



***DEVELOPMENT REVIEW COMMITTEE
MEETING NOTICE AND AGENDA***

Notice is hereby given that the Santaquin City Development Review Committee will hold a regular meeting on **Tuesday August 11, 2020 at 10:00 A.M. at 275 W. Main Street**

All Santaquin City Public Meetings Will Be Held Online Only (Temporary order - while responding to Coronavirus public gathering restrictions):

- **YouTube Live** - All Santaquin City public meetings will be shown live on the **Santaquin City YouTube Channel**, which can be found at:
https://www.youtube.com/channel/UCTzZT_yW2H2Hd-58M2_ddSw
or by searching for Santaquin City Channel on YouTube.

AGENDA

- 1. Orchard Hills II Preliminary Subdivision Review**
A **preliminary** review of a 20-unit townhome and commercial development located at approximately 120 E. and Highland Drive.
- 2. Foothill Village Plat H Final Review**
A **final** review of a 22 lot subdivision located at approximately Highland Drive and Foothill Village Boulevard.
- 3. Foothill Village Plat X Final Review**
A **final** review of a 41 lot subdivision located at approximately Highland Drive and Brubaker Way.
- 4. Foothill Village Plat Y Final Review**
A **final** review of a 10 lot subdivision located at approximately Highland Drive and Badger Way.
- 5. 200 N. 200 E. Stop Sign Request**
The DRC will review a request for a four way stop at the intersection of 200 N. and 200 E.
- 6. Approval of Minutes for Meeting Held**
July 28, 2020
- 7. Adjournment**

If you are planning to attend this public meeting and, due to a disability, need assistance in understanding or participating in the meeting, please notify the City ten (10), or more hours in advance and we will, within reason, provide what assistance may be required

CERTIFICATION OF POSTING

This agenda is hereby properly advertised this 7th day of August 2020, through posting of copies of this agenda in three public places within the city, namely the **City Office, Zions Bank, and the United States Post Office.**

Kira Petersen, Deputy Recorder

ORCHARD HILLS TOWNHOMES II

SITEPLAN

SANTAQUIN, UTAH COUNTY, UTAH

FINAL PLAN SET

AUGUST 2020

-SHEET INDEX-

SHEET	SHEET NAME
1	COVER & INDEX
2	SITE PLAN
3	GRADING PLAN
4A	DETAIL SHEET
4B	DETAIL SHEET
5	FIRE PLAN
6A	FINAL PLAT (1 OF 2)
6B	FINAL PLAT (2 OF 2)
S1	RECORD OF SURVEY (BY OTHERS)
L1	LANDSCAPING PLAN (BY OTHERS)

BOUNDARY DESCRIPTION:
COMMENCING AT A POINT WHICH LIES SOUTH 87°08'54" WEST ALONG THE SECTION LINE 1373.59 FEET & SOUTH 121.49 FEET FROM THE NORTH 1/4 CORNER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN; THENCE SOUTH 10°34'55" EAST 376.33 FEET TO THE NORTHERLY BOUNDARY OF ORCHARD HILLS TOWNHOMES; THENCE SOUTH 65°50'33" WEST 219.78 ALONG SAID BOUNDARY LINE; THENCE NORTH 10°34'47" WEST 294.71 FEET ALONG 120 EAST ROAD RIGHT-OF-WAY BOUNDARY; THENCE NORTH 47°28'27" EAST 251.75 TO THE POINT OF BEGINNING. CONTAINING 1.71 ACRES OF LAND.

OVERALL PARKING TABLE

TOTAL # UNITS=37
PARKING REQ'D=91
PARKING PROVIDED=91
GARAGE PARKING=57 (20)2-CAR (17)1-CAR
STALLS=34

DENSITY TABLE

ZONING CLASSIFICATION=RC
NUMBER OF UNITS=20
ACREAGE=1.71 ACRES
PARCEL SIZE SF=74,413
BUILDING AREA SF=23,352
PARKING LOT AREA SF=18,129
LANDSCAPE AREA IN SF=32,226
LANDSCAPE AREA BEHIND FRONT SETBACK SF=24,264

GENERAL NOTES

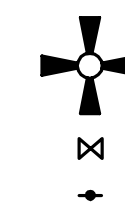
1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM THE FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. GARAGES TO BE 24'X24' WITH A 20' GARAGE DOOR TO COUNT AS 2 PARKING STALLS FOR PHASE 2.

