

## **NOTICE AND AGENDA**

Notice is hereby given that the City Council of the City of Santaquin will hold a City Council Meeting on Wednesday, January 3, 2018 in the Council Chambers, 45 West 100 South, at 6:00 pm.

### **1. ROLL CALL**

### **2. PLEDGE OF ALLEGIANCE**

### **3. INVOCATION/INSPIRATIONAL THOUGHT**

### **4. DECLARATION OF ANY CONFLICT OF INTEREST**

### **5. CONSENT AGENDA**

#### **a. Minutes:**

1. December 13, 2017

#### **b. Bills:**

1. \$269,573.11

#### **c. Consent Action Items:**

1. Resolution 01-01-2018, "A Resolution Approving an Amendment to the Interlocal Cooperation Agreement with Genola Regarding Public Safety Services"
2. Resolution 01-02-2018, "A Resolution Issuing Support to the Nebo School District to Extend The Apple Valley Elementary School Southern Boundary to US-6 Main Street"
3. Notice of Rejection to Certify the Ekins Annexation Petition because requirements have not been met within 30 days of the petition being accepted by the City Council

### **6. PUBLIC FORUM, BID OPENINGS, AWARDS, AND APPOINTMENTS**

- a. Business of the Month Award – Payson-Santaquin Area Chamber of Commerce

### **7. FORMAL PUBLIC HEARING**

- a. Public Hearing – Olsons Greenhouse III Addition Annexation

### **8. BUSINESS LICENSES**

### **9. NEW BUSINESS & ADOPTION OF ORDINANCES AND RESOLUTIONS**

- a. Ordinance 01-01-2018, "An Ordinance Adopting the Olsons Greenhouse III Addition Annexation"
- b. Discussion and Possible Action Regarding a Discussion and Possible Action Regarding the Acceptance of Water Dedication and Payment of Money in Lieu of Water Dedication for the Orchards Subdivision
- c. Discussion and Possible Action Regarding the Acceptance of Water Dedication and Payment of Money in Lieu of Water Dedication for Salisbury Developments
- d. Discussion and Possible Action Regarding the Preliminary Plat for Stone Hollow Plats "H – K"
- e. Discussion and Possible Action Regarding the Preliminary Plat for Dawe Subdivision
- f. Discussion and Possible Action Regarding the Zimmerman Lot Line Adjustment - 920 E. 270 S.
- g. Discussion and Possible Action Regarding the Chappel Lot Line Adjustment – 848 E. 400 S.
- h. Ordinance 12-01-2017, "An Ordinance Amending Santaquin City Code Section 11-5-11 and Creating Section 11-5-12 Related to the Approval Procedures for Lot Line Adjustments"
- i. Ordinance 01-02-2018, "An Ordinance Modifying Street Dedication and Improvement Requirements (Section 11-2-2, 11-6-2, 11-6-6 and 11-9-11) - To Remove the Exemption to Construct Half of the Road Way Plus Ten Feet (10')."

### **10. CONVENE OF THE COMMUNITY DEVELOPMENT BOARD**

### **11. CONVENE OF THE SPECIAL SERVICE DISTRICT FOR ROADS MAINTENANCE**

### **12. CONVENE OF THE LOCAL BUILDING AUTHORITY OF SANTAQUIN CITY**

### **13. CONVENE OF THE SANTAQUIN WATER DISTRICT**

### **14. WORK MEETING**

### **15. PETITIONS AND COMMUNICATIONS**

**16. REPORTS OF OFFICERS, STAFF, BOARDS, AND COMMITTEES**

- a. City Manager Reeves
- b. Community Development Director Bond
- c. City Engineer Beagley

**17. REPORTS BY MAYOR AND COUNCIL MEMBERS**

- a. Mayor Hunsaker
- b. Council Members

**18. EXECUTIVE SESSION** (May be called to discuss the character, professional competence, or physical or mental health of an individual)

**19. EXECUTIVE SESSION** (May be called to discuss the pending or reasonably imminent litigation, and/or purchase, exchange, or lease of real property)

**20. ADJOURNMENT**

If you are planning to attend this Public Meeting and, due to a disability, need assistance in understanding or participating in the meeting, please notify the City ten or more hours in advance and we will, within reason, provide what assistance may be required.

**CERTIFICATE OF MAILING/POSTING**

The undersigned duly appointed City Recorder for the municipality of Santaquin City hereby certifies that a copy of the foregoing Notice and Agenda was e-mailed to the Payson Chronicle, Payson, UT, 84651, posted in 3 places; City Center, Post Office and Zions Bank as well as posted on the State of Utah's Public Website.

BY: \_\_\_\_\_  
Susan Farnsworth, City Recorder



**MINUTES OF A CITY COUNCIL MEETING  
HELD IN THE COUNCIL CHAMBERS  
JANUARY 3, 2018**

The meeting was called to order by Mayor Kirk Hunsaker at 6:00 pm. Council Members attending: Keith Broadhead, Mandy Jeffs, Mick Miller, and Betsy Montoya.

Others attending: City Manager Ben Reeves, Community Development Director Jason Bond, City Engineer Norm Beagley, Police Chief Rod Hurst, Legal Counsel Brett Rich, Director Amy Johnson, Brian Mecham, Bart Olson, Katherine Holman, Jordan Rolf, Scout Troop Members from Troop numbers 1578 and 1594, Lynn Mecham, Chad Sperry, David Hathaway, Cindy Johnson, Seth Johnson, Aaron Jensen, Kim Hunsaker, and other unidentified individuals.

**PLEDGE OF ALLEGIANCE**

Mr. Bell Led the Pledge of Allegiance.

**INVOCATION/INSPIRATIONAL THOUGHT**

Mr. Rolf Offered an Invocation.

**DECLARATION OF ANY CONFLICT OF INTEREST**

Council Member Broadhead indicated he worked for EPIC Engineering who had invoices included in the payments.

**CONSENT AGENDA**

***Minutes:***

December 13, 2017

***Bills:***

\$269,573.11

***Consent Action Items:***

Resolution 01-01-2018, "A Resolution Approving an Amendment to the Interlocal Cooperation Agreement with Genola Regarding Public Safety Services"

Resolution 01-02-2018, "A Resolution Issuing Support to the Nebo School District to Extend the Apple Valley Elementary School Southern Boundary to US-6 Main Street"

Notice of Rejection to Certify the Ekins Annexation Petition because requirements have not been met within 30 days of the petition being accepted by the City Council

Council Member Miller moved to approve the Consent Agenda with the elimination of C3 (Notice of Rejection to Certify the Ekins Annexation Petition because requirements have not been met within 30 days of the petition being accepted by the City Council). Council Member Broadhead seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.

**PUBLIC FORUM, BID OPENINGS, AWARDS, AND APPOINTMENTS**

***Business of the Month Award – Payson-Santaquin Area Chamber of Commerce***

## FORMAL PUBLIC HEARING

### ***Public Hearing – Olsons Greenhouse III Addition Annexation***

Council Member Miller moved to open a Public Hearing with regard to the Olsons Greenhouse III Addition Annexation. Council Member Broadhead seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.

Mr. Johnson was told the exact location of the proposed annexation and the land would be used for greenhouse placement.

Council Member Miller moved to close a Public Hearing with regard to the Olsons Greenhouse III Addition Annexation. Council Member Jeffs seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.

## BUSINESS LICENSES

Following are the newly issued business licenses:

- Smart Moves Realty INC - Kennen Pyne - 1002 South Vista Ridge Drive - (Real Estate Sales)
- Smart Home Pro's INC - Austin Revoir - (Solicitor)
- Silver Woodworking - Ian Alleman - 1338 Sageberry Drive - (Woodworking)
- M33 Construction - Micah Jones - 658 East 180 North - (Flooring Installation)

It was also reported that the City ended the 2017 year with 168 single family units, 40 multiple family units and 5 commercial building permits.

## NEW BUSINESS & ADOPTION OF ORDINANCES AND RESOLUTIONS

### ***Ordinance 01-01-2018, "An Ordinance Adopting the Olsons Greenhouse III Addition Annexation"***

Council Member Broadhead moved to approve Ordinance 01-01-2018, "An Ordinance Adopting the Olsons Greenhouse III Addition Annexation". Council Member Miller seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.



**Discussion and Possible Action Regarding the Acceptance of Water Dedication and Payment of Money in Lieu of Water Dedication for the Orchards Subdivision**

City Engineer Beagley led the discussion with regard to the acceptance of water dedication and payment of money in lieu of water dedication for the Orchards Subdivision (see attachment "A" for the Memorandum).

After the discussion, Council Member Miller moved to approve, in whole the acceptance of the proposed water rights to meet Santaquin City water dedication requirements on the condition that Blue River Land Group, or its representatives, complete all necessary filing, payment, etc. to effect the change of these two water rights into the name and service area of Santaquin City Corporation. Council Member Jeffs seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.

**Discussion and Possible Action Regarding the Acceptance of Water Dedication and Payment of Money in Lieu of Water Dedication for Salisbury Developments**

Engineer Beagley led the discussion with regard to acceptance of water dedication and payment of money in lieu of water dedication for Salisbury Developments (see attachment "B" for the Memorandum).

After the discussion, Council Member Miller moved to approve the acceptance of the proposed water right to meet Santaquin City water dedication requirements on the condition that Salisbury Development, or its representatives, complete all necessary filing, payment, etc. to effect the change of these two water rights into the name and service area of Santaquin City Corporation. Council Member Montoya seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.

**Discussion and Possible Action Regarding the Preliminary Plat for Stone Hollow Plats "H - K"**

Community Development Director Bond led the discussion with regard to the Preliminary Plat approval for Stone Hollow Plats "H-K" (see attachment "C" for the Memorandum).

After the discussion, Council Member Broadhead moved to approve the Preliminary Plans for the Stone Hollow Subdivision Plat Phase "H-K" of Summit Ridge Development. Council Member Miller seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.

***Discussion and Possible Action Regarding the Preliminary Plat for Dawe Subdivision***

Director Bond led the discussion with regard to the Preliminary Plat for Dawe Subdivision (see attachment "D" for the Memorandum).

After the discussion, Council Member Miller moved to table the Preliminary Plan for the Dawe Condominium subdivision. Council Member Broadhead seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.

***Discussion and Possible Action Regarding the Zimmerman Lot Line Adjustment - 920 E. 270 S.***

Council Member Miller moved to table the Zimmerman Lot Line Adjustment at approximately 920 E. 270 S. Council Member Jeffs seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.

***Discussion and Possible Action Regarding the Chappel Lot Line Adjustment – 848 E. 400 S.***

A discussion was held with regard to the proposed lot line adjustment (see attachment "E"). After the discussion, Council Member Miller moved to approve the Chappel Lot Line Adjustment at approximately 848 E. 400 S. based on the current PUE located between lots 55 and 56 is relocated to align with the new lot line. Council Member Montoya seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.



***Ordinance 12-01-2017, "An Ordinance Amending Santaquin City Code Section 11-5-11 and Creating Section 11-5-12 Related to the Approval Procedures for Lot Line Adjustments"***

Council Member Miller moved to table Ordinance 12-01-2017, "An Ordinance Amending Santaquin City Code Section 11-5-11 and Creating Section 11-5-12 Related to the Approval Procedures for Lot Line Adjustments". Council Member Jeffs seconded the motion. A discussion was held as to will be the Land Use Authority. After the discussion, the vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.

***Ordinance 01-02-2018, "An Ordinance Modifying Street Dedication and Improvement Requirements (Section 11-2-2, 11-6-2, 11-6-6 and 11-9-11) - To Remove the Exemption to Construct Half of the Road Way Plus Ten Feet (10')"***

Council Member Miller moved to table Ordinance 01-02-2018, "An Ordinance Modifying Street Dedication and Improvement Requirements (Section 11-2-2, 11-6-2, 11-6-6 and 11-9-11) - To Remove the Exemption to Construct Half of the Road Way Plus Ten Feet (10')". Council Member Montoya seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.

**CONVENE OF THE COMMUNITY DEVELOPMENT BOARD**

There wasn't a need to convene the Community Development Board.

**CONVENE OF THE SPECIAL SERVICE DISTRICT FOR ROADS MAINTENANCE**

There wasn't a need to convene the Board Special Service District for Roads Maintenance.

**CONVENE OF THE LOCAL BUILDING AUTHORITY OF SANTAQUIN CITY**

There wasn't a need to convene the Local Building Authority of Santaquin City Board.

**CONVENE OF THE SANTAQUIN WATER DISTRICT**

There wasn't a need to convene the Santaquin Water District Board.

**WORK MEETING**

There wasn't a need to call a Work Meeting.

**PETITIONS AND COMMUNICATIONS**

There wasn't any petitions or communications to address these evening.

At 7:45 pm the Mayor and Council Members took a 5-minute break.

The meeting was called to order at 7:51 pm.

## **REPORTS OF OFFICERS, STAFF, BOARDS, AND COMMITTEES**

### ***City Manager Reeves***

City Manager Reeves reported there has been progress with UDOT to acquire the Canyon Road Property.

He indicated overtures have been made to the Hanson family with regard to property to be used for a pond.

He is working with the EPA with regard to the property by Summit Ridge. He is making inquiries as to lifting the restriction pertaining to the sewer ponds.

He also reported there is a Staff pre-retreat scheduled for Friday. The purpose of the pre-retreat is to try to streamline the Mayor/Council Retreat. It was suggested that during the Mayor/Council retreat they would focus on requests instead of focusing on the past year's accomplishments. The date for retreat will be February 10<sup>th</sup>.

### ***Community Development Director Bond***

Director Bond reported he forwarded the Mayor and Council Members an email from Chamber of Commerce looking for a name of a potential award recipient. The criteria of receiving the award is judged exclusively on their impact on the community.

### ***City Engineer Beagley***

Engineer Beagley reported a Safe Route to School meeting will be held on Saturday at 10 am in the Seniors Center. The meeting will be held for the 300 West Residents to hear the update on the proposed project.

Engineer Beagley reported the low pressure gas line through Summit Ridge is almost complete.

In closing he reported the wastewater reclamation facility expansion is moving forward.

## **REPORTS BY MAYOR AND COUNCIL MEMBERS**

### ***Mayor Hunsaker***

Mayor Hunsaker welcomed Betsy Montoya as the newly elected Council Member and thanked Council Member Jeffs for serving as Mayor Pro-Tem this past year.

He reported that he had talked with property owner of the proposed grocery store. The property owner indicated he would be contacting the City shortly to discuss going forward with the project.

### ***Council Members***

Council Member Jeffs presented Mayor Hunsaker with her "Letter of Resignation" effective midnight tonight.

Council Member Miller requested City Manager Reeves check into a cardboard recycling bin. He also requested the City adopt an Ordinance requiring "tearing down of ½ burned buildings".



**EXECUTIVE SESSION** (May be called to discuss the character, professional competence, or physical or mental health of an individual)

There wasn't a need a hold an Executive Session to discuss the character, professional competence, or physical or mental health of an individual.

**EXECUTIVE SESSION** (May be called to discuss the pending or reasonably imminent litigation, and/or purchase, exchange, or lease of real property)

There wasn't a need to hold an Executive Session to discuss the pending or reasonably imminent litigation, and/or purchase, exchange, or lease of real property.

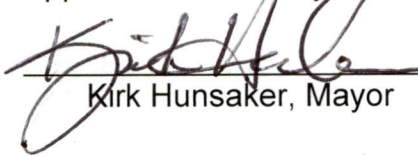
### ADJOURNMENT

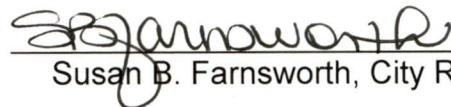
At 8:08 pm Council Member Miller moved to adjourn. Council Member Broadhead seconded the motion. The vote was as follows:

Council Member Broadhead	Aye
Council Member Jeffs	Aye
Council Member Miller	Aye
Council Member Montoya	Aye

The motion passed 4 to 0.

Approved on January 17, 2018.

  
Kirk Hunsaker, Mayor

  
Susan B. Farnsworth, City Recorder



## Memorandum

To: Mayor Hunsaker and City Council  
From: Norm Beagley, P.E., City Engineer  
Date: December 29, 2017  
Re: Consideration for Acceptance of Water Rights for Development

City Engineering has reviewed a request from Aaron Jensen and Aaron Robertson representing Blue River Land Group to accept a proposed water right dedication that could fulfill some of their development requirements within Santaquin City. Should this water dedication be accepted by the City Council, and should a water right change application be approved by the State Engineer in the name of Santaquin City Corporation, the dedicated water rights would be applied to the Orchards Development for property owned by Blue River Land Group located within Santaquin City.

The following is information gathered regarding the proposed water rights for your consideration:

- The water right numbers for the proposed transfer are as follows:
  - 51-1592 (A33784) 34.45 acre feet
  - 51-2713 (U21434) 10.86 acre feet
- WR number 51-1592 (A33784) for 34.45 acre feet currently has a diversion point that is located in the south end of Mapleton, Utah (adjacent to the north end of Spanish Fork) and is currently approved to divert water from underground wells within the Mapleton area.
- WR number 51-2713 (U21434) for 10.86 acre feet currently has a diversion point located in the south end of Mapleton, Utah (adjacent to the north end of Spanish Fork) and is currently approved to divert water from underground wells within the Mapleton area.
- Per the Utah State Engineer's office, Division of Water Rights, location of these water rights is considered to be in the Utah Lake Drainage area of Utah County, which is considered to be the same drainage area as Santaquin City.

Per the current Santaquin City Code (8-1-10: "Water Dedication Requirements") 3 acre feet of water right dedication is required per gross acre developed. Therefore, dedication of these two water rights would allow for development of approximately up to **15.10 acres** of property, should both water rights be accepted by the City Council and also be approved by the State Engineer.

Per Santaquin City Code, should the Council agree to allow the developer to pursue these water rights for dedication to Santaquin City, it is the developer's sole responsibility to prepare, file, pay for and to obtain all necessary paperwork, filings, change applications, etc. to completely effect the (any) change for water right dedication to Santaquin City.

Should the Council approve and thereby allow the developer to move forward with obtaining and transferring these water rights to Santaquin City, City staff would work with the developer as needed to effect the change.

Blue River Land Group has indicated that they would also like the Council to approve payment for money in lieu of water dedication, pursuant to City Ordinance 1-05-2017, for up to 20% money in lieu of water dedication.

I would be glad to answer any questions you may have regarding this matter.

**Recommendation:** It is recommended that the City Council agree to allow the developer to move forward with filing and obtaining a change application with the office of the State Engineer.



**Recommended motion:** "Motion to approve (or not approve/deny), in whole or in part, the acceptance of the proposed water rights to meet Santaquin City water dedication requirements on the condition that Blue River Land Group, or its representatives, complete all necessary filing, payment, etc. to effect the change of these two water rights into the name and service area of Santaquin City Corporation."

## Water Rights Map





## Water Rights Map







## Memorandum

To: Mayor Hunsaker and City Council  
From: Norm Beagley, P.E., City Engineer  
Date: December 29, 2017  
Re: Consideration for Acceptance of Water Rights for Development

---

Previously (July 31, 2017) we reviewed and submitted a recommendation to the City Council regarding a request from Julie Smith, representing Salisbury Development, to accept a proposed water right dedication. At that time (August 2, 2017) the Council approved the developer to move forward with this water right dedication/change application process. Subsequently, the owner of those previously contemplated water rights (WR numbers: 51-8382 & 51-8707) decided against selling those water rights to Salisbury Development, therefore, no change applications were filed and no water dedication took place.

City Engineering has since reviewed another request from Julie Smith, representing Salisbury Development, to accept a proposed water right dedication to fulfill development requirements within Santaquin City. Should this water dedication be accepted by the City Council, and should a water right change application be approved by the State Engineer in the name of Santaquin City Corporation, the dedicated water right could be applied to any of the following developments: Foothill Village, East Santaquin Meadows (Brubaker) or Summit Ridge.

The following is information regarding this water right for your consideration:

- The water right number for the proposed transfer are as follows:
  - 51-1925 (U6825) for 100.00 acre feet
- This water right currently has two diversion points located approximately 1.5 miles north of Payson, Utah
- This water right is currently permitted to draw water from an underground drain (land drain) and an underground well within the aquifer in the area approximately 1.5 miles north of Payson. Per the Utah State Engineer's office, Division of Water Rights, the location of this water right is considered to be in the Utah Lake Drainage (aquifer) area of Utah County, which is considered to be the same drainage area (aquifer) as Santaquin City.

Per the current Santaquin City Code (8-1-10: "Water Dedication Requirements") 3 acre feet of water right dedication is required per gross acre developed. Therefore, dedication of these two water rights would allow for development of approximately 33.33 acres of property.

Also per Santaquin City Code, should the Council agree to allow the developer to pursue these water rights for dedication to Santaquin City, it is the developer's sole responsibility to prepare, file, pay for and to obtain all necessary paperwork, filings, change applications, deeds, etc. to completely effect the (any) change for water right dedication to Santaquin City.

Should the Council approve and thereby allow the developer to move forward with obtaining and transferring these water rights to Santaquin City, City staff would work with the developer as needed to effect the change.

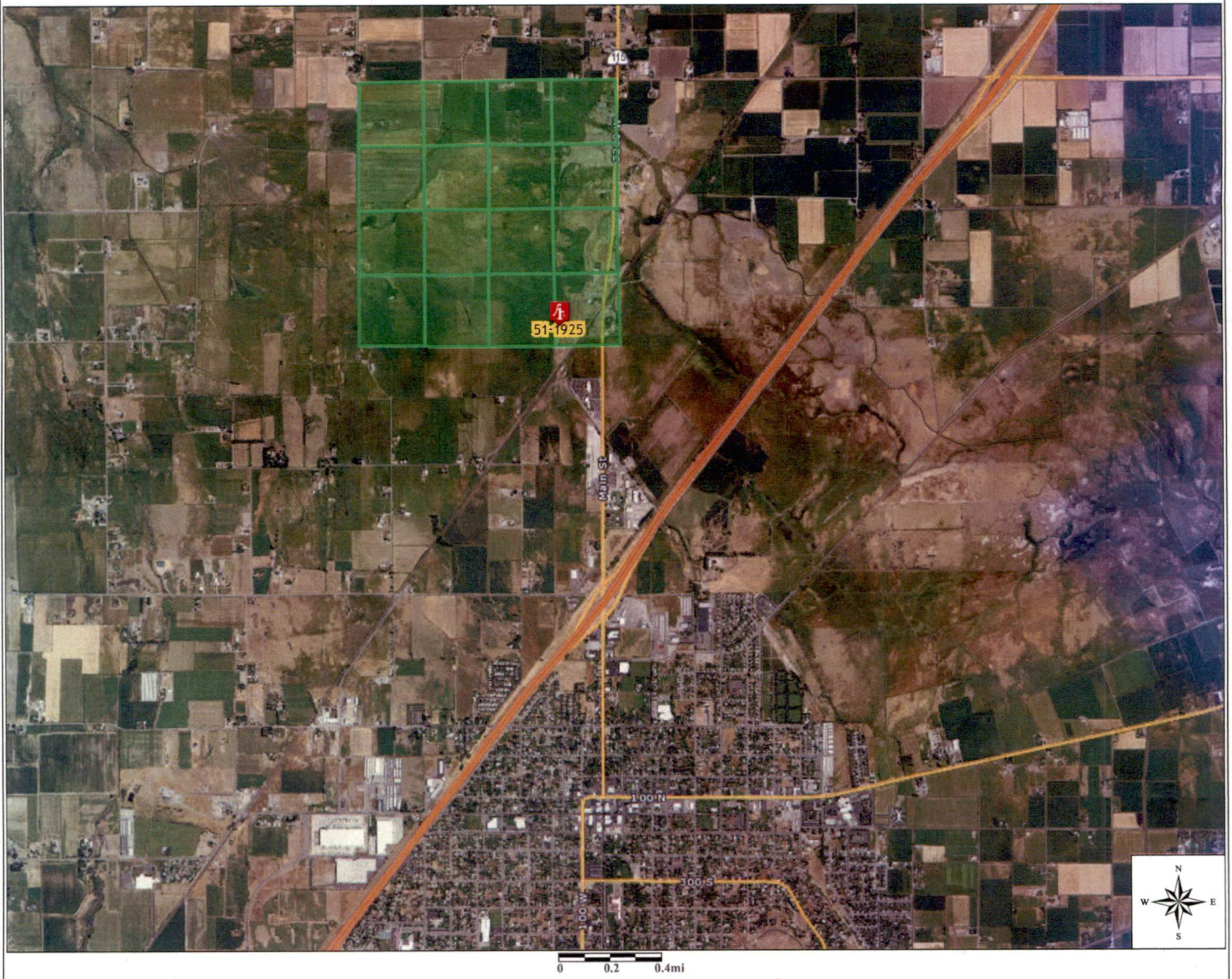
I am happy to answer any questions you may have regarding this matter.

