/2018
BY	[Signature]
CHECKED	[Signature]
PROJECT	SANTAQUIN CITY 220 WEST MAIN STREET
SHEET	DT-01