NOTES

1. ALL UNITS TO BE ADA ADAPTABLE.
2. IF PROJECT IS TO BE SOLD AS CONDO UNITS, CONDOMINIUM PLAT, CC&R'S, AND HOA DOCS WILL BE REQUIRED TO BE APPROVED BY PLANNING COMMISSION.
3. SUBDIVISION IS LOCATED NEXT TO ACTIVE AGRICULTURE OPERATIONS.

LEGEND

LEGEND APPLIES TO ALL SHEETS



SECTION CORNER

EXISTING VALVE

EXISTING POWER POLE

PROPERTY BOUNDARY

CENTERLINE

RIGHT-OF-WAY LINE

LOT LINE

SECTION LINE

BUILDING SETBACK

EASEMENT

EXISTING DEED LINE

EDGE OF PAVEMENT

EXISTING OVER HEAD POWER

EXISTING GAS

EXISTING FENCE LINE

EXISTING DITCH

EXISTING SANITARY SEWER W/MANHOLE

PROPOSED IRRIGATION LINE

EXISTING CULINARY WATERLINE

EXISTING PRESSURIZED IRRIGATION

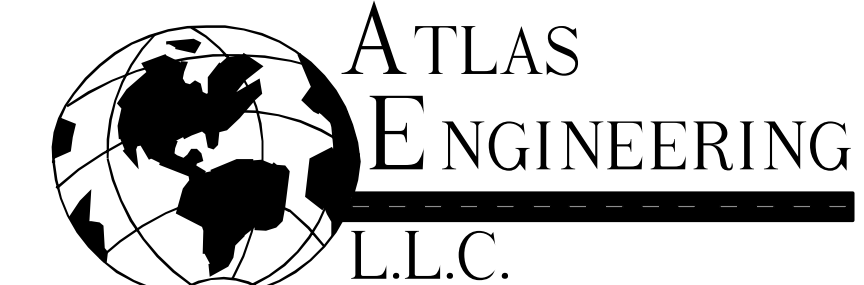
PROPOSED CULINARY WATERLINE

PROPOSED PRESSURIZED IRRIGATION

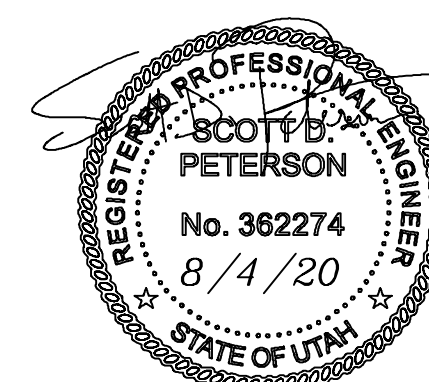
PROPOSED SEWER LINE



VICINITY MAP
-NTS-

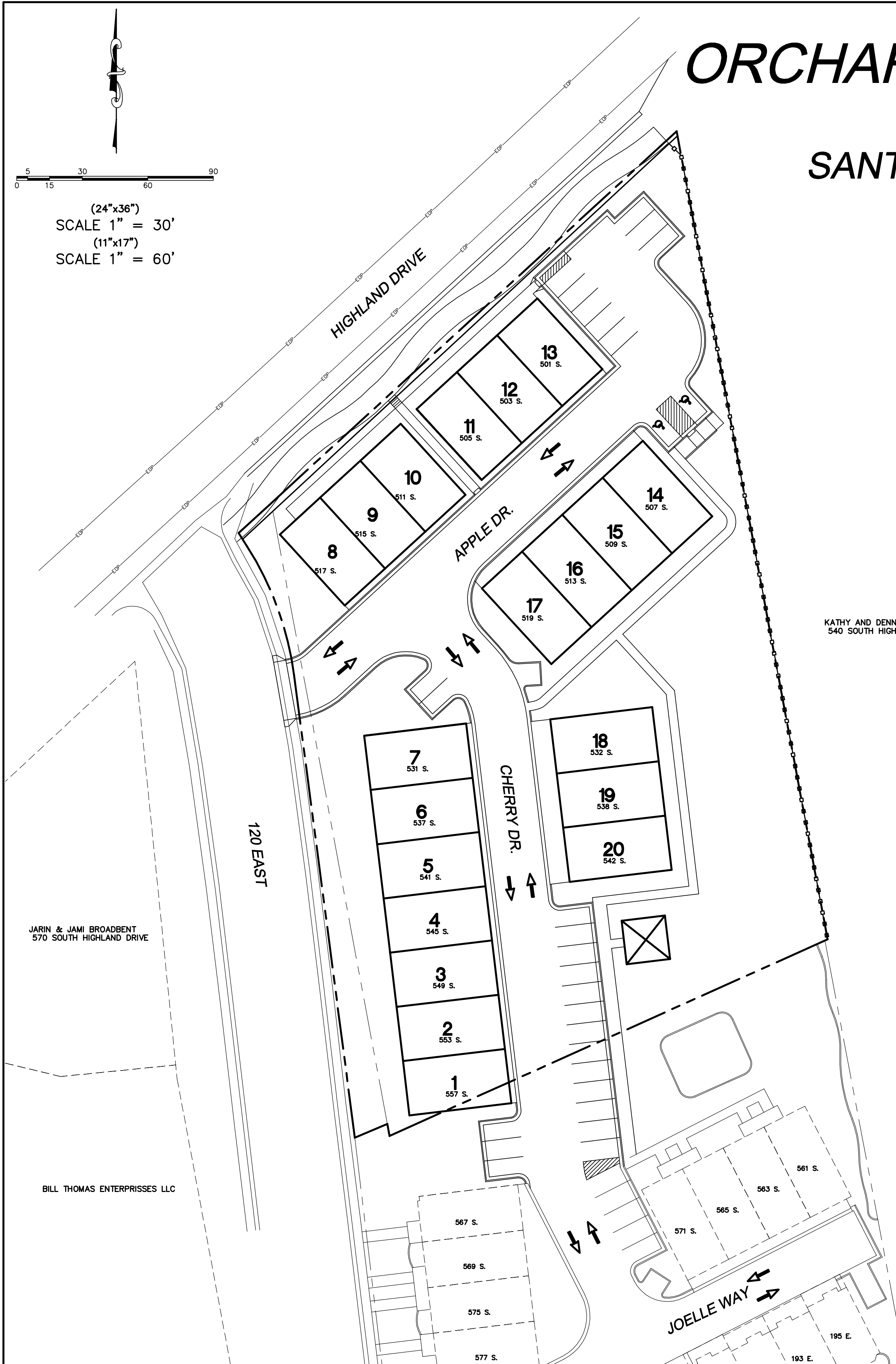


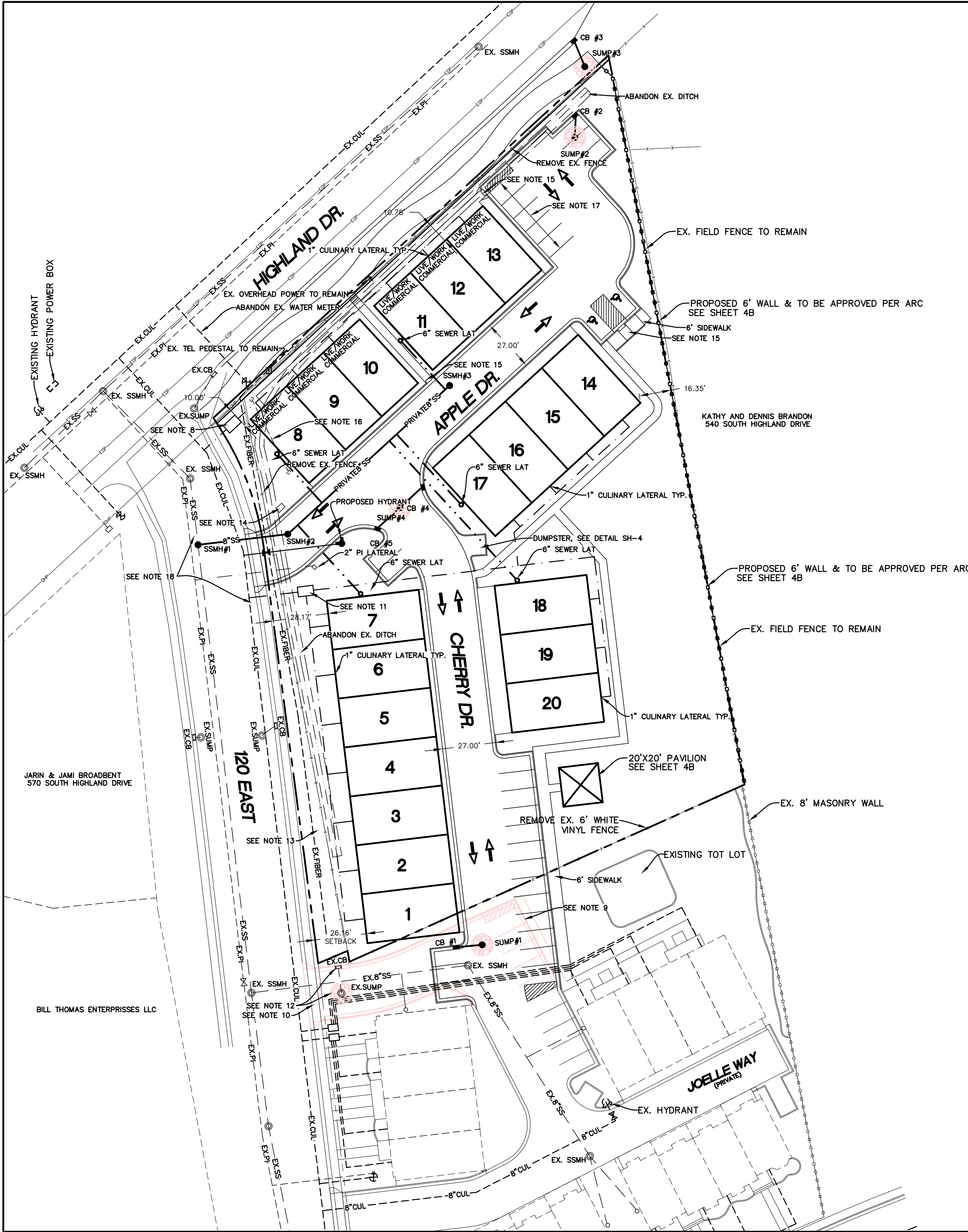
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FAX: 801-655-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660