**Recommendation:** It is recommended that the City Council agree to allow the developer to move forward with filing and obtaining a change application with the office of the State Engineer.



**Recommended motion:** "Motion to approve the acceptance of the proposed water right to meet Santaquin City water dedication requirements on the condition that Salisbury Development, or its representatives, complete all necessary filing, payment, etc. to effect the change of these two water rights into the name and service area of Santaquin City Corporation."

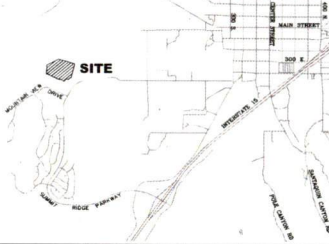
Water Rights map





VICINITY MAP

SANTAQUIN CITY



ALL IMPROVEMENTS AND DETAILS PER  
SANTAQUIN CITY CONSTRUCTION STANDARDS

NORTH

SCALE 1" = 80'  
(24" x 36")  
SCALE 1" = 160'  
(11" x 17")

NOTES:

1. THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. PROJECT VERTICAL DATUM ELEVATION 4882.19 ON THE 1903 C.I.D. TYPE MOUNTAIN AT THE NORTHEAST CORNER OF SECTION 10, T10S, R1E, S12.8A W AS PUBLISHED BY THE UTAH COUNTY SURVEYOR AND RECORDED AS ENTRY 48866 IN BOOK 3730 PAGE 846 OF THE OFFICIAL RECORDS OF UTAH COUNTY.
3. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
4. ALL SERVICE LATERALS SHALL BE INSTALLED FOR SANTAQUIN STANDARDS AND DETAIL 2, SHEET 3, UNLESS OTHERWISE NOTED.
5. ALL RECOMMENDATIONS MADE IN THE GEOTECHNICAL REPORT DATED MAY 08, 2008 PREPARED BY RUS FOR THE STONE HOLLOW OF SUMMIT RIDGE COMMUNITIES DEVELOPMENT SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.
6. 10" MIN VERTICAL SEPARATION BETWEEN CULINARY WATER AND PL STORM DRAIN OR SANITARY SEWER AT ALL CROSSINGS CULINARY WATER TO HAVE 4" MIN COVER AS PER CITY STANDARD.

ACCEPTANCE

SIGNATURE	DATE
DEVELOPER	
CITY ENGINEER	
COMMISSIONARY BY MAYOR	DATE
PUBLIC WORKS	DATE
BUILDING DEPARTMENT	DATE
POLICE DEPARTMENT	DATE
PLANNING DEPARTMENT	DATE

STONE HOLLOW  
PRELIMINARY PLAT PHASES H-K

LOCATED IN THE NORTHEAST QUARTER OF SECTION  
10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN  
Santaquin, Utah County, Utah

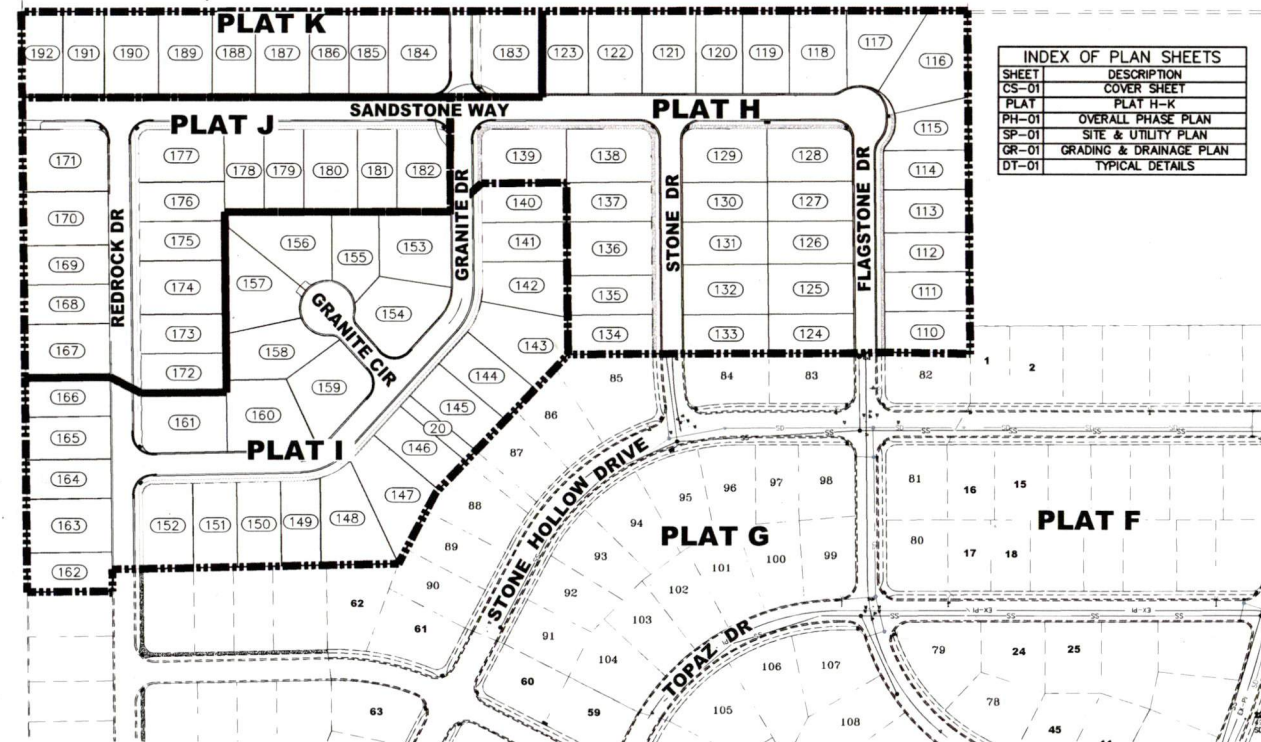
Finalized

12/29/2017 8:43:09 AM

PROJECT ENGINEER  
& SURVEYOR  
REGION ENGINEERING & SURVEYING  
1776 NORTH STATE STREET #110  
OREM, UTAH 84057  
PH: 801.376.2245

PROJECT DEVELOPER  
SALISBURY DEVELOPMENT  
484 WEST 1300 NORTH  
SPRINGVILLE, UTAH 84663  
(801) 491-9091

PROJECT STATISTICS - OVERALL H-K	PROJECT STATISTICS - PHASE H	PROJECT STATISTICS - PHASE I	PROJECT STATISTICS - PHASE J	PROJECT STATISTICS - PHASE K
ZONING PC (PLANNED COMMUNITY) LOTS 83 LOTS TOTAL ACRES 19.81 ACRES TOTAL ACRES IN LOTS 14.08 ACRES TOTAL ACRES IN STREETS 4.87 ACRES TOTAL ACRES IN OPEN SPACE 0.06 ACRES DENSITY 4.41 UNITS PER ACRE	ZONING PC (PLANNED COMMUNITY) LOTS 30 LOTS TOTAL ACRES 6.71 ACRES TOTAL ACRES IN LOTS 4.29 ACRES TOTAL ACRES IN STREETS 1.42 ACRES TOTAL ACRES IN OPEN SPACE 0.00 ACRES DENSITY 4.47 UNITS PER ACRE	ZONING PC (PLANNED COMMUNITY) LOTS 27 LOTS TOTAL ACRES 6.36 ACRES TOTAL ACRES IN LOTS 5.17 ACRES TOTAL ACRES IN STREETS 1.13 ACRES TOTAL ACRES IN OPEN SPACE 0.06 ACRES DENSITY 4.25 UNITS PER ACRE	ZONING PC (PLANNED COMMUNITY) LOTS 16 LOTS TOTAL ACRES 9.75 ACRES TOTAL ACRES IN LOTS 2.66 ACRES TOTAL ACRES IN STREETS 0.97 ACRES TOTAL ACRES IN OPEN SPACE 0.00 ACRES DENSITY 4.07 UNITS PER ACRE	ZONING PC (PLANNED COMMUNITY) LOTS 10 LOTS TOTAL ACRES 9.99 ACRES TOTAL ACRES IN LOTS 1.80 ACRES TOTAL ACRES IN STREETS 0.19 ACRES TOTAL ACRES IN OPEN SPACE 0.00 ACRES DENSITY 5.00 UNITS PER ACRE

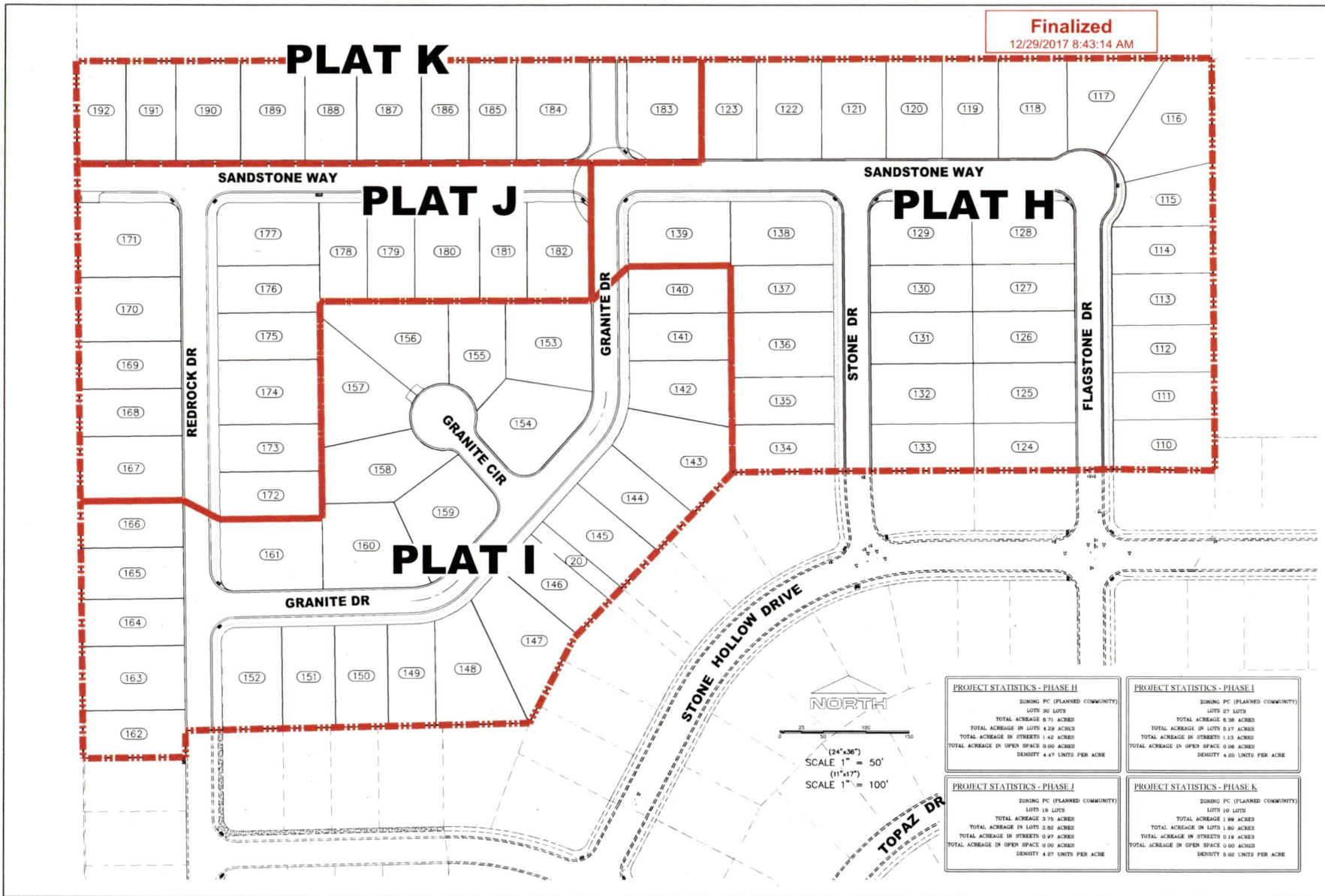


region  
Engineering  
& Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regionengr.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION

STONE HOLLOW  
PRELIMINARY PLATS H, I, J & K  
LOCATED IN THE NORTHEAST QUARTER OF  
SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 7.07.2017
PROJECT #
REVISIONS:
1
2
3
SHEET #
COVER SHEET & NOTES
CS-01



region  
Engineering & Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesigns.com



PRELIMINARY  
NOT FOR  
CONSTRUCTION

STONE HOLLOW  
PRELIMINARY PLATS H, I, J & K  
LOCATED IN THE NORTHWEST QUARTER OF  
SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 7.07.2017

PROJECT #

REVISIONS

1	
2	
3	

OVERALL PHASE PLAN

PH-01











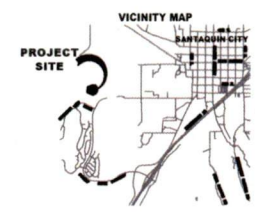
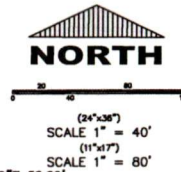
**LOCATED IN THE NORTHEAST QUARTER OF SECTION  
10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN**  
Santaquin, Utah County, Utah

**PUBLIC UTILITY EASEMENTS**

The diagram shows a rectangular lot with a dashed outline representing the building footprint. The lot dimensions are 15' on the left (ROAD SIDE), 10' on the bottom (FRONT), and 10' on the right (SIDE). The building footprint is 8' wide and 8' deep. The rear setback is 15'.

**BUILDING SETBACKS (MINIMUM)**

The diagram shows a rectangular lot with a dashed outline representing the building footprint. The lot dimensions are 15' on the left (ROAD SIDE), 10' on the bottom (FRONT), and 10' on the right (SIDE). The building footprint is 8' wide and 8' deep. The setbacks are: 15' STREET SIDE SETBACK TO LIVING SPACE OR GARAGE SIDE, 25' REAR SETBACK, 25' FRONT SETBACK TO GARAGE DOOR, 15' FRONT SETBACK TO LIVING SPACE, and 7.5' SIDE SETBACK.



**PROJECT DEVELOPER**  
**SALINEURRY DEVELOPMENT**  
484 WEST 1300  
SPRINGVILLE, UTAH 84608  
(801) 481-9081













**PROJECT ENGINEER  
& SURVEYOR**  
REGION ENGINEERING & SURVEYING  
1770 NORTH STATE STREET #110  
-ORLAND, UTAH 84057  
TEL - 801 376 2245

**PROJECT STATISTICS**

BLINDING P/C PLANNED COMMUNITY
LOTS IN LOTS
TOTAL ACREAGE 5.70 ACRES
TOTAL ACREAGE IN LOTS 5.80 ACRES
TOTAL ACREAGE IN STRIPS 0.87 ACRES
TOTAL ACREAGE IN OPEN SPACE 0.87 ACRES
DENSITY 4.87 UNITS PER ACRE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	23.47'	15.00'	21.14'	N45°21'06"W	86°37'48"
C2	23.43'	15.00'	21.12'	N45°28'25"W	86°28'06"
C3	23.70'	15.00'	21.31'	S44°34'35"W	90°30'31"

**LEGEND**

- |   |                               |
|---|-------------------------------|
|  | FOUND SECTION COR. AS NOTED   |
|  | SET 5/8" IRON PIN             |
|  | TO BE SET AT ALL LOT CORNERS  |
|  | FOUND CLASS I STREET MONUMENT |
|  | SET STREET MONUMENT           |
|  | PROPERTY BOUNDARY             |
|  | CENTERLINE                    |
|  | RIGHT-OF-WAY LINE             |
|  | LOT LINE                      |
|  | SECTION LINE                  |
|  | PUBLIC UTILITY EASEMENT       |
|  | CALCULATED POINT (NOT SET)    |

**BASIS OF BEARING**

THE BASIS OF BEARING FOR THE OVERALL SURVEY RIDGE PROJECT IS ON THE SECTION LINE BETWEEN THE EAST 1/4 CORNER AND THE SOUTHEAST CORNER OF SECTION 10, T10N, R16E. BEARS WITH THE BEARING BEING S79°05'16"E ALONG SAID LINE.

### SECTION CORNER NOTE

AT THE TIME OF TWO SURVEYS COMPLETED BY LE ENGINEERING ON FILE WITH THE UTAH COUNTY SURVEYOR AT MAP 49-2-1 AND MAP 49-2-1A, THE ABOVE MENTIONED CORNER OF SECTION 36, T10S, R10E, S44E, 1/4 SEC 36, S44E, THIS CORNER WAS LOCATED BY THE BOTH OF THE ABOVE MENTIONED SURVEYS AND FOR PLAT "A" & "B", OF STONE BELLON AT SENEZIT RIDGE SURVEYING. IN 1984 SAID CORNER WAS RELOCATED FOR THE PURPOSE OF PREPARING ADDITIONAL PLAT "A" AND SAID RELOCATION WAS DONE CORRECTLY. THE CORNER WAS FOUND EXIST BY THE UTAH COUNTY SURVEYOR IN A LOCATION BEING FURTHER TO THE NORTH (S44E) THAN THE SURVEY POSITION THAT LE ENGINEERING HAS USED. PLAT "B", STONE BELLON AT SENEZIT RIDGE SURVEYING HOLDS THE POSITION OF THE CORNER OF UTAH COUNTY SURVEYOR. IT IS OPINED THAT THE SHOULD BE CONSIDERED WHEN TRYING TO PREVENT PLATS IN THE SENEZIT RIDGE PROJECT.

### QUESTAR ACCEPTANCE

QUESTAR APPROVES THIS PLAY SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAY CONTAINS PUBLIC UTILITY EASMENTS. QUESTAR MAY REQUIRE OTHER EASMENTS IN ORDER TO SERVE THIS SUBSCRIBER. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAY, INCLUDING THOSE SET FORTH IN THE OWNERS DECLARATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT QUESTAR'S RIGHT OF WAY DEPARTMENT AT 1-800-968-9686.

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
QUESTAR GAS COMPANY  
BY- \_\_\_\_\_  
TITLE- \_\_\_\_\_

### Surveyor's Certificate

I, ROBERT J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 36839-06 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAN AND STAKED BELOW. I HAVE DIVIDED SAID TRACT OF LAND INTO LOTS, STRIPS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAN AND THAT THIS IS TRUE AND CORRECT.

### Boundary Description

BEGINNING AT A POINT LOCATED AT THE SECTION CORNER, RUN ON THE 1/4 SECTION LINE 1386.15' FROM THE INTERSECTION  
 OF SECTION 10 TO TOWNSHIP 36 NORTH, RANGE 12 EAST, SAYS LAKE BOYD AND INTERSECTION.

Thence, N 89° 10' 22" E for a distance of 358.55' to a point on a line.  
 Thence, S 80° 50' 18" W for a distance of 100.00' to a point on a line.  
 Thence, S 10° 12' 40" W for a distance of 200.00' to a point on a line.  
 Thence, S 10° 12' 40" W for a distance of 114.74' to a point on a line.  
 Thence, S 80° 50' 18" W for a distance of 100.00' to a point on a line.  
 Thence, S 80° 50' 18" W for a distance of 100.00' to a point on a line.  
 Thence, S 89° 10' 22" W for a distance of 358.55' to a point on a line.  
 Thence, S 42° 30' 46" W for a distance of 67.73' to a point on a line.  
 Thence, S 89° 10' 22" W for a distance of 138.60' to a point on a line.  
 Thence, S 89° 10' 22" W for a distance of 352.18' to the POINT (20' NE CORNER).

CONTINUED ON DEEDS 2001-10-27-10-28

**Finalized**  
2/29/2017 8:43:43 AM

DATE \_\_\_\_\_

## OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND RASMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREBY SET OUR HANDS THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

### LIMITED COMPANY ACKNOWLEDGEMENT

STATE OF UTAH  
COUNTY OF UTAH

S.S.

ON THIS DAY OF A.D. 20 PERSONALLY APPEARED BEFORE

MR. \_\_\_\_\_ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED  
TO ME THAT (S)HE IS THE \_\_\_\_\_ OF \_\_\_\_\_  
A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF  
AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES \_\_\_\_\_ A NOTARY PUBLIC COMMISSIONED IN UTAH \_\_\_\_\_

NOTARY ADDRESS \_\_\_\_\_ PRINTED FULL NAME OF NOTARY \_\_\_\_\_

#### ACCEPTANCE BY LEGISLATIVE BODY

THE \_\_\_\_\_ OF \_\_\_\_\_  
COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL  
STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE  
PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 80 \_\_\_\_\_

APPROVED BY CITY MANAGER \_\_\_\_\_ APPROVED BY CITY ATTORNEY \_\_\_\_\_

---

---

\_\_\_\_\_  
COMMUNITY DEVELOPMENT DIRECTOR







\_\_\_\_\_  
(Type Name Here)

\_\_\_\_\_  
(Type Name Here)

**SHEET 1 OF 1**

STONE HOLLOW  
AT SUMMIT RIDGE - PLAT 'J'

UTAH COUNTY, UTAH

<div style="text-align: center;">  </div>				<div style="text-align: center;">  </div>				<div style="text-align: center;">  </div>				<div style="text-align: center;">  </div>			
<div style="text-align: center;">  </div>				<div style="text-align: center;">  </div>				<div style="text-align: center;">  </div>				<div style="text-align: center;">  </div>			

This form approved by Utah County and the municipalities therein.





CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL, CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY DAMAGE TO ALL UTILITIES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

12/29/2017 8:43:54 AM

ALL IMPROVEMENTS AND DETAILS PER  
SANTAQUIN CITY CONSTRUCTION STANDARDS



PRELIMINARY  
NOT FOR  
CONSTRUCTION  
12/20/08

**STONE HOLLOW  
PRELIMINARY PLATS H, I, J & K**

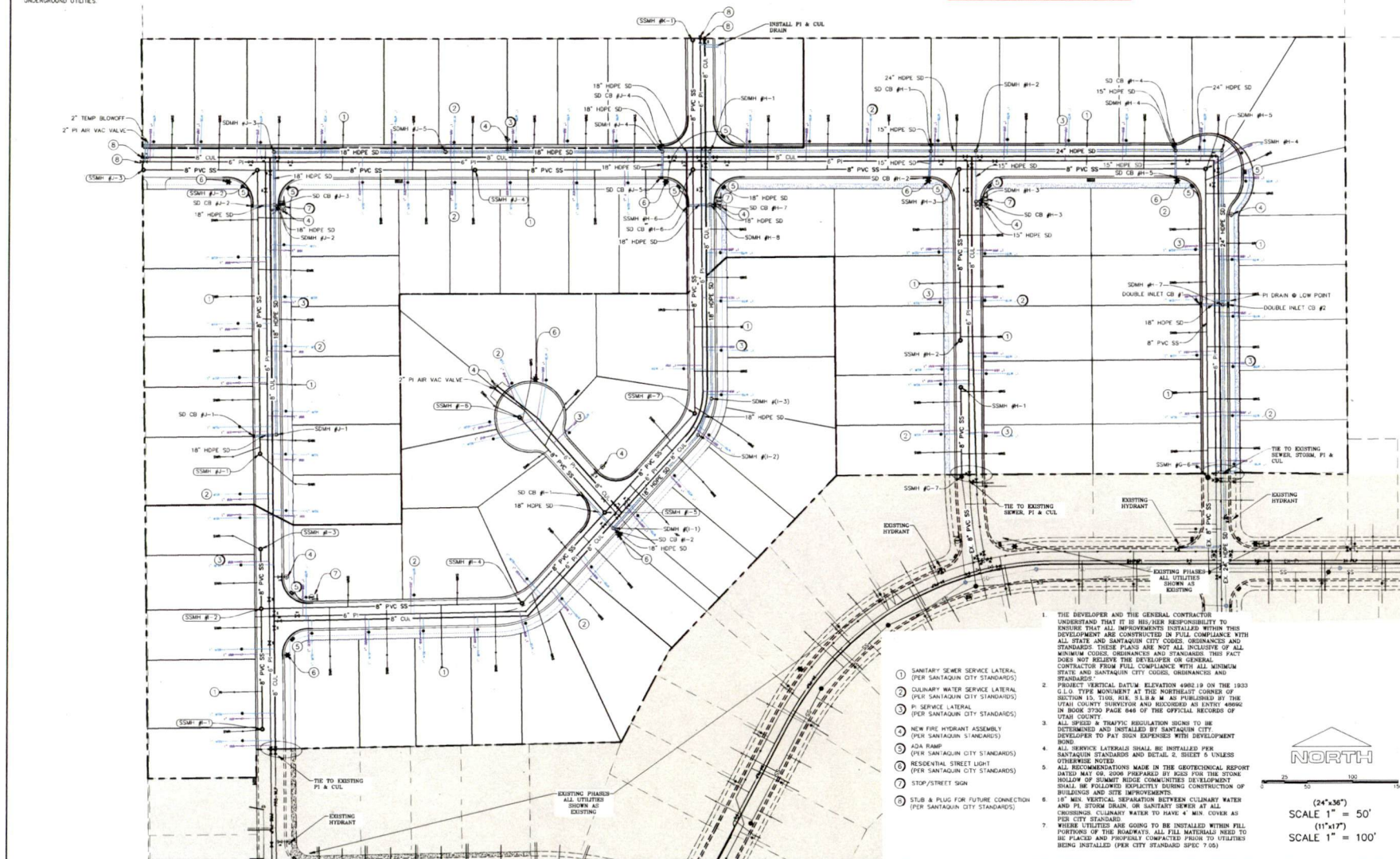
LOCATED IN THE NORTHWEST QUARTER OF  
SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

PROJECT #

1	
2	
3	

SD 0

SP-0





**Finalized**

12/29/2017 8:43:57 AM



SCALE 1" = 50'

SCALE 1" = 100'

24" Retaining Wall  
(Toe of Wall @ Prop Line)

region  
Engineering & Surveying  
1776 N. State St. #110  
Crem, UT 84057  
P: 801.376.2245  
region@region.com



PRELIMINARY  
NOT FOR  
CONSTRUCTION

STONE HOLLOW  
PRELIMINARY PLATS H, I, J & K  
LOCATED IN THE NORTHWEST QUARTER OF  
SECTION 10, T4S, R12E, S4E  
RANGE 1 EAST, SALT LAKE BASIN AND MERIDIAN

DATE: 7.07.2017

PROJECT #

REVISIONS:

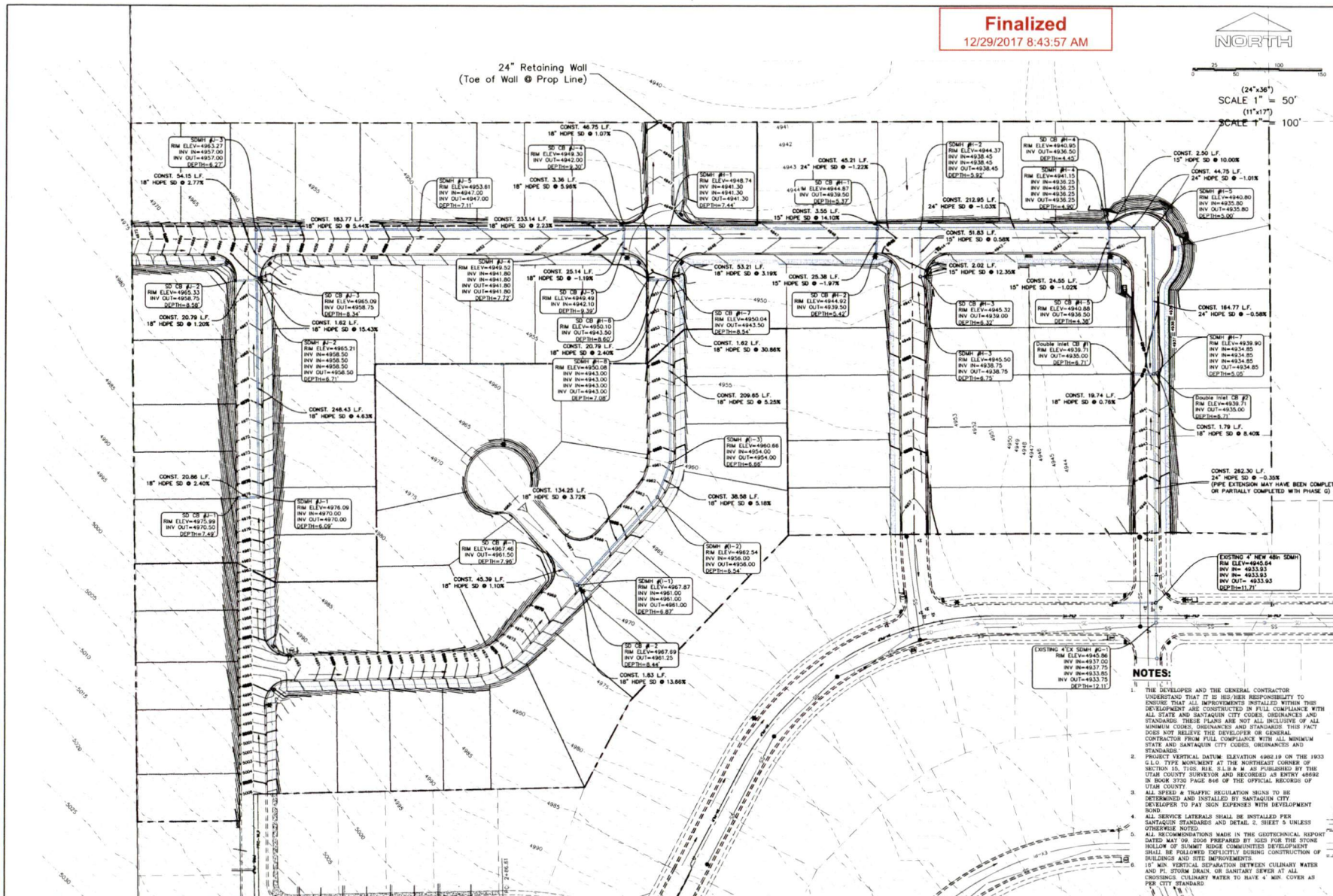
NO.	DESCRIPTION
1	
2	
3	

GRADING PLAN

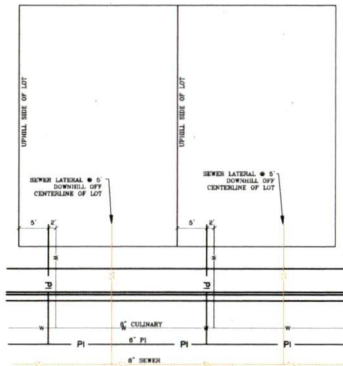
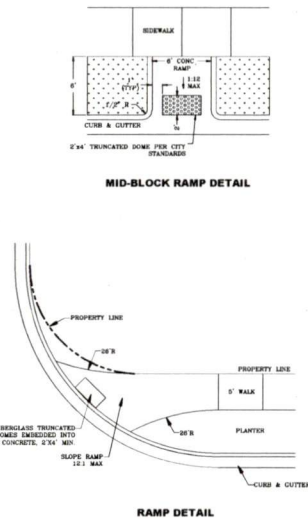
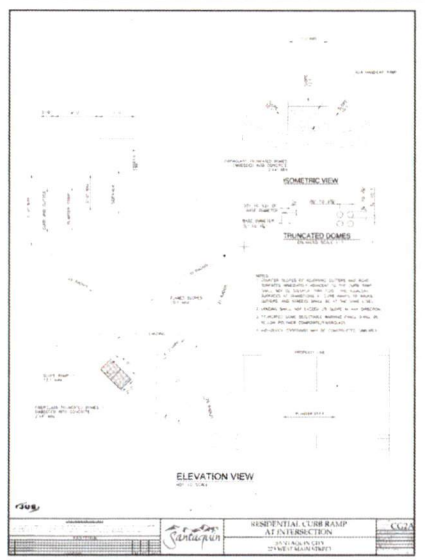
GR-01

**NOTES:**


- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SALT LAKE CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL KNOWN CUSTOMER REQUIREMENTS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SALT LAKE CITY CODES, ORDINANCES AND STANDARDS.
- PROJECT VERTICAL DATUM: ELEVATION 4962.19 ON THE 1953 C.L.S. TYPE MOUNTAIN AT THE NORTHEAST CORNER OF SECTION 15, T10S, R12E, S11E, S4E AS PUBLISHED BY THE UTAH COUNTY SURVEYOR AND RECORDED AS ENTRY 48592 IN BOOK 3730 PAGE 846 OF THE OFFICIAL RECORDS OF UTAH COUNTY.
- ALL SPREAD & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SALT LAKE CITY DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT FUNDS.
- ALL SERVICE LATERALS SHALL BE INSTALLED PER SALT LAKE CITY STANDARDS AND DETAIL 2, SHEET 9 UNLESS OTHERWISE NOTED.
- ALL RECOMMENDATIONS MADE IN THE GEOTECHNICAL REPORT DATED MAY 09, 2009 PREPARED BY GSD FOR THE STONE HOLLOW OF SALT LAKE COUNTY DEVELOPMENT SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.
- 15' MIN VERTICAL SEPARATION BETWEEN CULINARY WATER AND P, STORM DRAIN OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.





[illegible]

ALL IMPROVEMENTS AND DETAILS PER  
SANTAQUIN CITY CONSTRUCTION STANDARDS



**region**  
Engineering  
& Surveying  
1776 N. State St. #110  
Orem, UT 84057  
P: 801.376.2245  
regiondesignllc.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION  
11/20/11

**STONE HOLLOW  
PRELIMINARY PLATS H, I, J & K**  
LOCATED IN THE NORTHWEST QUARTER OF  
SECTION 10, TOWNSHIP 10 SOUTH  
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 7.07.2017  
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:  
TYPICAL DETAILS  
SHEET:  
DT-01

# MEMO



To: Mayor Hunsaker and City Council  
From: Jason Bond, Community Development Director  
Date: December 29, 2017  
Re: Stone Hollow Plat Phases H-K Preliminary Review

---

Salisbury Homes is proposing that Stone Hollow Plat Phases H-K include 83 lots on approximately 18.81 acres. This property is located in the Planned Community (PC) Zone and is a part of the Summit Ridge Development. The original approval of this plat was in 2006 and an extension was granted in 2012. The plat is now lapsed and the developer is seeking approval again from the City Council.

Plat H was approved within the past few months but the developer decided to incorporate more area into this preliminary plat. As part of this change, the road alignment in Plat H is slightly different from what was recently approved. This proposed plat includes 4 phases which are listed as plats H, I, J and K.

The Planning Commission motion is as follows:

**Motion:** Commissioner Francom motioned to forward a positive recommendation to the City Council for the Stone Hollow Preliminary Plats H-K based on the following; that it meets the development agreement requirements associated with the Summit Ridge Master planned community. With the condition that all applicable development requirements are met. Commissioner Lance Seconded.

**Roll Call:** Wood aye, Adcock aye, Montoya aye, Francom aye, Sperry aye, Lance aye.  
Vote 6 to 0.

**Staff Recommendation:** It is recommended that the City Council grant preliminary approval of the Stone Hollow Subdivision Plat Phases H-K.

**Recommended motion:** "Motion to (approve/not approve) the preliminary plan for the Stone Hollow Subdivision Plat Phases H-K of the Summit Ridge Development.



# MEMO



To: Mayor Hunsaker and City Council  
From: Jason Bond, Community Development Director  
Date: December 29, 2017  
Re: Dawe Subdivision Preliminary Review – Approximately 30 South 400 West

---

Gordon Dawe is proposing the Dawe Condominiums which includes 5 lots on approximately 0.37 acres. This property is located in the Main Street Residential (MSR) Zone. Because the 5 attached units will be separately owned condominiums, this development is considered a subdivision and is subject to all requirements of the subdivision regulations. This development has been working through the subdivision process for several months and is subject to the parking requirements that were previously in place before the recent parking regulation amendments were adopted by the City Council. After preliminary approval is given by the City Council, the development will need to receive final approval from the Development Review Committee (DRC).

The Planning Commission Motion was as follows:

**Motion:** Commissioner Bloomfield motioned to forward a positive recommendation to the City Council for Dawe condominiums based on it meeting the requirements of the MSR zone. Commissioner Wood seconded.

**Roll Call:** Bloomfield Aye, Sperry Aye, Montoya Aye, Wood Aye. Motion passed 4 to 0.

**Staff Recommendation:** It is recommended that the City Council grant preliminary approval of the Dawe Condominium subdivision with findings and conditions.

**Recommended motion:** "Motion to (approve/not approve) the preliminary plan for the Dawe Condominium subdivision with the following findings and conditions:

Findings:

- 1) The proposed subdivision satisfies the requirements within Title 11 of the Santaquin City Code as written at the time the complete application was submitted.

Conditions:

- 1) That the Developer provide Covenants, Codes and Restrictions (CC&Rs) to Santaquin City.
- 2) That the developer provides two "parallel parking only" signs along the frontage of 400 West.

# DAWE CONDOMINIUMS

GORDON DAWE (801-358-3154)  
661 N. 540 E., MAPLETON, UT 84664

## BOUNDARY DESCRIPTION

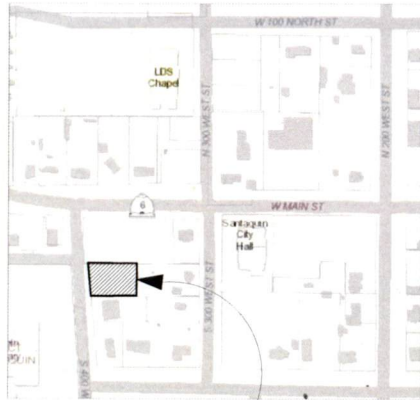
BEGINNING AT A POINT ON THE EAST LINE OF 400 WEST STREET, SANTAQUIN, UTAH, SAID POINT BEING SOUTH 27.02 FEET AND EAST 3448.71 FEET ACCORDING TO UTAH COORDINATE BEARINGS-CENTRAL ZONE FROM THE WEST QUARTER CORNER OF SECTION 2, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. THENCE SOUTH 04°53'21" EAST 106.62 FEET ALONG THE SAID EAST LINE OF 400 WEST STREET; THENCE SOUTH 89°56'00" EAST 145.47 FEET; THENCE NORTH 00°04'00" EAST 106.80 FEET; THENCE SOUTH 89°51'08" WEST 154.68 FEET TO THE POINT OF BEGINNING, CONTAINING 0.37 OF AN ACRE MORE OR LESS

NORTH PROPERTY OWNER:  
TEWKSBURY LLC  
32:008:0031

EAST PROPERTY OWNER:  
INGE, CHARLES & LAURA  
32:008:0042

SOUTH PROPERTY OWNER:  
MARTINEZ, LONNIE & LINDA  
32:008:0028

**Note to Developers and General Contractors:**  
It is important for the developer and the General Contractor to understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. The development plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Standards.



## VICINITY MAP

PROJECT LOCATION  
30 SOUTH 400 WEST

## SHEET INDEX

C-1	COVER SHEET
C-2	SITE PLAN
C-3	GRADING PLAN
L-1	LANDSCAPE PLAN
L-2	IRRIGATION PLAN
D-1	DETAIL SHEET 1
D-2	DETAIL SHEET 2

## AREA TABLE

ITEM	AREA (S.F.)
PARCEL SIZE	15,986
BUILDING GROUND FOOTPRINT	5,460
MAIN FLOOR LIVING (EACH UNIT)	620
2ND FLOOR LIVING (EACH UNIT)	1,080 / 1,108
GARAGE (EACH UNIT)	473
EXTERIOR CONCRETE	2,770
DRIVEWAY ASPHALT	3,755
LANDSCAPE	4,606
RIGHT-OF-WAY DEDICATION	0

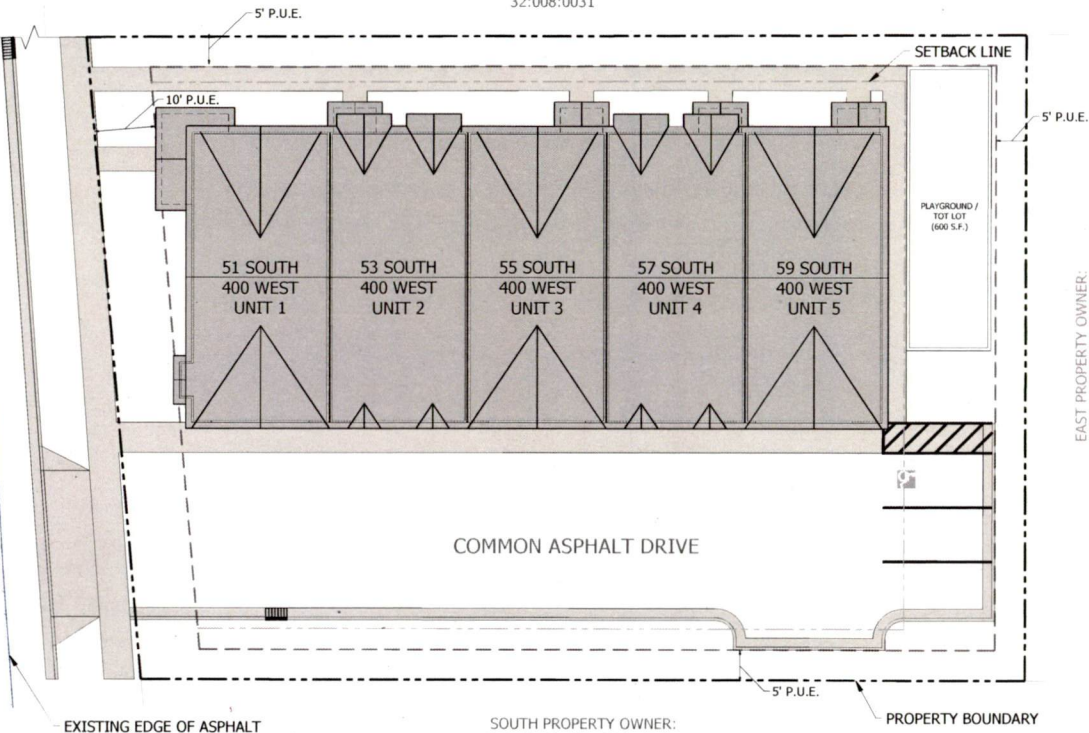
WEST 1/4 CORNER  
S2 T10S R1E  
NAD83 STATE PLANE  
N=2,182,316.658 m  
E=473,929.874 m

SW CORNER  
S2 T10S R1E  
NAD83 STATE PLANE  
N=2,181,501.096 m  
E=473,935.594 m



SCALE 1" = 10'  
1" (11x17)  
1" (22x34)

## SITE LAYOUT



REVISIONS	DATE	BY	REMARKS



DATE  
11-21-2017

DAWE CONDOMINIUMS  
COVER SHEET  
LOCATION  
SANTAQUIN, UT

FOR  
GORDON DAWE

DRAWING  
C-1



REVISIONS	DATE	BY	REMARKS



DATE: 11-21-2017

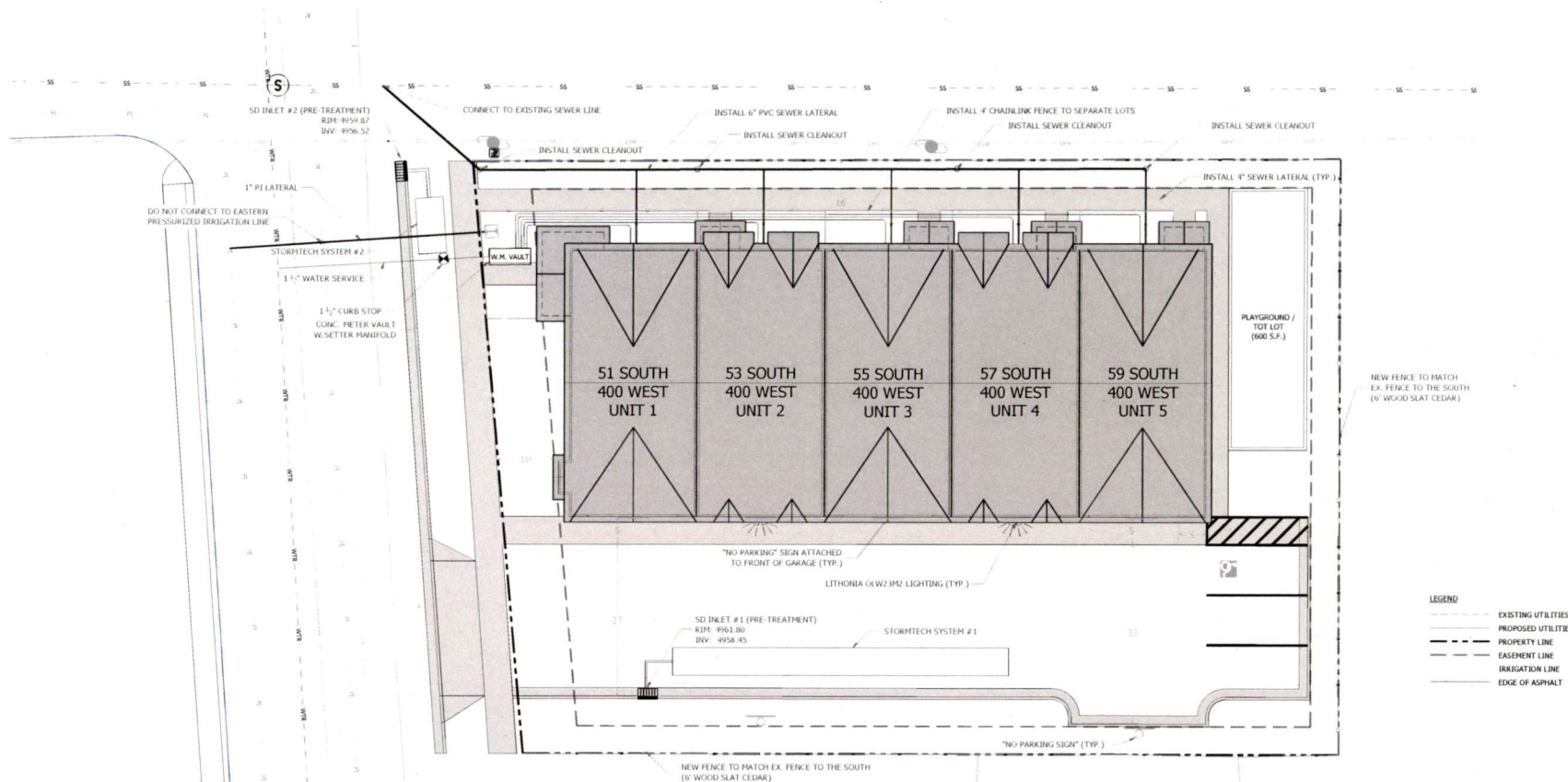
LOCATION: SANTAQUIN, UT

POC: GORDON DAVE

DAWE CONDOMINIUMS  
SITE PLAN

DRAWING:

C-2



## SITE PLAN

SCALE 1" = 10'  
1" (11x17)  
1" (22x34)

### Notes:

1. The nearest fire hydrant is positioned at the southwest corner of 400 West and Main Street which is 142 feet from the northwest property corner.
2. Each living unit will have it own individual can for garbage disposal.
3. 6' high perimeter fencing to be conform with Santaquin City requirements.
4. All construction work to conform with Santaquin City Standards.