OWNER/DEVELOPER
JOHN SMILEY
391 NORTH MAIN
SPANISH FORK, UT 84660

KATHY AND DENNIS BRANDON
540 SOUTH HIGHLAND DRIVE



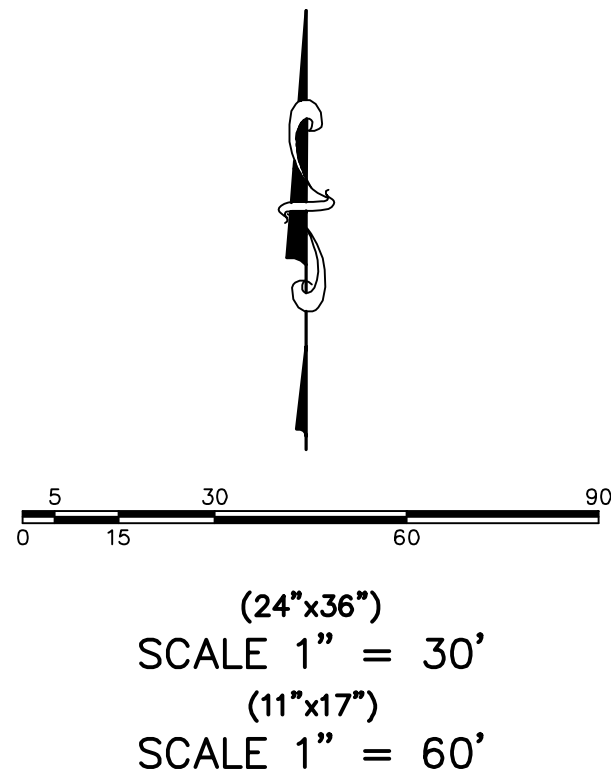


DENSITY TABLE
ZONING CLASSIFICATION=RC
NUMBER OF UNITS=20
ACREAGE=1.71 ACRES
ACREAGE TO BE DEDICATED FOR STREET ROW=706 SF (0.02 ACRES)
PARCEL SIZE SF=74,413
BUILDING AREA SF=23,352
PARKING LOT AREA SF=18,129
LANDSCAPE AREA IN SF=32,226
LANDSCAPE AREA BEHIND FRONT SETBACK SF=24,264
COMMERCIAL SF=3000 SF