### Note to Developers and General Contractors:

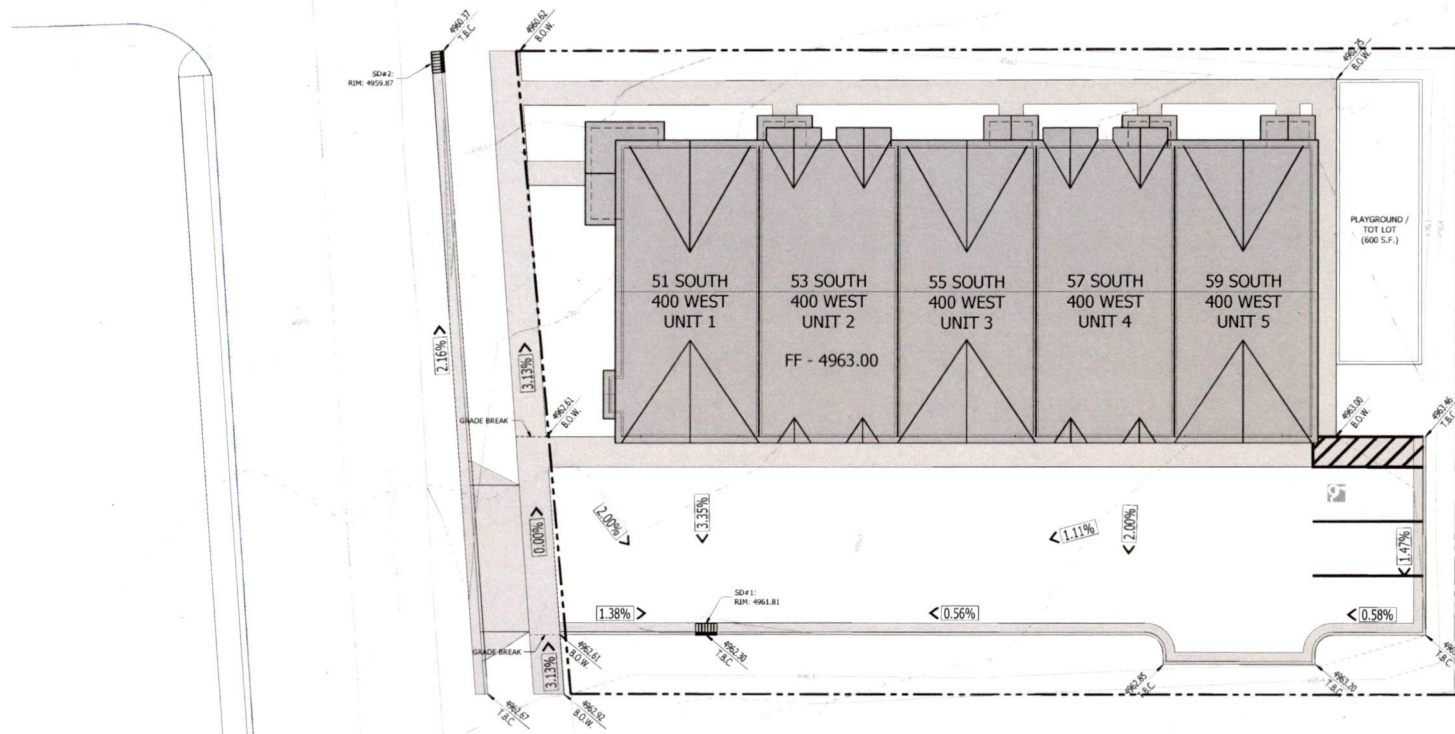
It is important for the developer and the General Contractor to understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. The development plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Standards.

REVISIONS	DATE	BY	REMARKS



**DAWE CONDOMINIUMS**  
**GRADING PLAN**  
LOCATION: SANTAQUIN, UT  
DATE: 11-27-2017

DRAWING: C-3  
FOR: GORDON DAWE



LEGEND  
 --- EXISTING UTILITIES  
 --- PROPOSED UTILITIES  
 --- PROPERTY LINE  
 --- EASEMENT LINE  
 --- IRRIGATION LINE  
 --- EDGE OF ASPHALT



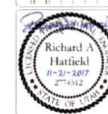
## GRADING PLAN

SCALE 1" = 10'  
 1" (11x17)  
 1" (22x34)

Note to Developers and General Contractors:  
 It is important for the developer and the General Contractor to understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. The development plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Standards.



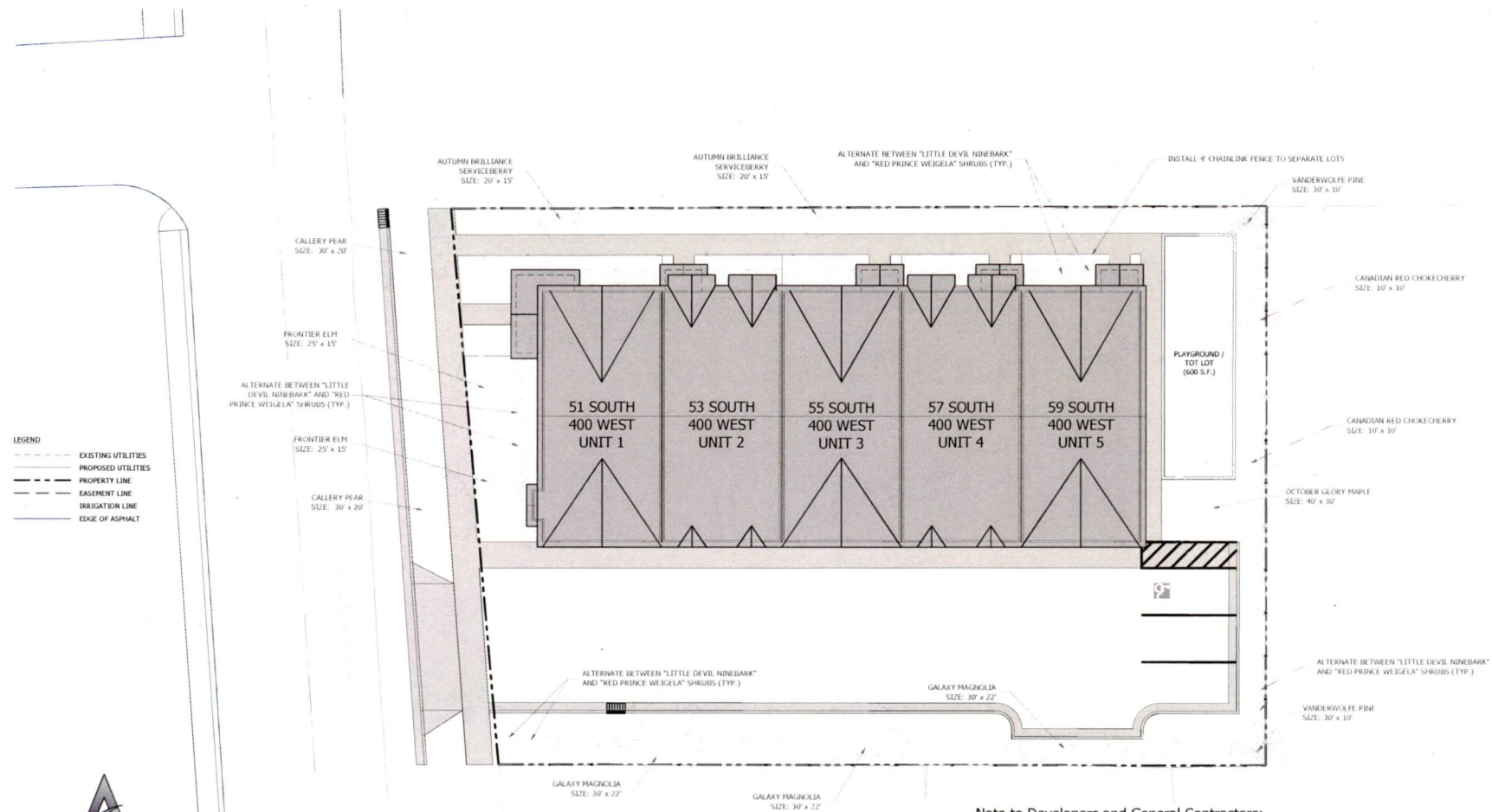
REVISIONS	DATE	BY	REMARKS



**DAWE CONDOMINIUMS**  
**LANDSCAPE PLAN**

DATE: 11-21-2017  
LOCATION: SANTAQUIN, UT  
FOR: GORDON DAWE

DRAWING: **L-1**



**LEGEND**

--- EXISTING UTILITIES  
--- PROPOSED UTILITIES  
--- PROPERTY LINE  
--- EASEMENT LINE  
--- IRRIGATION LINE  
--- EDGE OF ASPHALT

**NORTH**

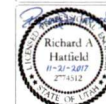
SCALE 1" = 10'

1" (11x17)  
1" (22x34)

# LANDSCAPE PLAN

**Note to Developers and General Contractors:**  
It is important for the developer and the General Contractor to understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. The development plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Standards.

REVISIONS	DATE	BY	REMARKS



DATE: 11-21-2017

DAWE CONDOMINIUMS  
LANDSCAPE PLAN  
LOCATION: SANTAQUIN, UT

FOR: GORDON DAWE

DRAWING: L-1

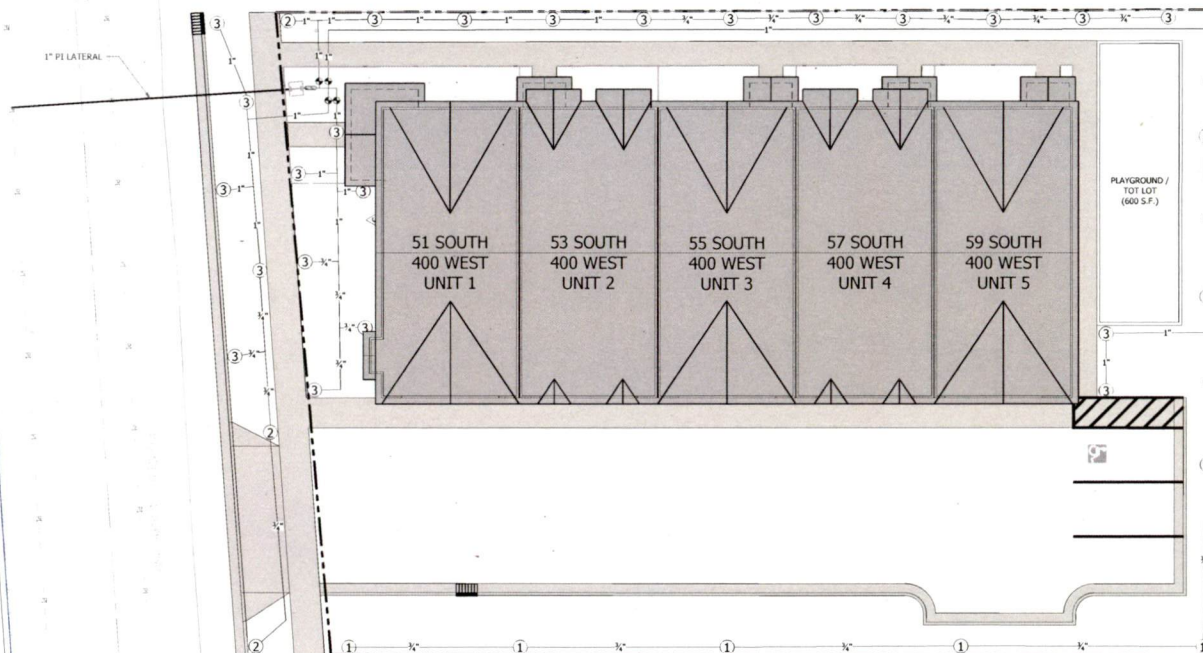
# LEGEND

- ① Rain Bird PC10 Drip Stub Out
- ② Hunter MPCorner - MPR40-04-CV
- ③ Hunter MP1000 - MPR40-04-CV
- ☼ Rain Bird 100 - PESB
- ▨ 1" Jain Wye Filter 50 Mesh
- △ Rain Bird ESP-4M Controller
- Pressurized Irrigation Meter Box



SCALE 1" = 10'  
1" (11x17)  
1" (22x34)

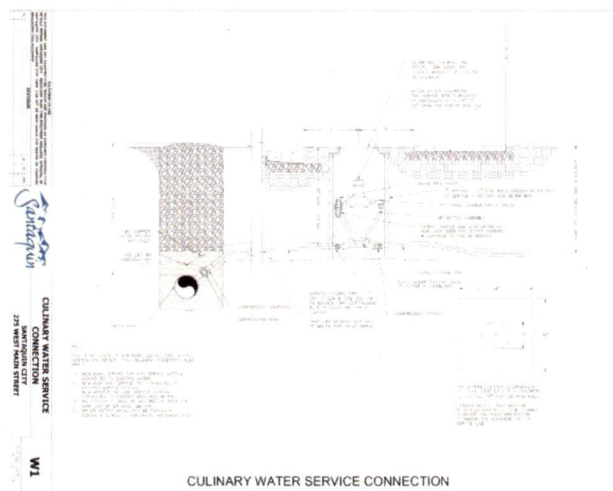
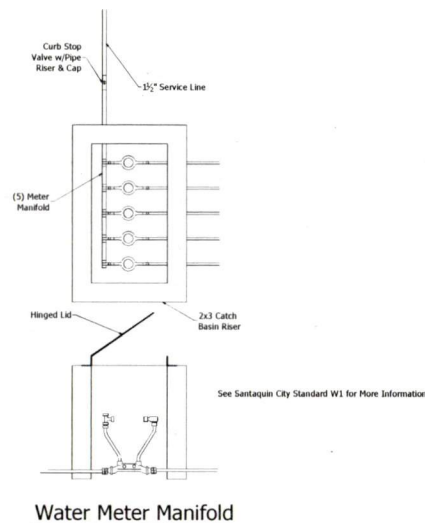
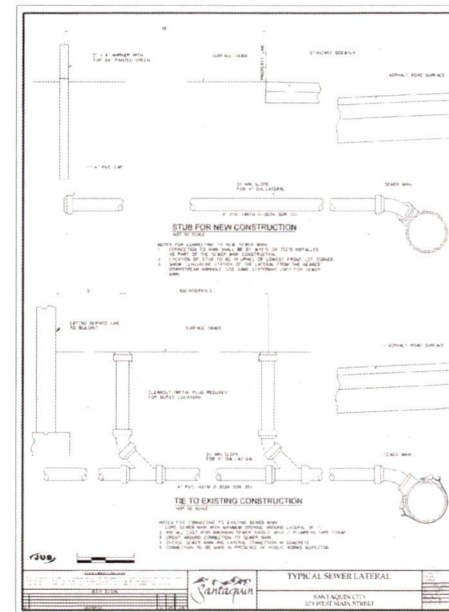
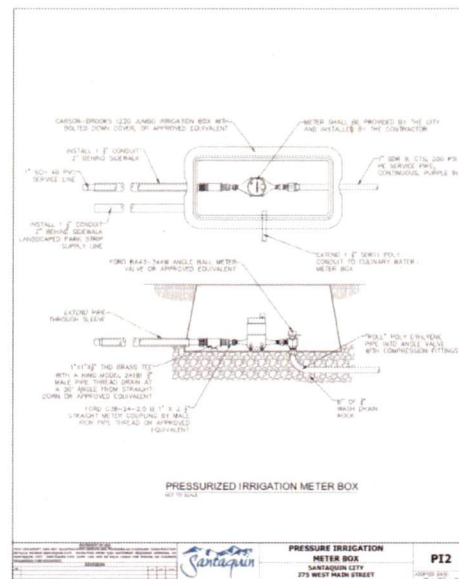
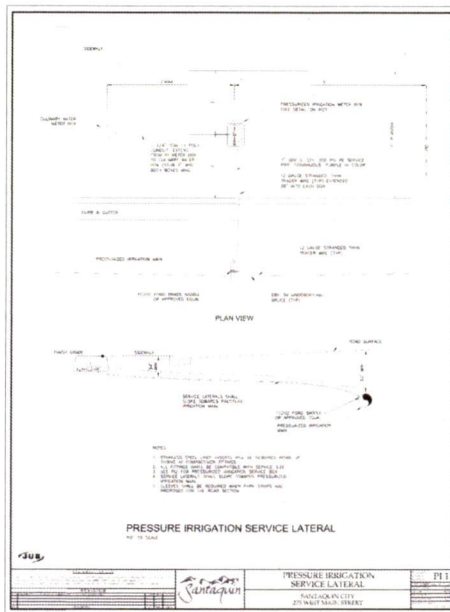
## SITE IRRIGATION PLAN



### Note to Developers and General Contractors:

It is important for the developer and the General Contractor to understand that it is his/her responsibility to ensure that all improvements installed within this development are constructed in full compliance with all State and Santaquin City Codes, Ordinances and Standards. The development plans are not all inclusive of all minimum codes, ordinances and standards. This fact does not relieve the Developer or General Contractor from full compliance with all minimum State and Santaquin City Standards.

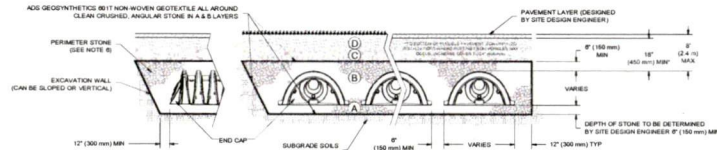




# ACCEPTABLE FILL MATERIALS: STORMTECH CHAMBER SYSTEMS

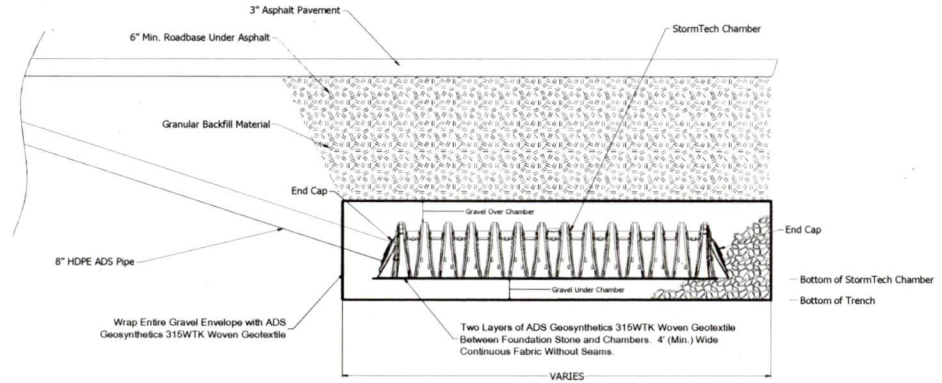
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
FINAL FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SURBASE MAY BE PART OF THE 'D' LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SURBASE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
INITIAL FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDED STONE (B) LAYER TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SURBASE MAY BE A PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE MIXTURES, 3/8" FINES OR PROCESSED AGGREGATE. MOST PAVEMENT SURBASE MATERIALS CAN BE USED IN LIEU OF THE LAYER.	AASHTO M 45 A-1, A-2, A-3 OR AASHTO M 47 3, 367, 4, 487, 5, 54, 57, 6, 67, 68, 7, 78, 8, 98, 9, 10	REGION COMPACTED AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. WEL PROCTOR DENSITY FOR WELL-GRADED MATERIAL, AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lb (53 kN). DYNAMIC FORCE NOT TO EXCEED 30,000 lb (13 kN).
EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M 47 3, 367, 4, 487, 5, 54, 57	NO COMPACTION REQUIRED
FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT BOTTOMS OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M 47 3, 367, 4, 487, 5, 54, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE.

PLEASE NOTE:  
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE "CLEAN, CRUSHED, ANGULAR NO. 4 AASHTO MAX STONE".  
2. STORMTECH CHAMBERS REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.  
3. WHERE ARE TRACTION SURFACES MAY BE COMPACTIONED BY COMPACTION FOR 12" (300 mm) DEPTH. A FLAT SURFACE MAY BE ACHIEVED BY RAMPING OR DRAUGHING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGN, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



## NOTES:

- CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2318 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2322 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2387 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'D' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SURBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



Storm Drain Table										
	Dim.	Rim Elev.	Catch Basin Inv. Out	Excavation Width	Excavation Depth	Excavation Length	Model of Storm Tech	# of Units	Length of Storm Tech	Gravel Above
SD-1	2'x3'	4961.80	4958.45	6.50	6.00	62.00	SC-740	8.00	~ 57'	6"
SD-2	2'x3'	4959.95	4956.52	5.00	6.00	12.50	SC-310	1.00	~ 7'	6"



# DAWE CONDOMINIUMS

30 SOUTH 400 WEST

SANTAQUIN, UTAH



## DRAWING INDEX:

SHEET S-1 - COVER SHEET  
 SHEET S-2 - ELEVATIONS  
 SHEET S-3 - FLOOR AND ELECTRICAL PLAN  
 SHEET S-4 - FOOTING & FOUNDATION PLAN  
 SHEET S-5 - FRAMING PLAN  
 SHEET S-6 - FLOOR JOIST LAYOUT  
 SHEET S-7 - ROOF TRUSS PLAN  
 SHEET D-1 - DETAILS  
 SHEET D-2 - DETAILS

## SQUARE FOOTAGES:

### UNIT 1:

MAIN FLOOR LIVING -  
 2ND FLOOR LIVING -  
 GARAGE -

620 S.F.  
 1080 S.F.  
 460 S.F.

### UNIT 2:

MAIN FLOOR LIVING -  
 2ND FLOOR LIVING -  
 GARAGE -

620 S.F.  
 1108 S.F.  
 460 S.F.

### UNIT 3:

MAIN FLOOR LIVING -  
 2ND FLOOR LIVING -  
 GARAGE -

620 S.F.  
 1080 S.F.  
 460 S.F.

### UNIT 4:

MAIN FLOOR LIVING -  
 2ND FLOOR LIVING -  
 GARAGE -

620 S.F.  
 1108 S.F.  
 460 S.F.

### UNIT 5:

MAIN FLOOR LIVING -  
 2ND FLOOR LIVING -  
 GARAGE -

620 S.F.  
 1080 S.F.  
 472 S.F.

### TOTAL MAIN FLOOR LIVING -

TOTAL 2ND FLOOR LIVING -

TOTAL GARAGE SPACE -

3100 S.F.  
 5456 S.F.  
 2312 S.F.



DAWE CONDOMINIUMS

COVER SHEET

DRAWN BY:  
 E.N.H.  
 DATE:  
 NOV. 22, 2007  
 SHEET:

S-1

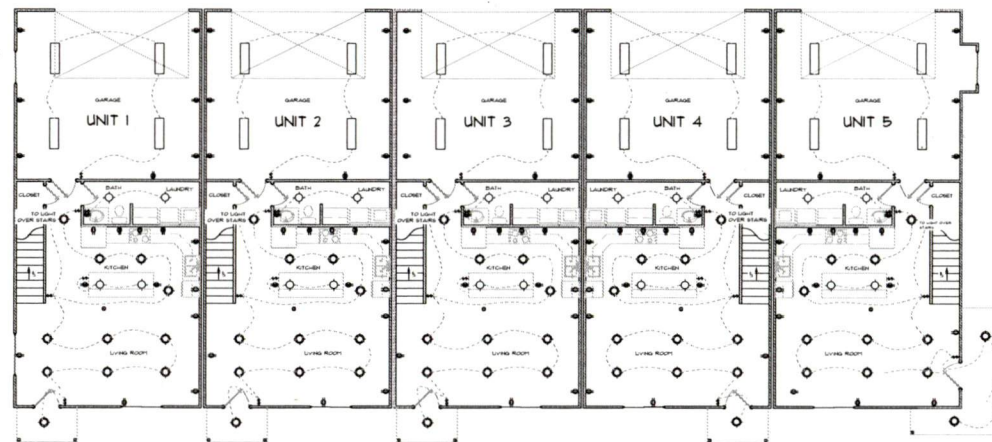


1. ALL EXTERIOR FINISHES, ROOFING MATERIALS, WINDOWS, DOORS, ETC. ARE TO BE APPROVED BY THE OWNER.



# NOTES:

1. ALL KITCHEN COUNTER, BATHROOM, EXTERIOR AND GARAGE OUTLETS ARE TO BE GROUND FAULT CIRCUIT INTERRUPTER PROTECTED (GFCI).
2. ALL FIXTURES AND SWITCHES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY, CONSULT WITH HOME OWNER AFTER HANGING GANG BOXES AND PRIOR TO RUNNING ELECTRICAL WIRING.
3. ALL FLOOR COVERINGS, FINISH CARPENTRY, CABINETRY, INTERIOR WALL COVERINGS, LIGHT FIXTURES, ETC., ARE TO BE DETERMINED BY THE HOME OWNER.



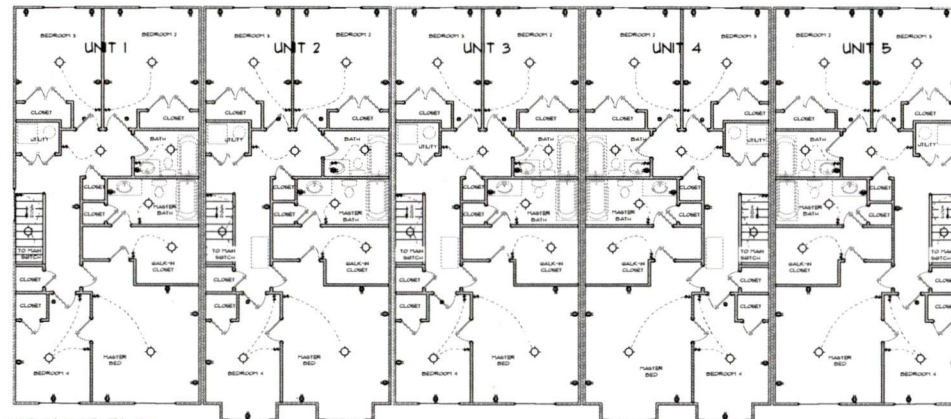
MAIN FLOOR PLAN

SCALE: N.T.S.

## ELECTRICAL LEGEND

- § LIGHT SWITCH (SINGLE GANG)
- §§ LIGHT SWITCH (DOUBLE GANG)
- §§§ LIGHT SWITCH (TRIPLE GANG)
- §§§§ LIGHT SWITCH (FOUR GANG)
- LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 220 V. OUTLET # DRYER & RANGE
- 110 V. OUTLET
- 110 V. GFCI OUTLET ALL EXTERIOR, GARAGE, KITCHEN AND BATH AS PER CODE
- EXHAUST FAN
- ⊙ SMOKE / C.O. DETECTOR WIRED IN SERIES W/ BATTERY BACK-UP AS PER CODE
- ✱ CEILING FAN W/ LIGHT

CONTRACTOR SHALL VERIFY ALL LOCATIONS W/ HOME OWNER FOR ALL PHONE, TV, MULTIMEDIA, AND INTERNET JACKS.



2ND FLOOR PLAN

SCALE: N.T.S.

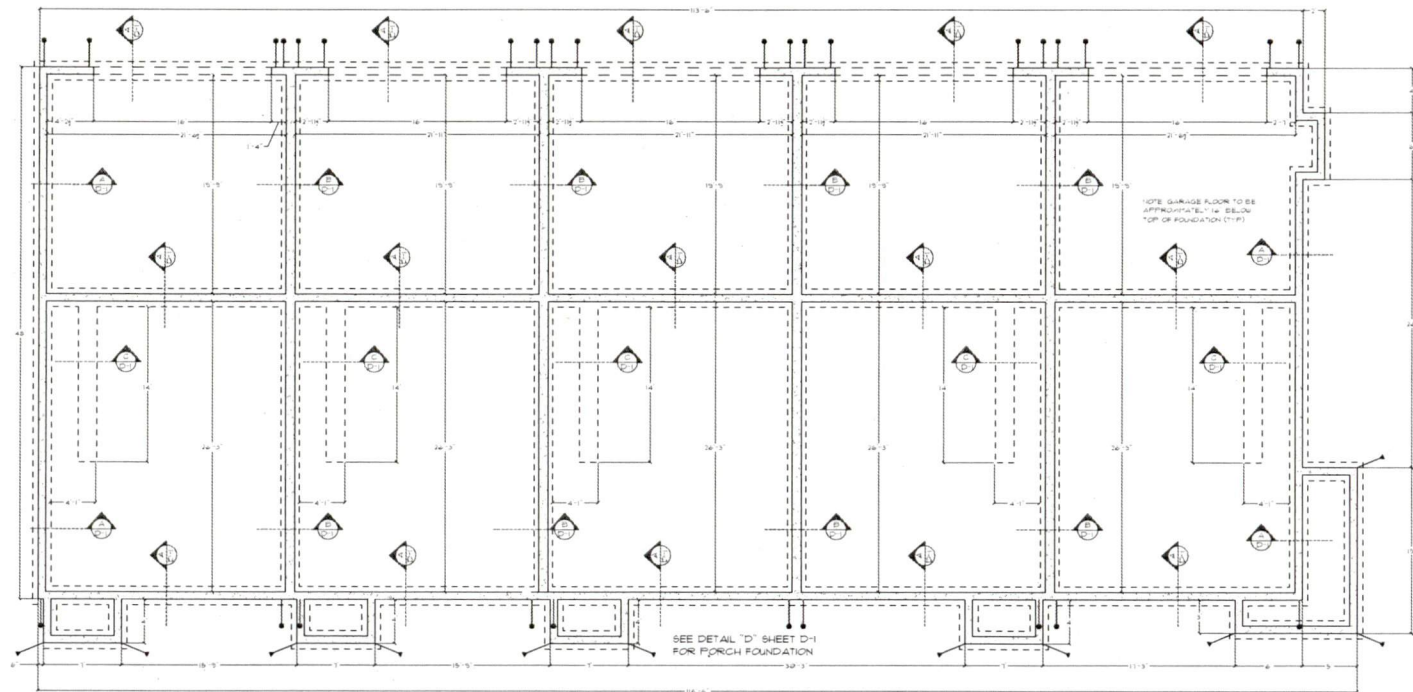


DAWE CONDOMINIUMS

FLOOR & ELECTRICAL PLAN

DRAWN BY: E.R.H.  
DATE: NOV. 22, 2017  
SHEET:

S-3

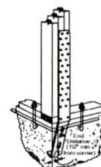


# FOOTING & FOUNDATION PLAN

SCALE: 1/4" = 1' (24" X 36")

## NOTES:

1. FOOTING & FOUNDATION CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
2. ALL CONCRETE REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A-615 GRADE 60 (60 KSI).
3. LAP ALL HORIZONTAL STEEL A MINIMUM OF 48 BAR DIAMETERS. DO NOT SPICE VERTICAL STEEL.
4. ALL FOOTINGS ARE TO BE PLACED A MINIMUM OF 30" BELOW FINISHED GRADE TO PREVENT FROST HEAVE.



SIMPSON  
LSTHD8



SIMPSON  
ABU66

HOLD DOWN SCHEDULE	
MARK	DESCRIPTION
●	SIMPSON LSTHD8 HOLD DOWN
■	SIMPSON MSTC40 HOLD DOWN
▲	SIMPSON ABU66 POST BASE



DAWE CONDOMINIUMS

FOOTING & FOUNDATION  
PLAN

DESIGNED BY:  
E.R.H.

DATE:  
NOV. 22, 2017

SHEET:

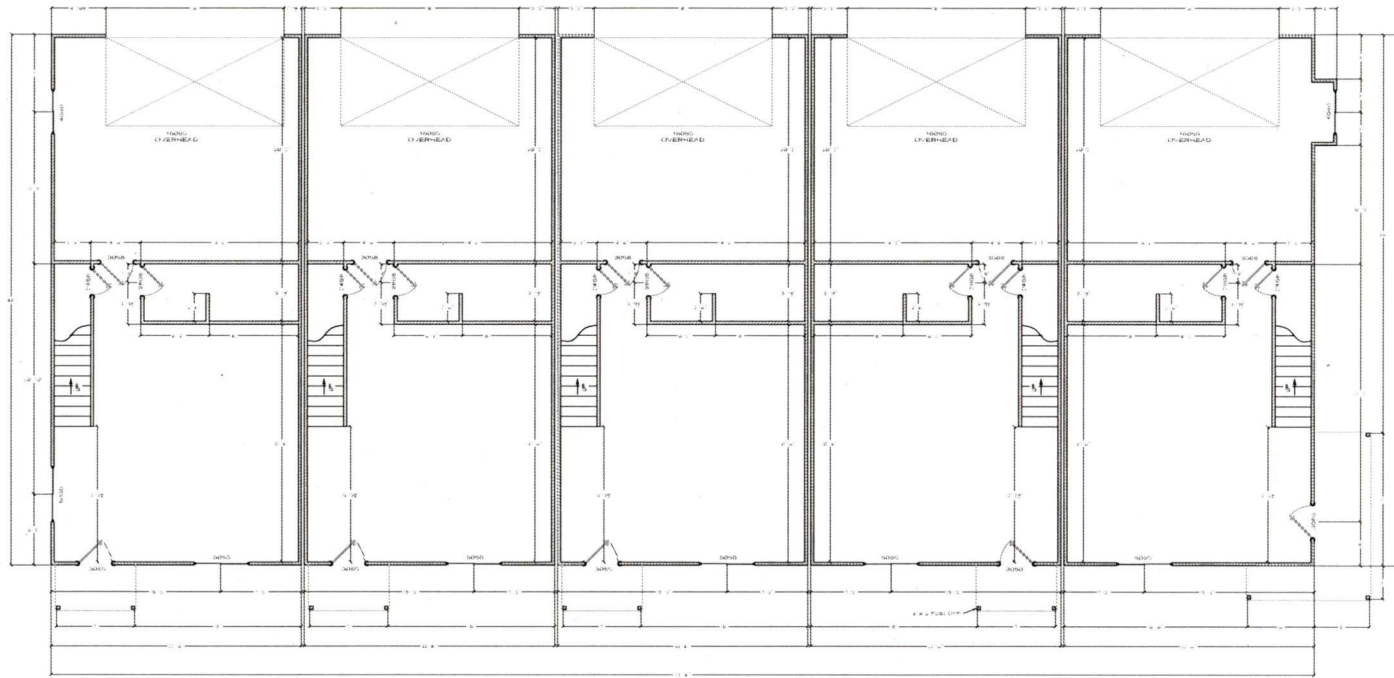
S-4



NOTES:

1. ALL FRAMING TO CONFORM TO CURRENT CITY STANDARDS AND 2012 IBC CODE STANDARDS.
2. ALL FRAMING MATERIALS TO CONSIST OF NEW, UNUSED MATERIALS.
3. CONSULT WITH HOME OWNER TO VERIFY ALL EXTERIOR WALL FINISH MATERIALS.
4. THE HINGE SIDE OF ALL DOORS TO HAVE A MINIMUM OF 6" BETWEEN THE FRAMED OPENING AND THE NEAREST PERPENDICULAR WALL.

SEE S-1 AND S-2 FOR ALL HEADERS & BEAMS



MAIN FLOOR FRAMING PLAN

SCALE 1/4" = 1' (24" X 36")



DAWE CONDOMINIUMS

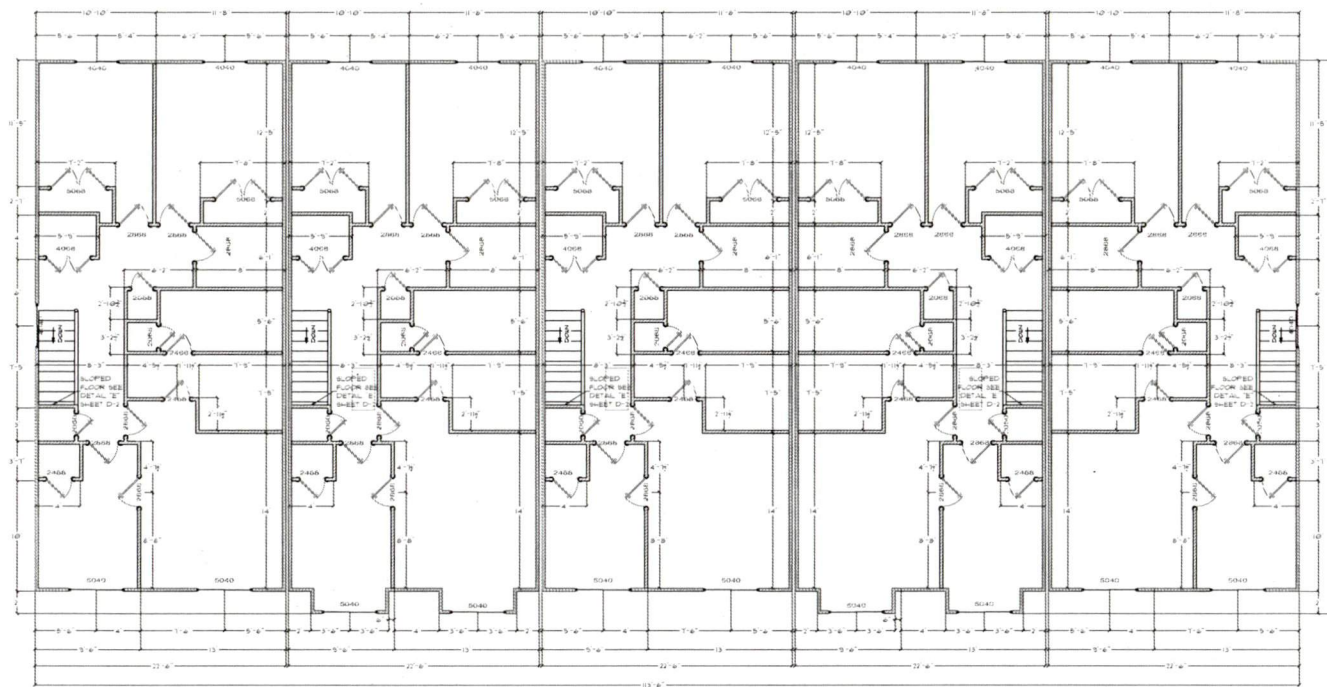
MAIN FLOOR FRAMING PLAN

DESIGNED BY:  
E.R.H.  
DATE:  
NOV. 22, 2011  
SHEET:

S-5

- NOTES:
1. ALL FRAMING TO CONFORM TO CURRENT CITY STANDARDS AND 2012 IBC CODE STANDARDS.
  2. ALL FRAMING MATERIALS TO CONSIST OF NEW, UNUSED MATERIALS.
  3. CONSULT WITH HOME OWNER TO VERIFY ALL EXTERIOR WALL FINISH MATERIALS.
  4. THE HINGE SIDE OF ALL DOORS TO HAVE A MINIMUM OF 6" BETWEEN THE FRAMED OPENING AND THE NEAREST PERPENDICULAR WALL.

SEE S-7 AND S-8 FOR ALL HEADERS & BEAMS



**2ND FLOOR FRAMING PLAN**  
SCALE 1/4" = 1' (24" X 36")



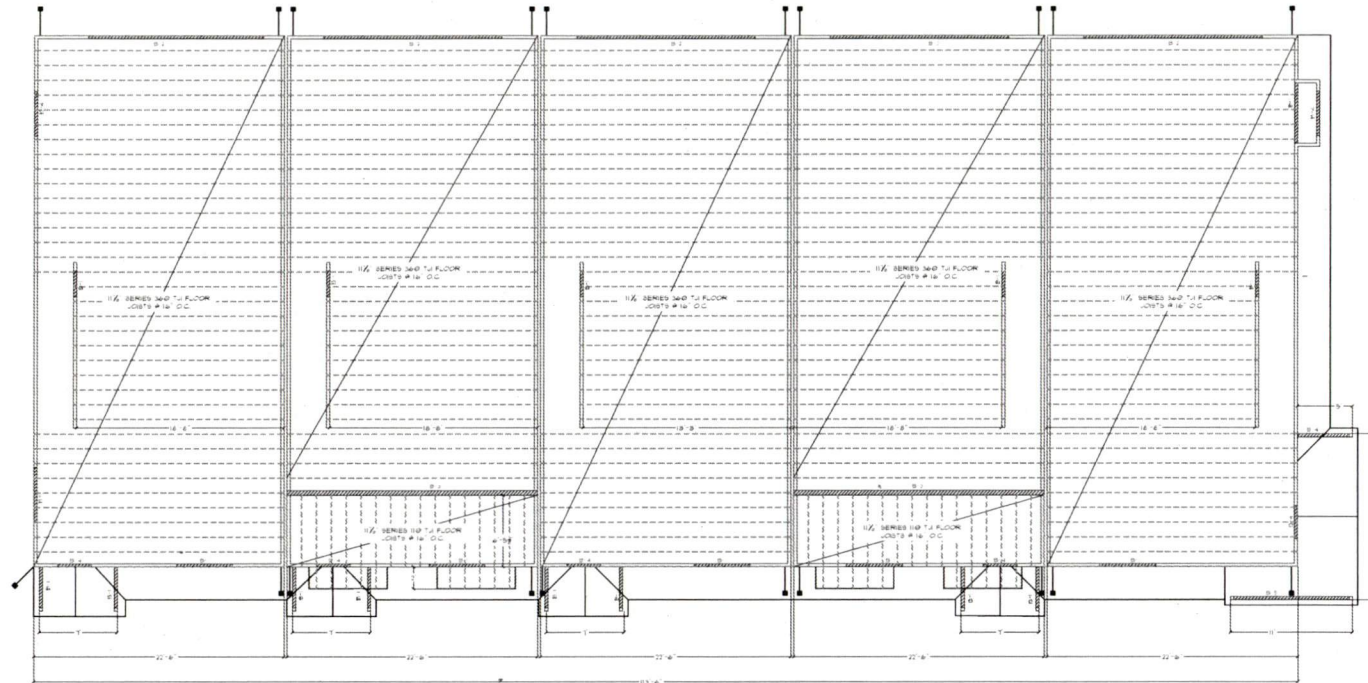
DAWE CONDOMINIUMS

2ND FLOOR FRAMING PLAN

DRAWN BY: E.M.H.  
DATE: NOV. 22, 2011  
SHEET:

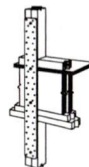
S-6





FLOORING PLAN  
SCALE 1/4" = 1' (24" x 36")

HOLD DOWN SCHEDULE	
MARK	DESCRIPTION
●	SIMPSON L8THD8 HOLD DOWN
■	SIMPSON M5TC40 HOLD DOWN
◀	SIMPSON ABU66 POST BASE



SIMPSON  
M5TC40

BEAM SCHEDULE	
MARK	DESCRIPTION
B-1	(2) 1 1/2" x 7 1/4" MICROLAM LVL
B-2	(2) 1 1/2" x 11 1/2" MICROLAM LVL
B-3	(3) 1 1/2" x 11 1/2" MICROLAM LVL
B-4	(2) 2 x 10 DF-L
B-5	(2) 1 1/2" x 9 1/4" MICROLAM LVL



DAWE CONDOMINIUMS

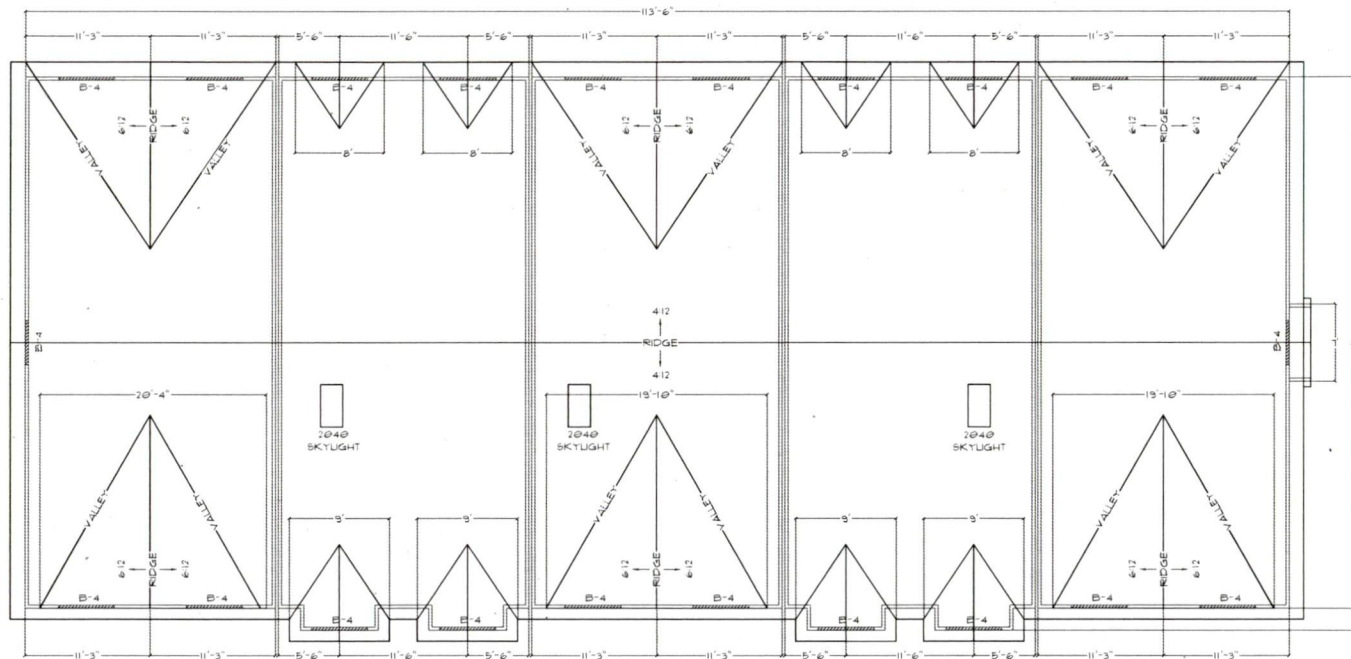
FLOORING PLAN

DRAWN BY:  
E.R.H.  
DATE:  
NOV. 22, 2007  
SHEET:

6-1

**NOTES:**

1. PLACE SIMPSON H-1 BRACKET ON BOTH ENDS OF EACH ROOF TRUSS.
2. ALL ROOF TRUSSES AND FLOOR TRUSSES ARE TO BE PRE-ENGINEERED AND MANUFACTURED BY A REPUTABLE TRUSS MANUFACTURER.
3. ALL EAVES ARE 16" FROM EDGE OF FRAMING.