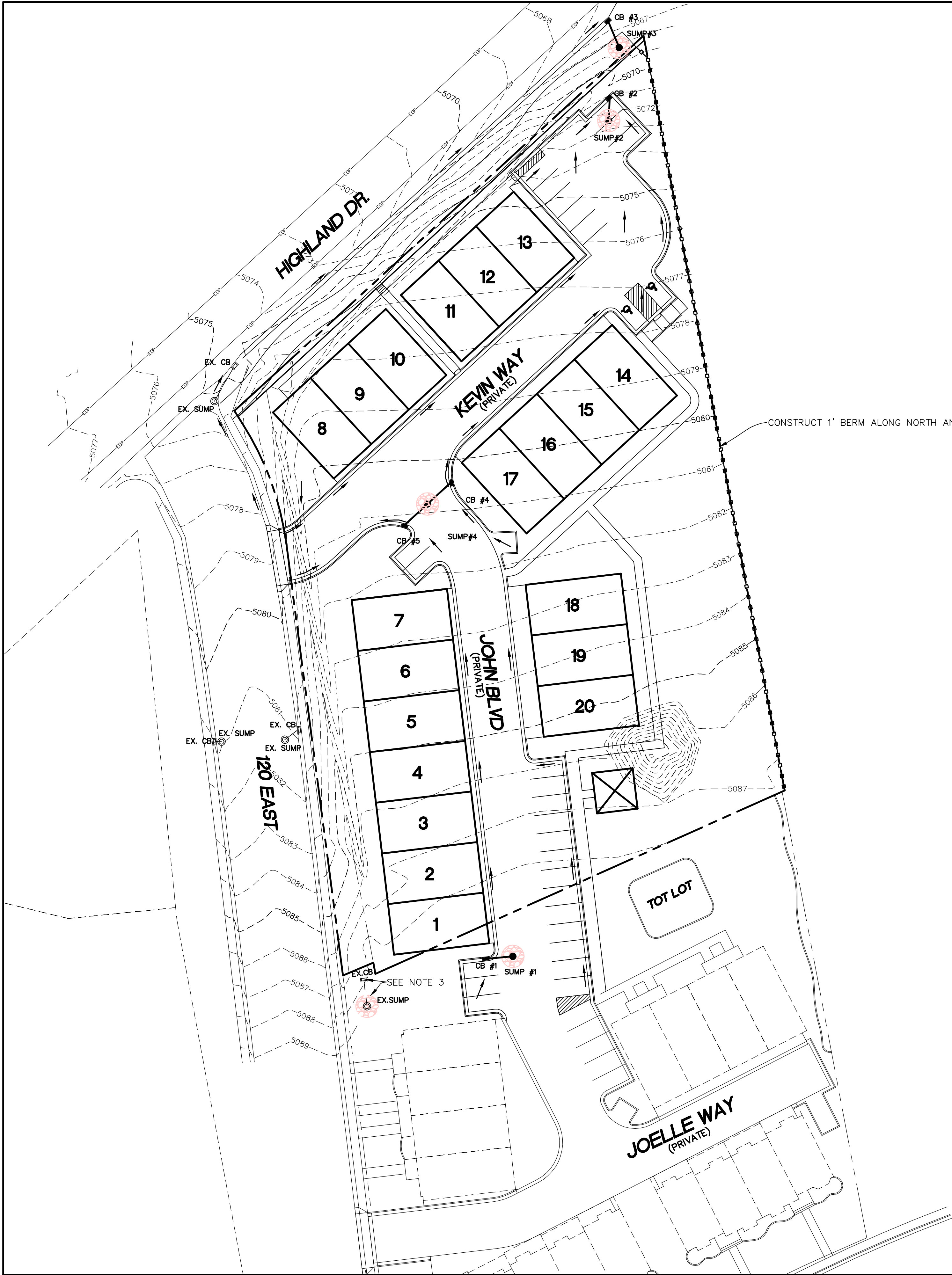
OVERALL PARKING TABLE
TOTAL # UNITS=37
PARKING REQ'D=91
PARKING PROVIDED=92
GARAGE PARKING=57 (20)2-CAR (17)1-CAR
STALLS=35