**ROOFING PLAN**  
SCALE 1/4" = 1' (24" x 36")

**BEAM SCHEDULE**

MARK	DESCRIPTION
B-1	(2) 1 1/4" x 7 1/4" MICROLAM LVL
B-2	(2) 1 1/4" x 11 1/8" MICROLAM LVL
B-3	(3) 1 1/4" x 11 1/8" MICROLAM LVL
B-4	(2) 2 x 10 DF-L
B-5	(2) 1 1/4" x 9 1/4" MICROLAM LVL



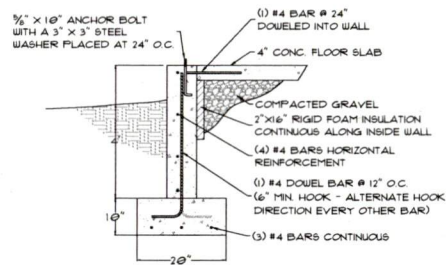
DAWE CONDOMINIUMS

ROOFING PLAN

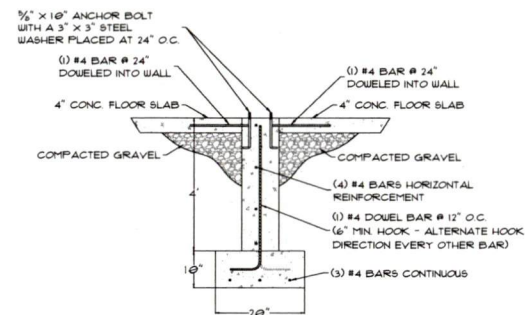
DESIGNED BY:  
E.R.H.  
DATE:  
NOV. 22, 2011  
SHEET:

5-8

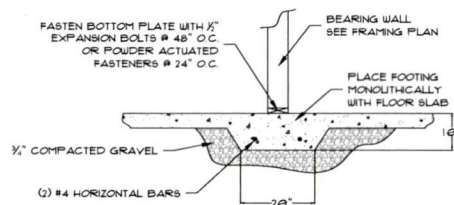




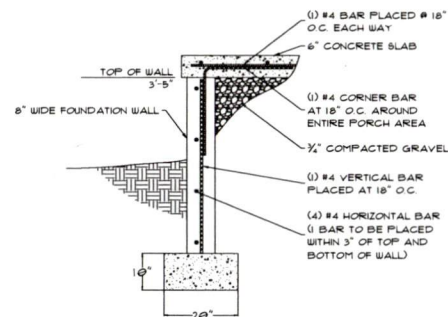
**A** EXTERIOR 8" CONC. FOUNDATION  
NOT TO SCALE



**B** INTERIOR 10" CONC. FOUNDATION  
NOT TO SCALE



**C** INTERIOR FOUNDATION  
NOT TO SCALE



**D** EXTERIOR 8" PORCH FOUNDATION  
NOT TO SCALE

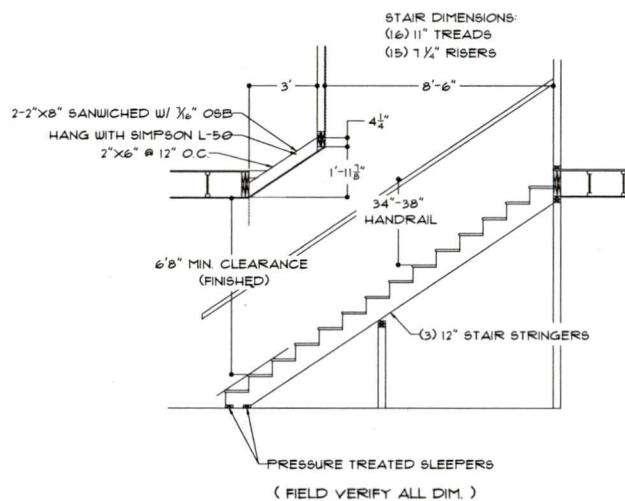


DAWE CONDOMINIUMS

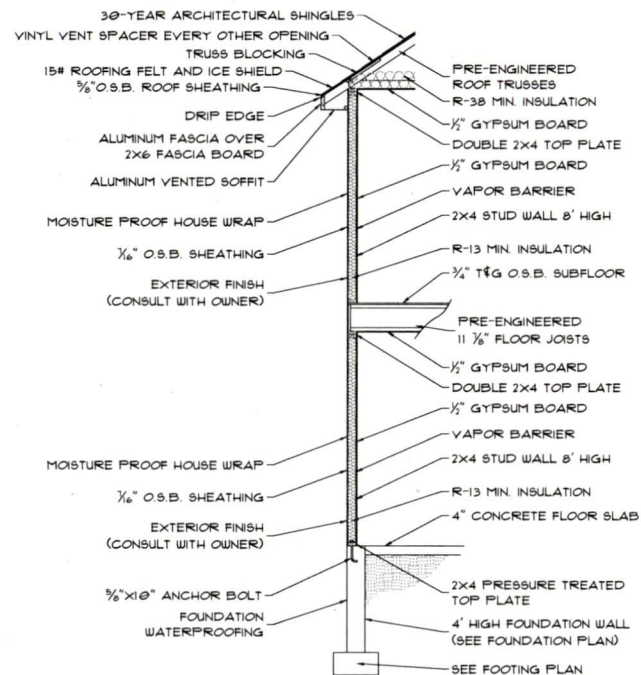
DETAILS

DRAWN BY:  
E.R. 11  
DATE:  
NOV. 22, 2011  
SHEET:

D-1



**E** STAIR DETAIL  
NOT TO SCALE



**F** TYPICAL WALL SECTION  
NOT TO SCALE



DAWE CONDOMINIUMS

DETAILS

DRAWN BY:  
E.R.H.  
DATE:  
NOV. 22, 2011  
SHEET:

D-2



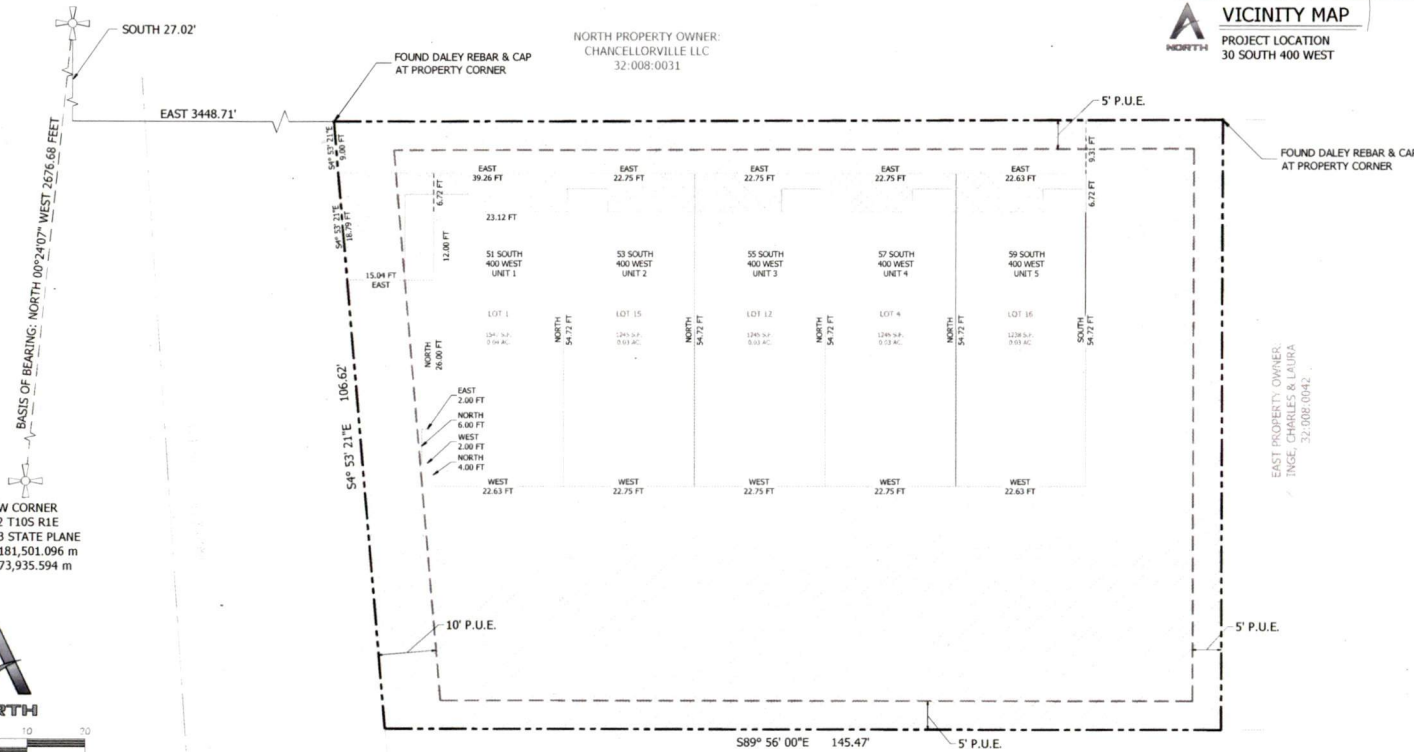
# DAWE CONDOMINIUMS

SANTAQUIN, UTAH COUNTY, UTAH

WEST 1/4 CORNER  
S2 T10S R1E  
NAD83 STATE PLANE  
N=2,182,316.658 m  
E=473,929.874 m

NORTH PROPERTY OWNER:  
CHANCELLORVILLE LLC  
32-008-0031

VICINITY MAP  
PROJECT LOCATION  
30 SOUTH 400 WEST



SOUTH PROPERTY OWNER:  
MARTINEZ, LONNIE & LINDA  
32-008-0028

## NOTES:

1. ALL COMMON AREAS ARE PUBLIC UTILITY EASEMENTS.
2. ALL PARKING SPACES ARE FOR RESIDENTS AND GUESTS OF RESIDENTS.
3. ALL COMMON AREAS ARE TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION.

## LEGEND

- PROPERTY LINE
- SECTION LINE
- LIMITED COMMON AREA
- PRIVATE LANDSCAPE AREA
- PRIVATE AREA

**APEX**  
Engineering, Inc.  
823 NORTH 700 EAST, SPANISH FORK, UT 84660  
801-861-6242

## SURVEYOR'S CERTIFICATE

I, CORY L. SQUIRE, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD A LICENSE IN ACCORDANCE WITH RULE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS, LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 585006. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS HAVE COMPILED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-11, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 34-8A-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

SURVEYOR'S SIGNATURE

DATE

## BOUNDARY DESCRIPTION

BEGINNING AT A POINT ON THE EAST LINE OF 400 WEST STREET, SANTAQUIN, UTAH SAID POINT BEING SOUTH 27.50 FEET AND EAST 3448.71 FEET, ACCORDING TO UTAH CONDOMINIUM BEHAVIOR-CENTRAL ZONE FROM THE WEST QUARTER CORNER OF SECTION 2, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE UTM MERIDIAN, THENCE SOUTH 53°21'E EAST 106.62 FEET ALONG THE SAID EAST LINE OF 400 WEST STREET, THENCE SOUTH 89°56'00"E EAST 145.47 FEET, THENCE NORTH 53°21'E EAST 106.62 FEET, THENCE SOUTH 27°50'45"E WEST 3448.71 FEET TO THE POINT OF BEGINNING, CONTAINING 0.37 OF AN ACRE MORE OR LESS.

## OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT I, THE UNDERSIGNED (OWNERS) OF THE HEREIN DESCRIBED TRACT OF LAND, HEREBY SET APART AND SUBDIVIDE THE SAME INTO LOTS AND STREETS AS SHOWN ON THIS PLAT AND NAME SAID PLAT SUBDIVISION NAME, AND DO HEREBY DEDICATE, GRANT AND CONVEY TO SANTAQUIN CITY, UTAH, AND THOSE PARTS OR PORTIONS OF SAID TRACT OF LAND DESIGNATED AS STREETS, THE SAME TO BE USED AS PUBLIC, INDIVIDUALLY OR JOINTLY, (1) THOSE CERTAIN PUBLIC UTILITY AND DRAINAGE EASEMENTS AS SHOWN HEREON, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITY SERVICE LINES AND DRAINAGE; AND (2) THOSE PARCELS DESIGNATED AS PUBLIC OPEN SPACE, PARKS, TRAIL OR EASEMENTS, OR OF SIMILAR DESIGNATION, IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS.

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2017  
SIGN \_\_\_\_\_ PRIVATE  
SIGN \_\_\_\_\_ PRIVATE

## RESERVATION OF COMMON AREAS

THE OWNERS, IN RECORDING THIS CONDOMINIUM PLAT OF DAWE CONDOMINIUMS, A UTAH CONDOMINIUM PROJECT, HAS DESIGNATED CERTAIN AREAS OF LAND AS PRIVATE, LIMITED COMMON, AND COMMON AREAS, INTENDED FOR THE USE BY THE CONDOMINIUM OWNERS IN DAWE CONDOMINIUMS FOR PLEASURE, RECREATION AND OTHER RELATED ACTIVITIES. THE DESIGNATED AREAS ARE NOT DESIGNATED HEREBY FOR THE USE BY THE GENERAL PUBLIC BUT ARE RESERVED FOR THE COMMON USE AND ENJOYMENT OF THE CONDOMINIUM OWNERS IN DAWE CONDOMINIUMS. THIS DECLARATION OF CONDOMINIUM, CONDITIONS AND RESERVATION HAS HEREBY INCORPORATED AND MADE A PART OF THIS CONDOMINIUM PLAT AND BECOMES EFFECTIVE UPON THE DATE THAT THIS CONDOMINIUM PLAT IS RECORDED IN THE OFFICIAL RECORDS OF UTAH COUNTY, UTAH.

## UTILITY DEDICATION

THE OWNERS OF THE PARCEL OF LAND, WHICH IS SHOWN UPON THIS CONDOMINIUM PLAT OF DAWE CONDOMINIUMS A UTAH CONDOMINIUM PROJECT, DOES CONSENT TO THE PREPARATION AND RECORDATION OF THIS CONDOMINIUM PLAT, DO HEREBY OFFER AND CONVEY TO SANTAQUIN CITY, ALL PUBLIC UTILITY EASEMENTS AND OTHER RELATED ACTIVITIES. THE DESIGNATED AREAS ARE NOT DESIGNATED HEREBY FOR THE USE BY THE GENERAL PUBLIC BUT ARE RESERVED FOR THE COMMON USE AND ENJOYMENT OF THE CONDOMINIUM OWNERS IN DAWE CONDOMINIUMS. THIS DECLARATION OF CONDOMINIUM, CONDITIONS AND RESERVATION HAS HEREBY INCORPORATED AND MADE A PART OF THIS CONDOMINIUM PLAT AND BECOMES EFFECTIVE UPON THE DATE THAT THIS CONDOMINIUM PLAT IS RECORDED IN THE OFFICIAL RECORDS OF UTAH COUNTY, UTAH.

## ACKNOWLEDGMENT

STATE OF UTAH §  
COUNTY OF UTAH  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2017, PERSONALLY APPEARED  
BEFORE ME, THE SIGNERS OF THE FOREGOING OWNERS DEDICATION WHO DULY ACKNOWLEDGED TO ME THAT THEY DID EXECUTE THE SAME.  
MY COMMISSION EXPIRES: \_\_\_\_\_  
A NOTARY PUBLIC COMMISSIONED IN UTAH (SEE SEAL BELOW) PROVIDED FULL NAME OF NOTARY

## ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN CITY, COUNTY OF UTAH APPROVES THIS SUBDIVISION, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND, INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2017.

APPROVED: \_\_\_\_\_ DATE \_\_\_\_\_  
CITY COUNCIL MEMBER \_\_\_\_\_ DATE \_\_\_\_\_  
CITY COUNCIL MEMBER \_\_\_\_\_ DATE \_\_\_\_\_  
CITY COUNCIL MEMBER \_\_\_\_\_ DATE \_\_\_\_\_  
CITY COUNCIL MEMBER \_\_\_\_\_ DATE \_\_\_\_\_  
CITY ATTORNEY'S SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
CITY ENGINEER'S SIGNATURE (SEE SEAL BELOW) \_\_\_\_\_ DATE \_\_\_\_\_  
CITY RECORDS SIGNATURE (SEE SEAL BELOW) \_\_\_\_\_ DATE \_\_\_\_\_  
COUNTY RECORDS SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

## DAWE CONDOMINIUMS A CONDOMINIUM PROJECT

CITY RECORDER SEAL NOTARY PUBLIC SEAL ENGINEER SEAL SURVEYOR SEAL

PROFESSIONAL LAND SURVEYOR  
No. 5561206  
CORY L. SQUIRE  
STATE OF UTAH

## ROCKY MOUNTAIN POWER COMPANY APPROVAL

1. PURSUANT TO UTAH CODE ANN. § 34-21-21 THIS PLAT CONSENTS TO THE OWNERSHIP OF OPERATIONS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND INTERESTS THEREIN.
2. PURSUANT TO UTAH CODE ANN. § 34-21-21 (B) (2) (B) (3) (C) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100) (101) (102) (103) (104) (105) (106) (107) (108) (109) (110) (111) (112) (113) (114) (115) (116) (117) (118) (119) (120) (121) (122) (123) (124) (125) (126) (127) (128) (129) (130) (131) (132) (133) (134) (135) (136) (137) (138) (139) (140) (141) (142) (143) (144) (145) (146) (147) (148) (149) (150) (151) (152) (153) (154) (155) (156) (157) (158) (159) (160) (161) (162) (163) (164) (165) (166) (167) (168) (169) (170) (171) (172) (173) (174) (175) (176) (177) (178) (179) (180) (181) (182) (183) (184) (185) (186) (187) (188) (189) (190) (191) (192) (193) (194) (195) (196) (197) (198) (199) (200) (201) (202) (203) (204) (205) (206) (207) (208) (209) (210) (211) (212) (213) (214) (215) (216) (217) (218) (219) (220) (221) (222) (223) (224) (225) (226) (227) (228) (229) (230) (231) (232) (233) (234) (235) (236) (237) (238) (239) (240) (241) (242) (243) (244) (245) (246) (247) (248) (249) (250) (251) (252) (253) (254) (255) (256) (257) (258) (259) (260) (261) (262) (263) (264) (265) (266) (267) (268) (269) (270) (271) (272) (273) (274) (275) (276) (277) (278) (279) (280) (281) (282) (283) (284) (285) (286) (287) (288) (289) (290) (291) (292) (293) (294) (295) (296) (297) (298) (299) (300) (301) (302) (303) (304) (305) (306) (307) (308) (309) (310) (311) (312) (313) (314) (315) (316) (317) (318) (319) (320) (321) (322) (323) (324) (325) (326) (327) (328) (329) (330) (331) (332) (333) (334) (335) (336) (337) (338) (339) (340) (341) (342) (343) (344) (345) (346) (347) (348) (349) (350) (351) (352) (353) (354) (355) (356) (357) (358) (359) (360) (361) (362) (363) (364) (365) (366) (367) (368) (369) (370) (371) (372) (373) (374) (375) (376) (377) (378) (379) (380) (381) (382) (383) (384) (385) (386) (387) (388) (389) (390) (391) (392) (393) (394) (395) (396) (397) (398) (399) (400) (401) (402) (403) (404) (405) (406) (407) (408) (409) (410) (411) (412) (413) (414) (415) (416) (417) (418) (419) (420) (421) (422) (423) (424) (425) (426) (427) (428) (429) (430) (431) (432) (433) (434) (435) (436) (437) (438) (439) (440) (441) (442) (443) (444) (445) (446) (447) (448) (449) (450) (451) (452) (453) (454) (455) (456) (457) (458) (459) (460) (461) (462) (463) (464) (465) (466) (467) (468) (469) (470) (471) (472) (473) (474) (475) (476) (477) (478) (479) (480) (481) (482) (483) (484) (485) (486) (487) (488) (489) (490) (491) (492) (493) (494) (495) (496) (497) (498) (499) (500) (501) (502) (503) (504) (505) (506) (507) (508) (509) (510) (511) (512) (513) (514) (515) (516) (517) (518) (519) (520) (521) (522) (523) (524) (525) (526) (527) (528) (529) (530) (531) (532) (533) (534) (535) (536) (537) (538) (539) (540) (541) (542) (543) (544) (545) (546) (547) (548) (549) (550) (551) (552) (553) (554) (555) (556) (557) (558) (559) (560) (561) (562) (563) (564) (565) (566) (567) (568) (569) (570) (571) (572) (573) (574) (575) (576) (577) (578) (579) (580) (581) (582) (583) (584) (585) (586) (587) (588) (589) (590) (591) (592) (593) (594) (595) (596) (597) (598) (599) (600) (601) (602) (603) (604) (605) (606) (607) (608) (609) (610) (611) (612) (613) (614) (615) (616) (617) (618) (619) (620) (621) (622) (623) (624) (625) (626) (627) (628) (629) (630) (631) (632) (633) (634) (635) (636) (637) (638) (639) (640) (641) (642) (643) (644) (645) (646) (647) (648) (649) (650) (651) (652) (653) (654) (655) (656) (657) (658) (659) (660) (661) (662) (663) (664) (665) (666) (667) (668) (669) (670) (671) (672) (673) (674) (675) (676) (677) (678) (679) (680) (681) (682) (683) (684) (685) (686) (687) (688) (689) (690) (691) (692) (693) (694) (695) (696) (697) (698) (699) (700) (701) (702) (703) (704) (705) (706) (707) (708) (709) (710) (711) (712) (713) (714) (715) (716) (717) (718) (719) (720) (721) (722) (723) (724) (725) (726) (727) (728) (729) (730) (731) (732) (733) (734) (735) (736) (737) (738) (739) (740) (741) (742) (743) (744) (745) (746) (747) (748) (749) (750) (751) (752) (753) (754) (755) (756) (757) (758) (759) (760) (761) (762) (763) (764) (765) (766) (767) (768) (769) (770) (771) (772) (773) (774) (775) (776) (777) (778) (779) (780) (781) (782) (783) (784) (785) (786) (787) (788) (789) (790) (791) (792) (793) (794) (795) (796) (797) (798) (799) (800) (801) (802) (803) (804) (805) (806) (807) (808) (809) (810) (811) (812) (813) (814) (815) (816) (817) (818) (819) (820) (821) (822) (823) (824) (825) (826) (827) (828) (829) (830) (831) (832) (833) (834) (835) (836) (837) (838) (839) (840) (841) (842) (843) (844) (845) (846) (847) (848) (849) (850) (851) (852) (853) (854) (855) (856) (857) (858) (859) (860) (861) (862) (863) (864) (865) (866) (867) (868) (869) (870) (871) (872) (873) (874) (875) (876) (877) (878) (879) (880) (881) (882) (883) (884) (885) (886) (887) (888) (889) (890) (891) (892) (893) (894) (895) (896) (897) (898) (899) (900) (901) (902) (903) (904) (905) (906) (907) (908) (909) (910) (911) (912) (913) (914) (915) (916) (917) (918) (919) (920) (921) (922) (923) (924) (925) (926) (927) (928) (929) (930) (931) (932) (933) (934) (935) (936) (937) (938) (939) (940) (941) (942) (943) (944) (945) (946) (947) (948) (949) (950) (951) (952) (953) (954) (955) (956) (957) (958) (959) (960) (961) (962) (963) (964) (965) (966) (967) (968) (969) (970) (971) (972) (973) (974) (975) (976) (977) (978) (979) (980) (981) (982) (983) (984) (985) (986) (987) (988) (989) (990) (991) (992) (993) (994) (995) (996) (997) (998) (999) (1000) (1001) (1002) (1003) (1004) (1005) (1006) (1007) (1008) (1009) (1010) (1011) (1012) (1013) (1014) (1015) (1016) (1017) (1018) (1019) (1020) (1021) (1022) (1023) (1024) (1025) (1026) (1027) (1028) (1029) (1030) (1031) (1032) (1033) (1034) (1035) (1036) (1037) (1038) (1039) (1040) (1041) (1042) (1043) (1044) (1045) (1046) (1047) (1048) (1049) (1050) (1051) (1052) (1053) (1054) (1055) (1056) (1057) (1058) (1059) (1060) (1061) (1062) (1063) (1064) (1065) (1066) (1067) (1068) (1069) (1070) (1071) (1072) (1073) (1074) (1075) (1076) (1077) (1078) (1079) (1080) (1081) (1082) (1083) (1084) (1085) (1086) (1087) (1088) (1089) (1090) (1091) (1092) (1093) (1094) (1095) (1096) (1097) (1098) (1099) (1100) (1101) (1102) (1103) (1104) (1105) (1106) (1107) (1108) (1109) (1110) (1111) (1112) (1113) (1114) (1115) (1116) (1117) (1118) (1119) (1120) (1121) (1122) (1123) (1124) (1125) (1126) (1127) (1128) (1129) (1130) (1131) (1132) (1133) (1134) (1135) (1136) (1137) (1138) (1139) (1140) (1141) (1142) (1143) (1144) (1145) (1146) (1147) (1148) (1149) (1150) (1151) (1152) (1153) (1154) (1155) (1156) (1157) (1158) (1159) (1160) (1161) (1162) (1163) (1164) (1165) (1166) (1167) (1168) (1169) (1170) (1171) (1172) (1173) (1174) (1175) (1176) (1177) (1178) (1179) (1180) (1181) (1182) (1183) (1184) (1185) (1186) (1187) (1188) (1189) (1190) (1191) (1192) (1193) (1194) (1195) (1196) (1197) (1198) (1199) (1200) (1201) (1202) (1203) (1204) (1205) (1206) (1207) (1208) (1209) (1210) (1211) (1212) (1213) (1214) (1215) (1216) (1217) (1218) (1219) (1220) (1221) (1222) (1223) (1224) (1225) (1226) (1227) (1228) (1229) (1230) (1231) (1232) (1233) (1234) (1235) (1236) (1237) (1238) (1239) (1240) (1241) (1242) (1243) (1244) (1245) (1246) (1247) (1248) (1249) (1250) (1251) (1252) (1253) (1254) (1255) (1256) (1257) (1258) (1259) (1260) (1261) (1262) (1263) (1264) (1265) (1266) (1267) (1268) (1269) (1270) (1271) (1272) (1273) (1274) (1275) (1276) (1277) (1278) (1279) (1280) (1281) (1282) (1283) (1284) (1285) (1286) (1287) (1288) (1289) (1290) (1291) (1292) (1293) (1294) (1295) (1296) (1297) (1298) (1299) (1300) (1301) (1302) (1303) (1304) (1305) (1306) (1307) (1308) (1309) (1310) (1311) (1312) (1313) (1314) (1315) (1316) (1317) (1318) (1319) (1320) (1321) (1322) (1323) (1324) (1325) (1326) (1327) (1328) (1329) (1330) (1331) (1332) (1333) (1334) (1335) (1336) (1337) (1338) (1339) (1340) (1341) (1342) (1343) (1344) (1345) (1346) (1347) (1348) (1349) (1350) (1351) (1352) (1353) (1354) (1355) (1356) (1357) (1358) (1359) (1360) (1361) (1362) (1363) (1364) (1365) (1366) (1367) (1368) (1369) (1370) (1371) (1372) (1373) (1374) (1375) (1376) (1377) (1378) (1379) (1380) (1381) (1382) (1383) (1384) (1385) (1386) (1387) (1388) (1389) (1390) (1391) (1392) (1393) (1394) (1395) (1396) (1397) (1398) (1399) (1400) (1401) (1402) (1403) (1404) (1405) (1406) (1407) (1408) (1409) (1410) (1411) (1412) (1413) (1414) (1415) (1416) (1417) (1418) (1419) (1420) (1421) (1422) (1423) (1424) (1425) (1426) (1427) (1428) (1429) (1430) (1431) (1432) (1433) (1434) (1435) (1436) (1437) (1438) (1439) (1440) (1441) (1442) (1443) (1444) (1445) (1446) (1447) (1448) (1449) (1450) (1451) (1452) (1453) (1454) (1455) (1456) (1457) (1458) (1459) (1460) (1461) (1462) (1463) (1464) (1465) (1466) (1467) (1468) (1469) (1470) (1471) (1472) (1473) (1474) (1475) (1476) (1477) (1478) (1479) (1480) (1481) (1482) (1483) (1484) (1485) (1486) (1487) (1488) (1489) (1490) (1491) (1492) (1493) (1494) (1495) (1496) (1497) (1498) (1499) (1500) (1501) (1502) (1503) (1504) (1505) (1506) (1507) (1508) (1509) (1510) (1511) (1512) (1513) (1514) (1515) (1516) (1517) (1518) (1519) (1520) (1521) (1522) (1523) (1524) (1525) (1526) (1527) (1528) (1529) (1530) (1531) (1532) (1533) (1534) (1535) (1536) (1537) (1538) (1539) (1540) (1541) (1542) (1543) (1544) (1545) (1546) (1547) (1548) (1549) (1550) (1551) (1552) (1553) (1554) (1555) (1556) (1557) (1558) (1559) (1560) (1561) (1562) (1563) (1564) (1565) (1566) (1567) (1568) (1569) (1570) (1571) (1572) (1573) (1574) (1575) (1576) (1577) (1578) (1579) (1580) (1581) (1582) (1583) (1584) (1585) (1586) (1587) (1588) (1589) (1590) (1591) (1592) (1593) (1594) (1595) (1596) (1597) (1598) (1599) (1600) (1601) (1602) (1603) (1604) (1605) (1606) (1607) (1608) (1609) (1610) (1611) (1612) (1613) (1614) (1615) (1616) (1617) (1618) (1619) (1620) (1621) (1622) (1623) (1624) (1625) (1626) (1627) (162

# DAWE CONDOMINIUMS

30 SOUTH 400 WEST

SANTAQUIN, UTAH



## DRAWING INDEX:

SHEET S-1 - COVER SHEET  
SHEET S-2 - ELEVATIONS  
SHEET S-3 - FLOOR AND ELECTRICAL PLAN  
SHEET S-4 - FOOTING & FOUNDATION PLAN  
SHEET S-5 - FRAMING PLAN  
SHEET S-6 - FLOOR JOIST LAYOUT  
SHEET S-7 - ROOF TRUSS PLAN  
SHEET D-1 - DETAILS  
SHEET D-2 - DETAILS

## SQUARE FOOTAGES:

### UNIT 1:

MAIN FLOOR LIVING -  
2ND FLOOR LIVING -  
GARAGE -

620 S.F.  
1080 S.F.  
460 S.F.

### UNIT 2:

MAIN FLOOR LIVING -  
2ND FLOOR LIVING -  
GARAGE -

620 S.F.  
1080 S.F.  
460 S.F.

### UNIT 3:

MAIN FLOOR LIVING -  
2ND FLOOR LIVING -  
GARAGE -

620 S.F.  
1080 S.F.  
460 S.F.

### UNIT 4:

MAIN FLOOR LIVING -  
2ND FLOOR LIVING -  
GARAGE -

620 S.F.  
1080 S.F.  
460 S.F.

### UNIT 5:

MAIN FLOOR LIVING -  
2ND FLOOR LIVING -  
GARAGE -

620 S.F.  
1080 S.F.  
472 S.F.

TOTAL MAIN FLOOR LIVING -  
TOTAL 2ND FLOOR LIVING -  
TOTAL GARAGE SPACE -

3100 S.F.  
5456 S.F.  
2312 S.F.



DAWE CONDOMINIUMS

COVER SHEET

DRAWN BY:  
E R H  
DATE:  
NOV 22, 2011  
SHEET:

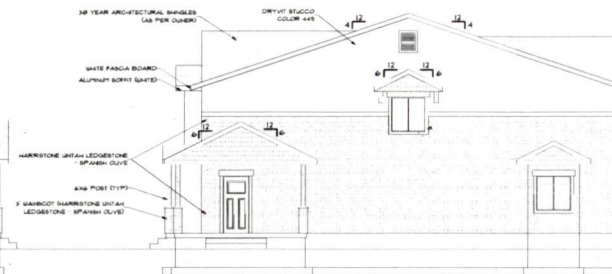
S-1





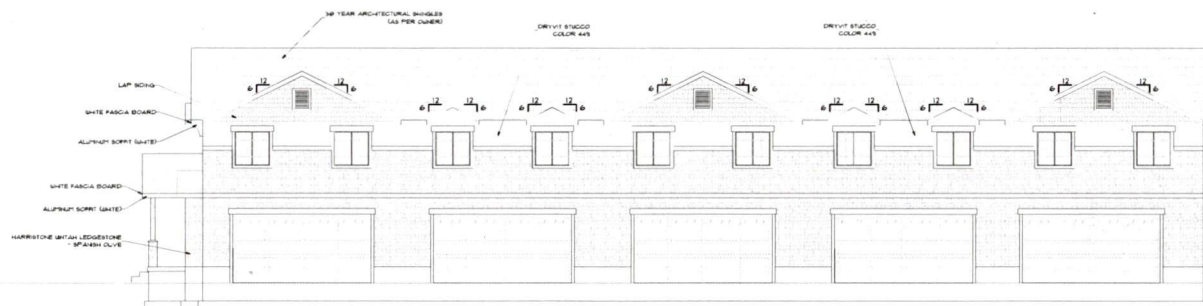
**FRONT ELEVATION (NORTH)**

SCALE: NOT TO SCALE



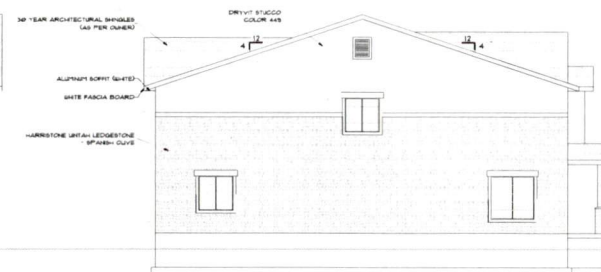
**RIGHT ELEVATION (WEST)**

SCALE: NOT TO SCALE



**REAR ELEVATION (SOUTH)**

SCALE: NOT TO SCALE



**LEFT ELEVATION (EAST)**

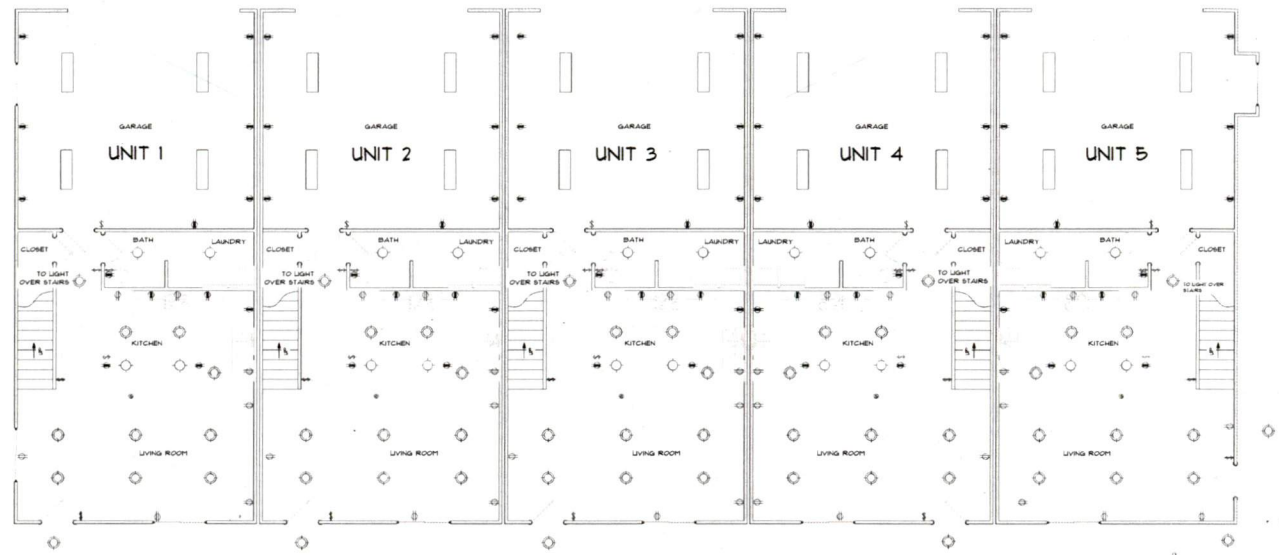
SCALE: NOT TO SCALE

**NOTES:**

1. ALL EXTERIOR FINISHES, ROOFING MATERIALS, WINDOWS, DOORS, ETC. ARE TO BE APPROVED BY THE OWNER.

**NOTES:**

1. ALL KITCHEN COUNTER, BATHROOM, EXTERIOR AND GARAGE OUTLETS ARE TO BE GROUND FAULT CIRCUIT INTERRUPTER PROTECTED (GFCI).
2. ALL FIXTURES AND SWITCHES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY, CONSULT WITH HOME OWNER AFTER HANGING GANG BOXES AND PRIOR TO RUNNING ELECTRICAL WIRING.
3. ALL FLOOR COVERINGS, FINISH CARPENTRY, CABINETRY, INTERIOR WALL COVERINGS, LIGHT FIXTURES, ETC., ARE TO BE DETERMINED BY THE HOME OWNER.



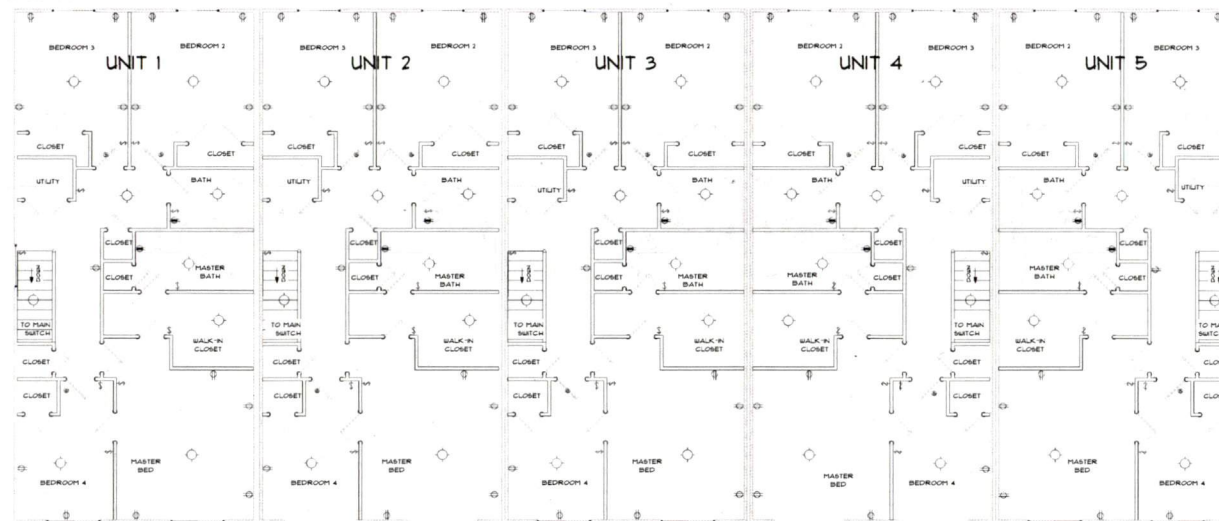
**MAIN FLOOR PLAN**

SCALE: N.T.S.

**ELECTRICAL LEGEND**

- LIGHT SWITCH (SINGLE GANG)
- LIGHT SWITCH (DOUBLE GANG)
- LIGHT SWITCH (TRIPLE GANG)
- LIGHT SWITCH (FOUR GANG)
- LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- 220 V OUTLET @ DRYER & RANGE
- 110 V OUTLET
- 110 V GFCI OUTLET  
ALL EXTERIOR, GARAGE, KITCHEN  
AND BATH AS PER CODE
- EXHAUST FAN
- SMOKE / C.O. DETECTOR WIRED IN SERIES  
W/ BATTERY BACK-UP AS PER CODE
- CEILING FAN W/ LIGHT

CONTRACTOR SHALL VERIFY ALL LOCATIONS  
W/ HOME OWNER FOR ALL PHONE, TV,  
MULTIMEDIA, AND INTERNET JACKS



**2ND FLOOR PLAN**

SCALE: N.T.S.



823 N. 200 E., Spanish Fork, UT 84403 (801) 341-5242



DAWE CONDOMINIUMS

FLOOR & ELECTRICAL  
PLAN

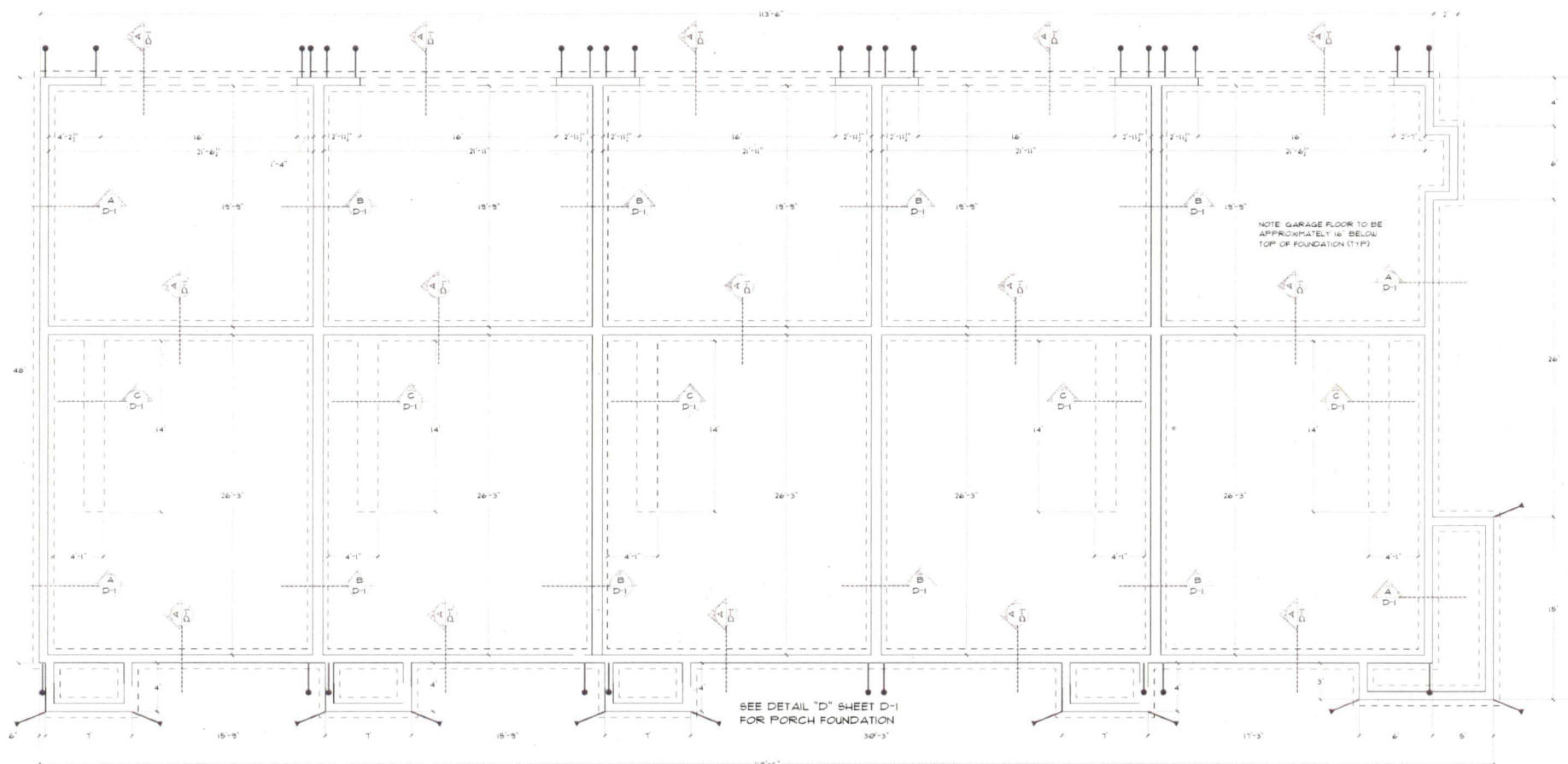
DRAWN BY:  
E.R.H.

DATE:  
NOV. 22, 2011

SHEET:

**S-3**



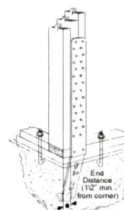


## FOOTING & FOUNDATION PLAN

SCALE:  $\frac{1}{4}" = 1'$  (24" X 36")

### NOTES:

1. FOOTING & FOUNDATION CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
2. ALL CONCRETE REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A-615 GRADE 60 (60 KSI).
3. LAP ALL HORIZONTAL STEEL A MINIMUM OF 48 BAR DIAMETERS. DO NOT SPLICE VERTICAL STEEL.
4. ALL FOOTINGS ARE TO BE PLACED A MINIMUM OF 30" BELOW FINISHED GRADE TO PREVENT FROST HEAVE.



SIMPSON  
LSTHD8



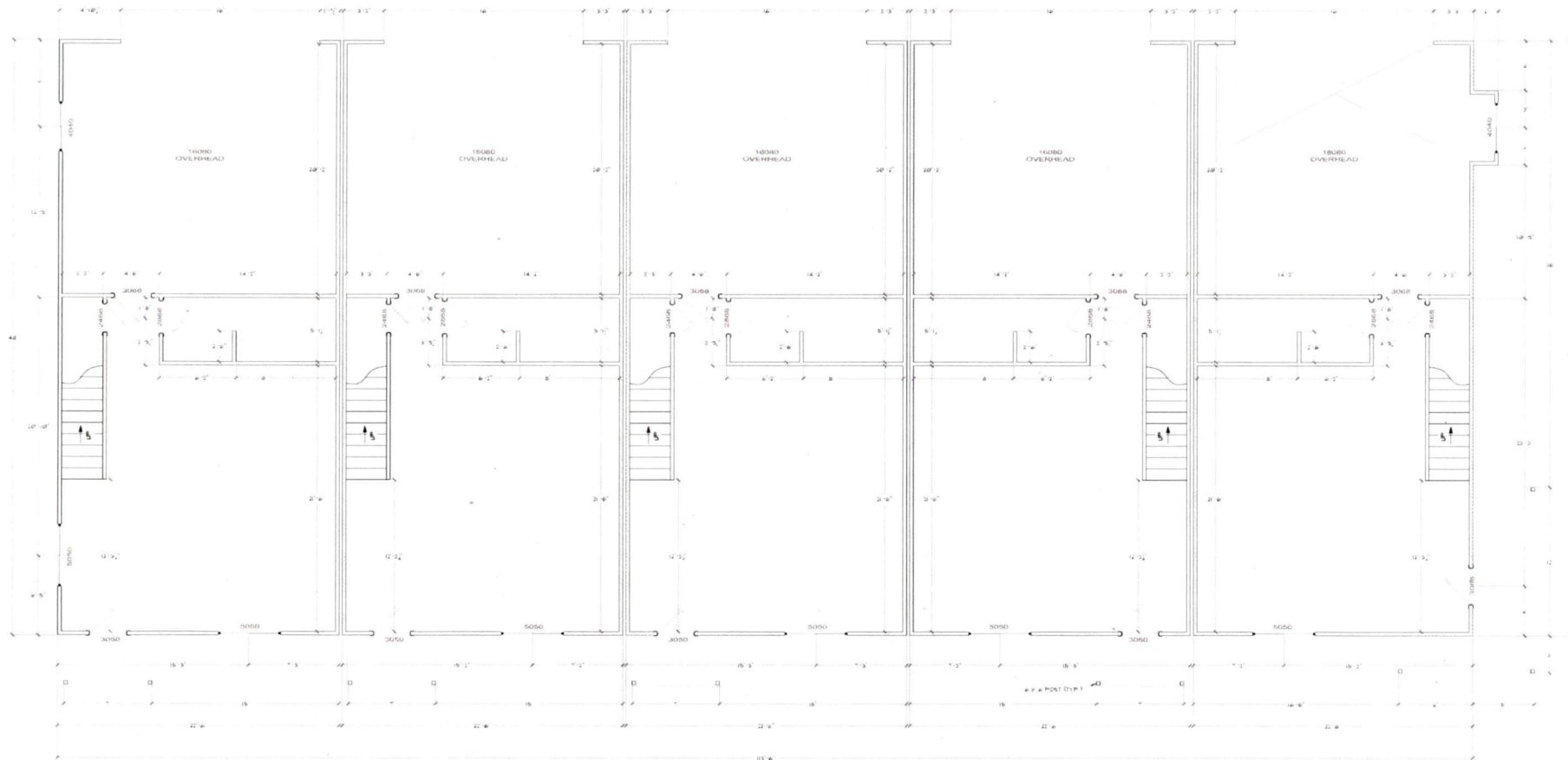
SIMPSON  
ABU66

HOLD DOWN SCHEDULE	
MARK	DESCRIPTION
●	SIMPSON LSTHD8 HOLD DOWN
■	SIMPSON MSTC40 HOLD DOWN
▲	SIMPSON ABU66 POST BASE

NOTES:

1. ALL FRAMING TO CONFORM TO CURRENT CITY STANDARDS AND 2012 IBC CODE STANDARDS.
2. ALL FRAMING MATERIALS TO CONSIST OF NEW, UNUSED MATERIALS.
3. CONSULT WITH HOME OWNER TO VERIFY ALL EXTERIOR WALL FINISH MATERIALS.
4. THE HINGE SIDE OF ALL DOORS TO HAVE A MINIMUM OF 6" BETWEEN THE FRAMED OPENING AND THE NEAREST PERPENDICULAR WALL.