- NOTES:
1. ALL POWER TO BE INSTALLED UNDERGROUND.
 2. FIRE SPRINKLERS NOT REQUIRED. DESIGN WILL BE TOWNHOMES WITH FULL FIRE RATED SEPERATIONS (FOUNDATIONS TO ROOF) BUILT BETWEEN EACH UNIT.
 3. NO COMMON ATTIC SPACES.
 4. HOA WILL BE REQUIRED IF PROJECT IS NOT WHOLLY OWNED BY A SINGLE ENTITY.
 5. ALL UNITS TO HAVE EXTERIOR LIGHTING. ONE AT FRONT PORCH AND TWO ON GARAGE.
 6. BUILDINGS WILL REQUIRE APPROVAL BY SANTAQUIN CITY ARCHITECTURAL REVIEW COMMITTEE.
 7. HVAC EQUIPMENT TO SIT BETWEEN GARAGES.
 8. 2" MASTER METER SERVICE LATERAL WILL NEED A CURB-STOP VALVE 1' BEHIND ROW PRIOR TO WATER METER MANIFOLD WITHIN THE VAULTS CONTAINING THE 1" CULINARY WATER METERS TYP.
 9. EXISTING CURB GUTTER, ASPHALT AND SIDEWALK TO BE REMOVED.
 10. EX. DRIVE APPROACH TO BE REMOVED AND CURB, GUTTER AND SIDEWALK TO BE INSTALLED.
 11. 4" MASTER METER SERVICE LATERAL PER SANTAQUIN CITY.
 12. REMOVE EXISTING SUMP AND CATCH BASIN.
 13. CONTRACTOR TO LOCATE EXISTING UNDERGROUND POWER. IT MAY NEED TO BE RELOCATED.
 14. PROPOSED MAILBOX LOCATION.
 15. CONST. ADA ACCESS RAMP PER SANTAQUIN CITY STANDARDS.
 16. EXISTING BILLBOARD TO BE REMOVED.
 17. 9AM-5PM COMMERCIAL PARKING ONLY.
 18. A 2" ASPHALT OVERLAY MUST BE PLACED 15' TO EITHER DIRECTION FROM THE PROPOSED ASPHALT CUTS.

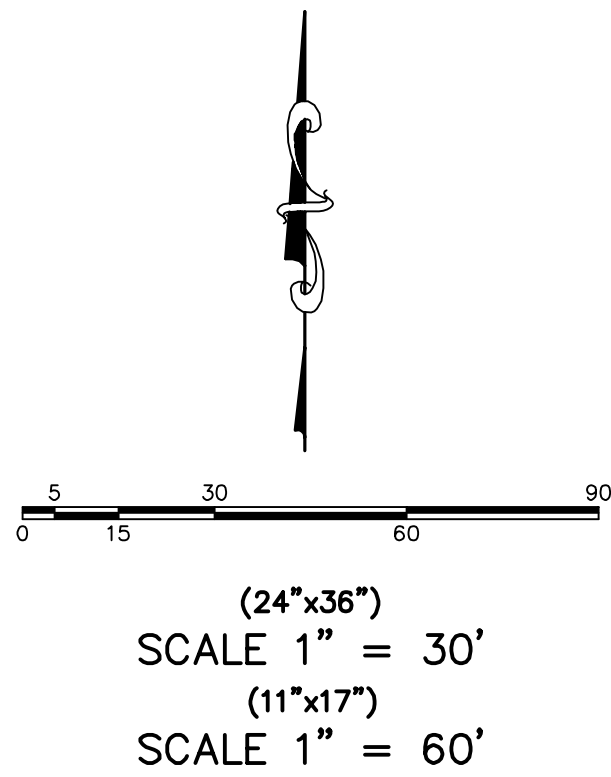
OWNER/DEVELOPER
JOHN SMILEY
391 NORTH MAIN
SPANISH FORK, UT 84660



SHEET NO.		2											
SITE PLAN		SANTAQUIN, UTAH											
ORCHARD HILLS TOWNHOMES II		<div>PHONE: 801-655-0566 FAX: 801-655-0109 946 E. 800 N. SUITE A SPANISH FORK, UT 84660</div> <div>ATLAS ENGINEERING L.L.C.</div> <div>8/4/2006 10:43 PM JDT</div>											
12	11	10	9	8	7	6	5	4	3	2	1	NO.	
REVISIONS												BY	DATE
2. 2020.20-1006 Orchard Hills Phase II Preliminary Utility Plan													



- NOTES:
1. GARAGES TO HAVE 2% SLOPE MINIMUM.
2. DUMPSTER ENCLOSURE TO MEET SANTAQUIN CITY STANDARDS. (MUST BE APPROVED BY THE ARCHITECTURAL REVIEW COMMITTEE.
3. REMOVE/ABANDON EXISTING SUMP & CATCH BASIN.



NO.		REVISIONS		BY	DATE
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ORCHARD HILLS TOWNHOMES II

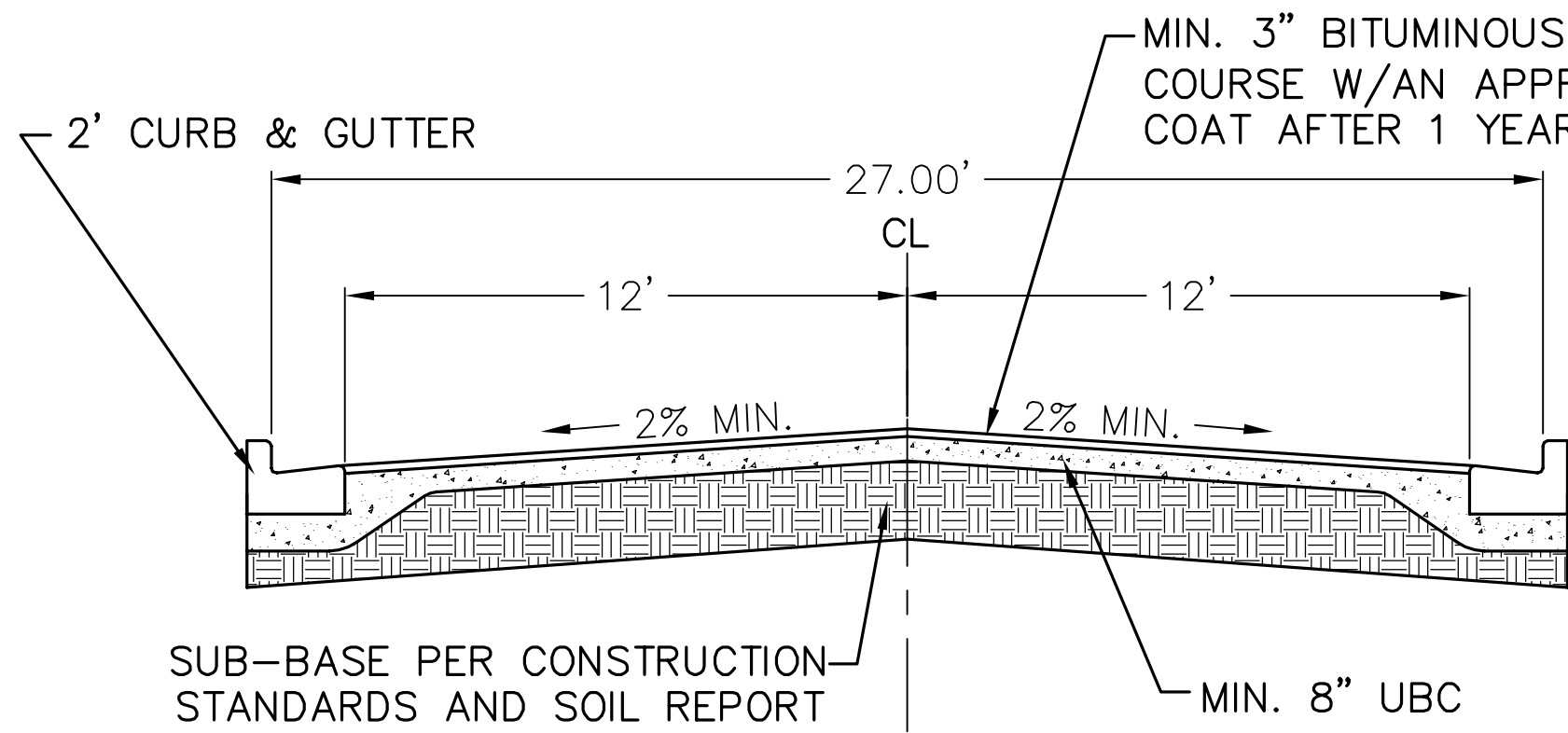
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ENGINEERING
L.L.C.