SEE S-1 AND S-2 FOR ALL HEADERS & BEAMS



MAIN FLOOR FRAMING PLAN

SCALE: 1/4" = 1' (24" x 36")



823 N 700 E, Sparta, TN 37426, Tel: 615.324.1242



DAWE CONDOMINIUMS

MAIN FLOOR FRAMING PLAN

DRAWN BY:  
E.R.H.  
DATE:  
NOV. 22, 2017  
SHEET:

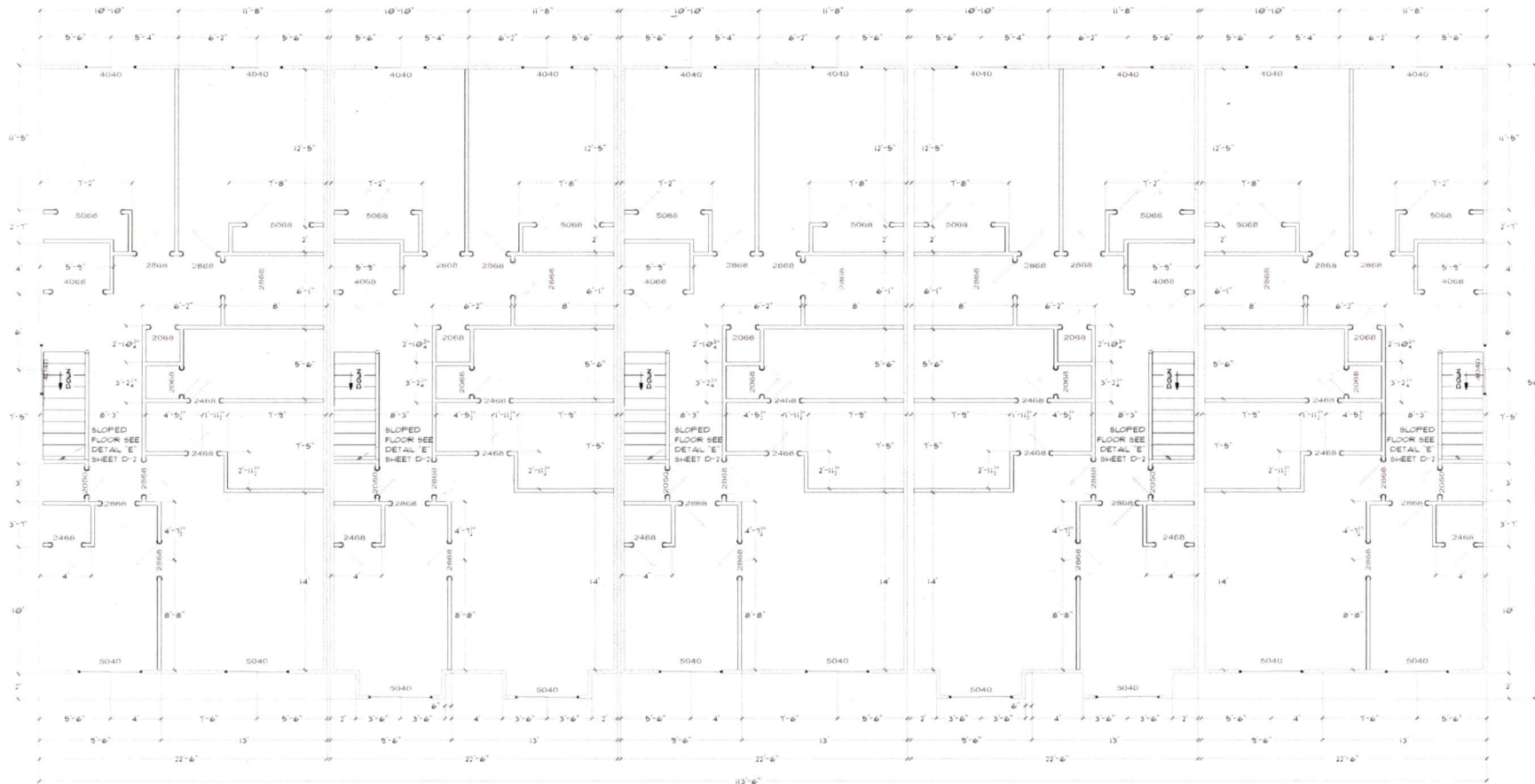
S-5



NOTES:

1. ALL FRAMING TO CONFORM TO CURRENT CITY STANDARDS AND 2012 IBC CODE STANDARDS.
2. ALL FRAMING MATERIALS TO CONSIST OF NEW, UNUSED MATERIALS.
3. CONSULT WITH HOME OWNER TO VERIFY ALL EXTERIOR WALL FINISH MATERIALS.
4. THE HINGE SIDE OF ALL DOORS TO HAVE A MINIMUM OF 6" BETWEEN THE FRAMED OPENING AND THE NEAREST PERPENDICULAR WALL.

SEE S-7 AND S-8 FOR ALL HEADERS & BEAMS



2ND FLOOR FRAMING PLAN

SCALE: 1/4" = 1' (24" X 36")



823 N 700 E, Special Fork, UT 84402 801.341.1242



DAWE CONDOMINIUMS

2ND FLOOR FRAMING PLAN

DRAWN BY:

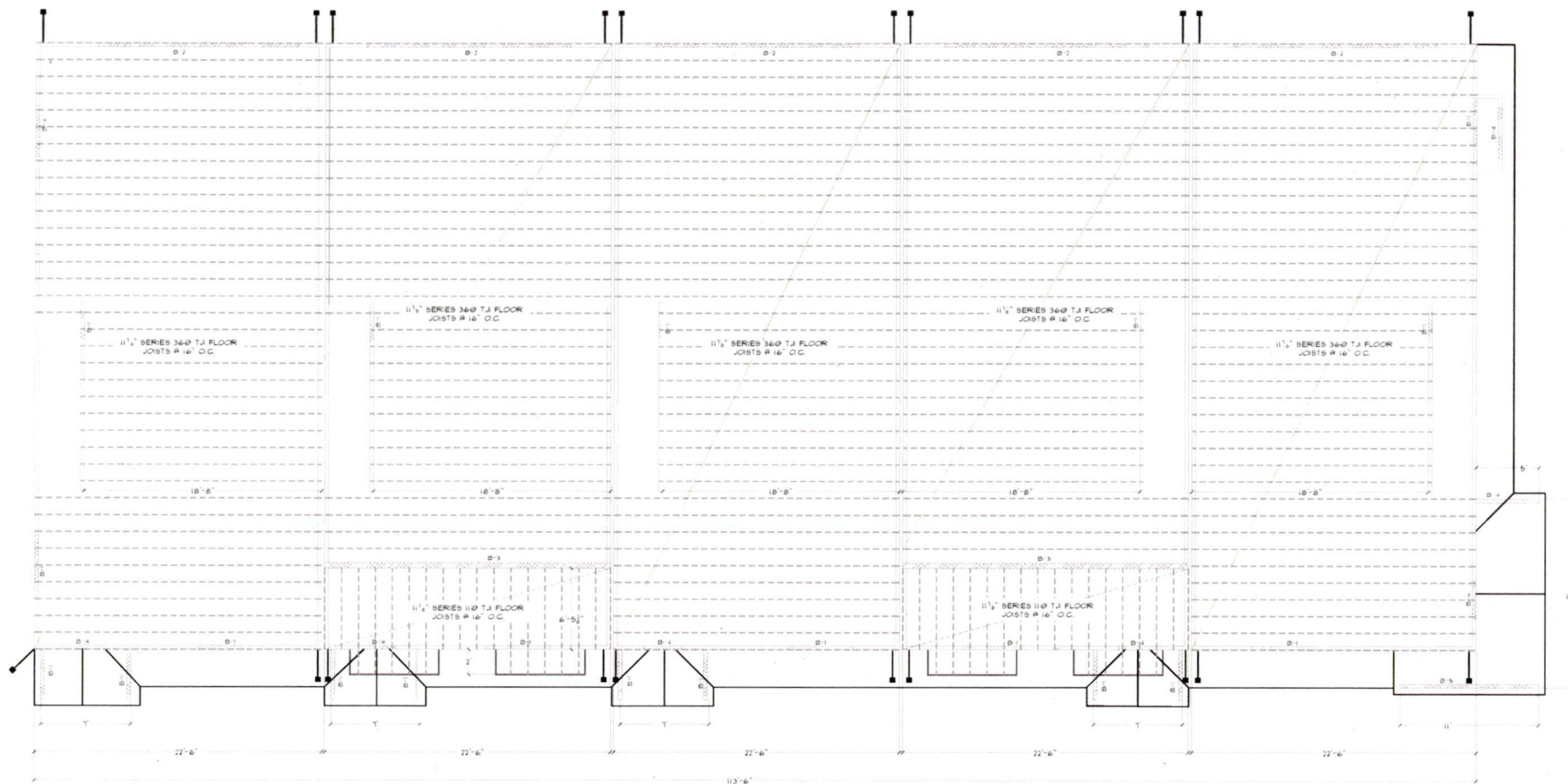
E.R.H.

DATE:

NOV. 22, 2017

SHEET:

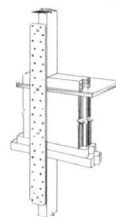
S-6



# FLOORING PLAN

SCALE: 1/4" = 1' (24" x 36")

HOLD DOWN SCHEDULE	
MARK	DESCRIPTION
—●—	SIMPSON LSTHD8 HOLD DOWN
—■—	SIMPSON MSTC40 HOLD DOWN
—◀—	SIMPSON ABU66 POST BASE



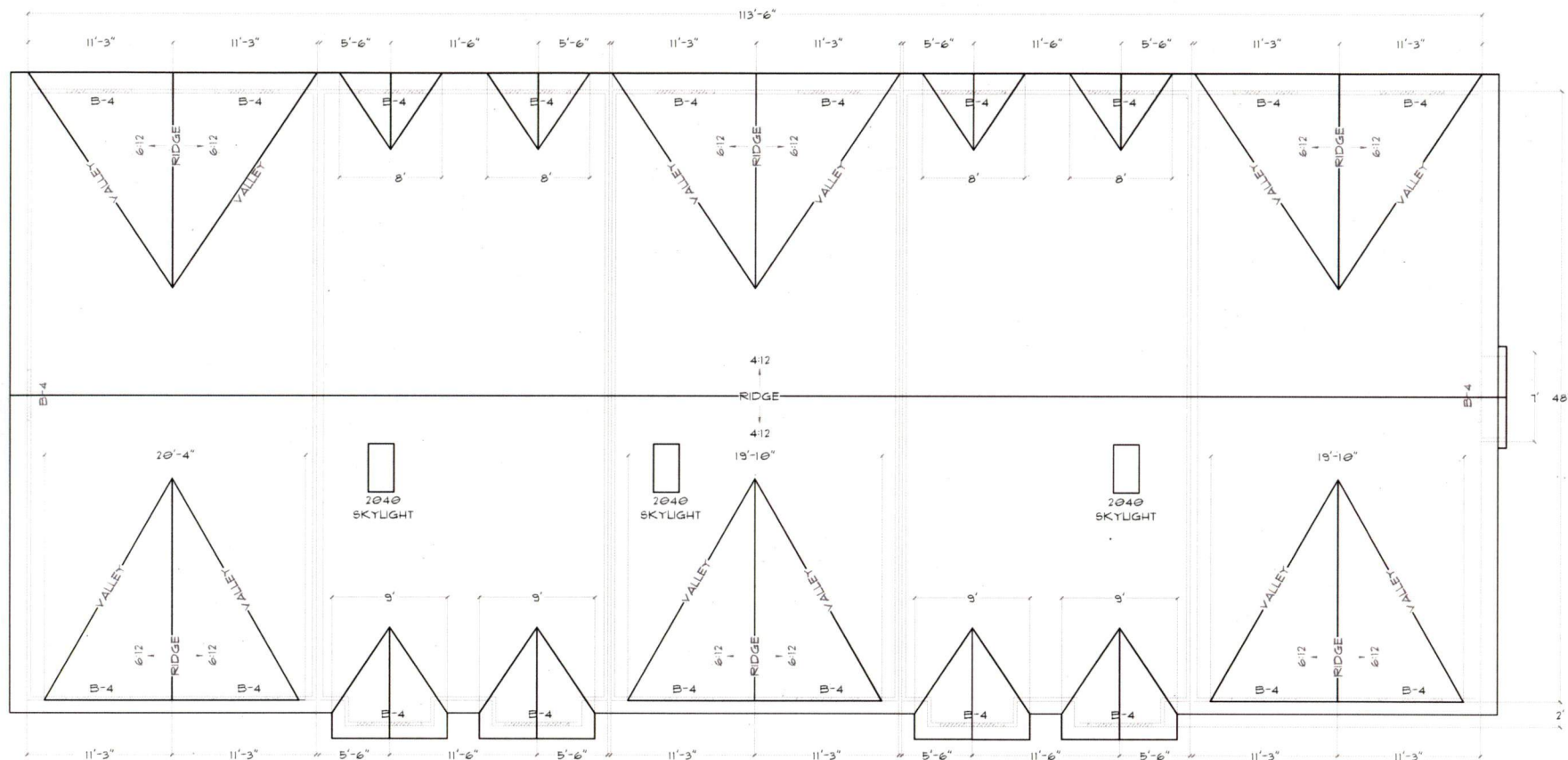
SIMPSON  
MSTC40

BEAM SCHEDULE	
MARK	DESCRIPTION
B-1	(2) 1 3/4" X 1 1/4" MICROLAM LVL
B-2	(2) 1 3/4" X 11 7/8" MICROLAM LVL
B-3	(3) 1 3/4" X 11 7/8" MICROLAM LVL
B-4	(2) 2 X 10 DF-L
B-5	(2) 1 3/4" X 9 1/4" MICROLAM LVL



**NOTES:**

1. PLACE SIMPSON H-I BRACKET ON BOTH ENDS OF EACH ROOF TRUSS.
2. ALL ROOF TRUSSES AND FLOOR TRUSSES ARE TO BE PRE-ENGINEERED AND MANUFACTURED BY A REPUTABLE TRUSS MANUFACTURER
3. ALL EAVES ARE 16" FROM EDGE OF FRAMING.

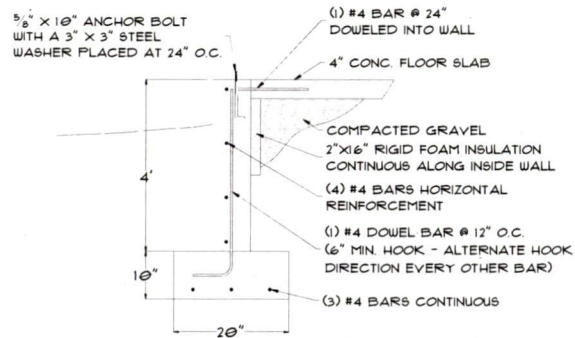


**ROOFING PLAN**

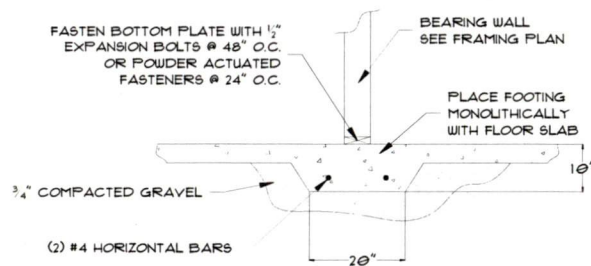
SCALE: 1/4" = 1' (24" X 36")

**BEAM SCHEDULE**

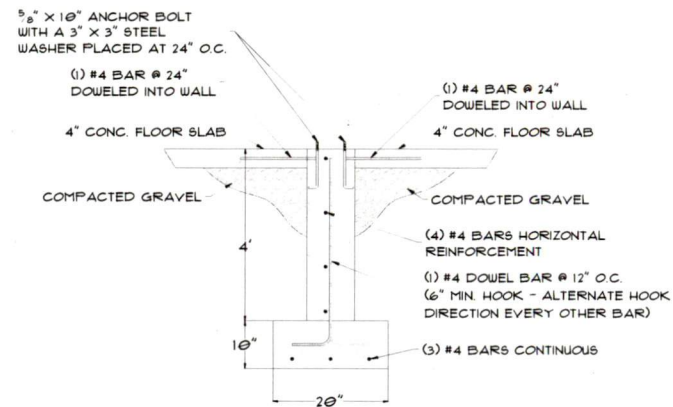
MARK	DESCRIPTION
B-1	(2) 1 3/4" X 1 1/4" MICROLAM LVL
B-2	(2) 1 3/4" X 11 7/8" MICROLAM LVL
B-3	(3) 1 3/4" X 11 7/8" MICROLAM LVL
B-4	(2) 2 X 10 DF-L
B-5	(2) 1 3/4" X 9 1/4" MICROLAM LVL



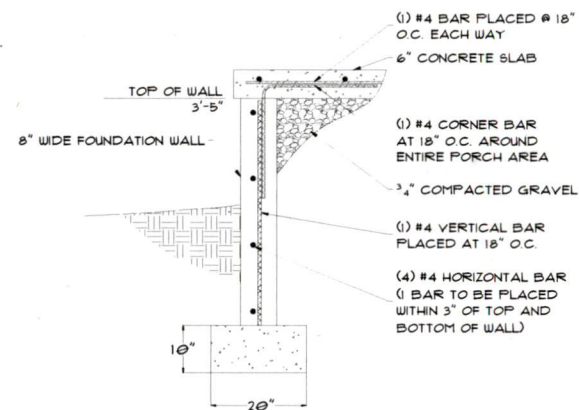
**A** EXTERIOR 8" CONC. FOUNDATION  
NOT TO SCALE



**C** INTERIOR FOUNDATION  
NOT TO SCALE

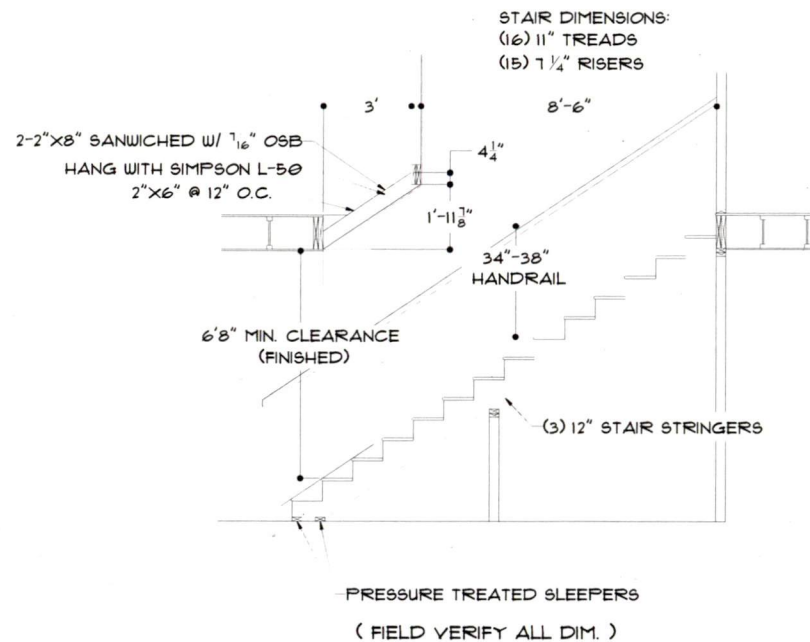


**B** INTERIOR 10" CONC. FOUNDATION  
NOT TO SCALE

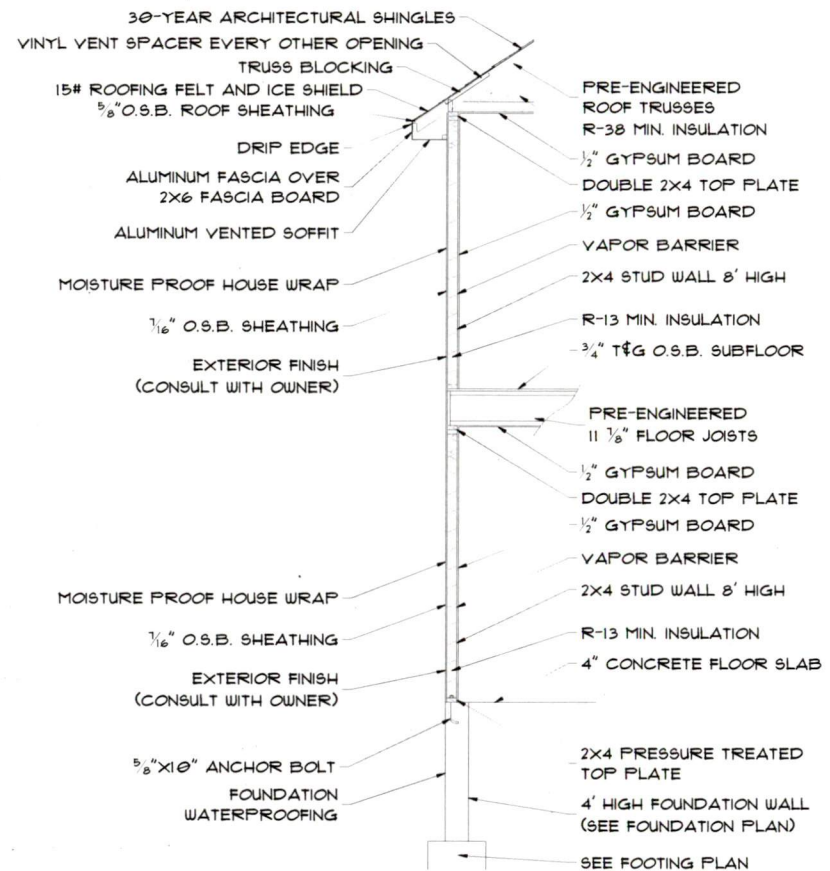


**D** EXTERIOR 8" PORCH FOUNDATION  
NOT TO SCALE





**E** STAIR DETAIL  
NOT TO SCALE



**F** TYPICAL WALL SECTION  
NOT TO SCALE



## MEMORANDUM

December 8, 2017

---

To: Mayor Hunsaker and City Council via Planning Commission  
From: Jon Lundell, EIT/Planner  
RE: Chappel Lot Line Adjustment  
848 East 400 South

Zone: R-10

---

### Background:

Mr. James Chappel is requesting approval to adjust the lot line between lots 55 and 56 in the Santaquin Ridge Subdivision. Mr. Chappel owns both parcels.

### Analysis:

The following sections outline considerations with the proposal.

1. No new dwelling lot or housing unit results from the lot line adjustment;
  - No new dwelling lot is created.
2. The adjoining property owners consent to the lot line adjustment;
  - The Zimmerman's are the owners of record for both parcels.
3. The lot line adjustment does not result in remnant land that did not previously exist;
  - No remnant parcels are created
4. The adjustment does not result in violation of applicable zoning requirements;
  - Both lots meet the required frontage of 80 feet
  - Both lots meet the minimum lot size requirement of 10,000 sq. ft.
5. The proposed adjustment does not move outside of any approved public utility easements, or an agreement with any and all affected utility agencies or entities is formed to maintain or realign the easement; and
  - The current PUE will need to be relocated.
6. The petition has been reviewed and approved by the director of community development prior to recordation with the county recorder's office, as applicable.
  - Completed

### Recommendation:

Staff recommends the City Council approve the proposed Lot Line Adjustment, based on the following findings and conditions:

Findings:

- 1) The proposed lot line adjustment satisfies the requirements within Title 11, Chapter 5 Section 11 of the Santaquin City Ordinance.

Conditions:

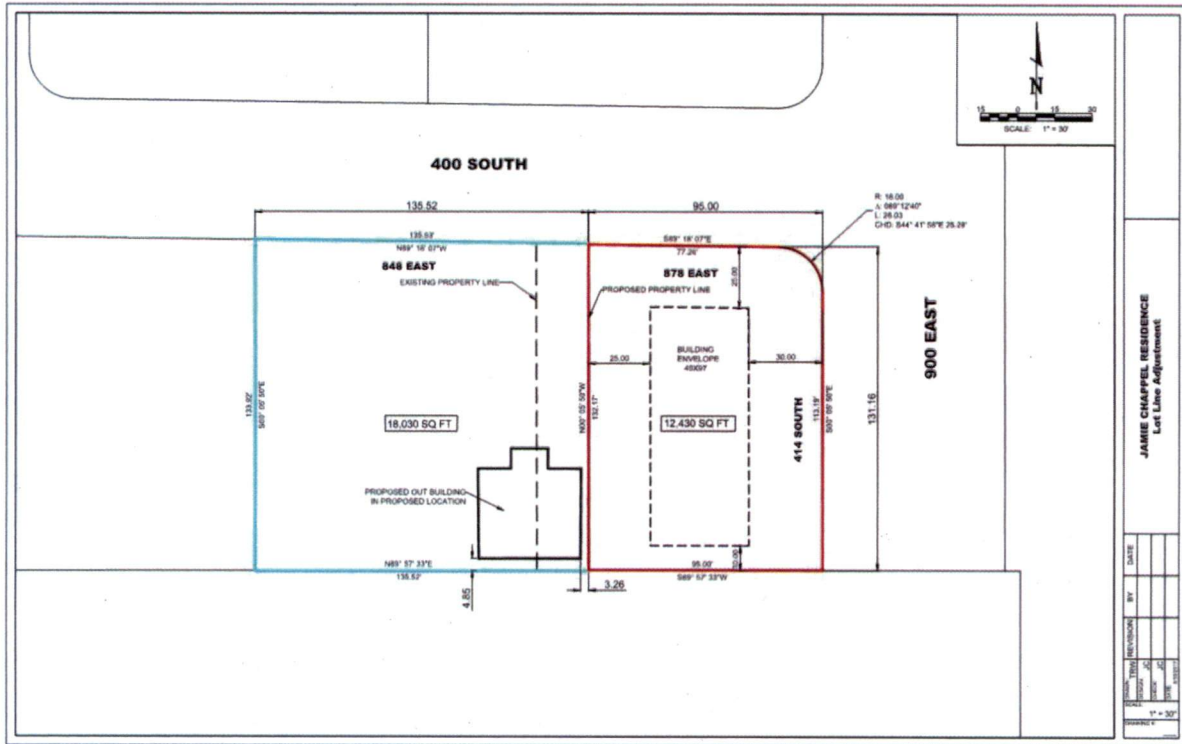
- 1) The current PUE located between lots 55 and 56 is relocated to align with the new lot line.

**Planning Commission Motion:**

Commissioner Lance motioned to forward a positive recommendation to City Council to approve the lot line adjustment for Chappel. Commissioner Wood seconded.



# Proposed Lot Lines



# Existing Plat