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FAX: 801-655-0109
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GRADING PLAN

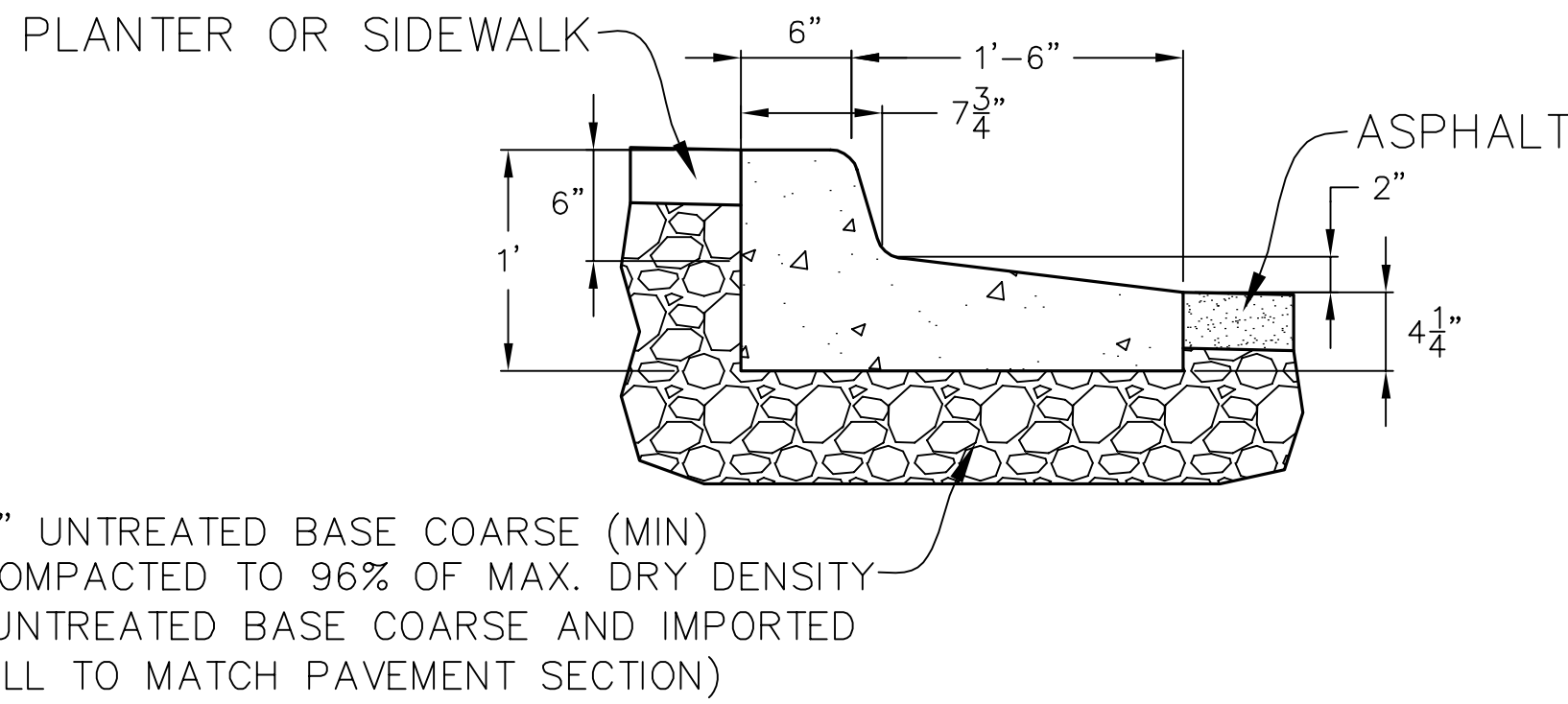
SANTAQUIN, UTAH

SHEET NO.
3



ROAD DETAIL

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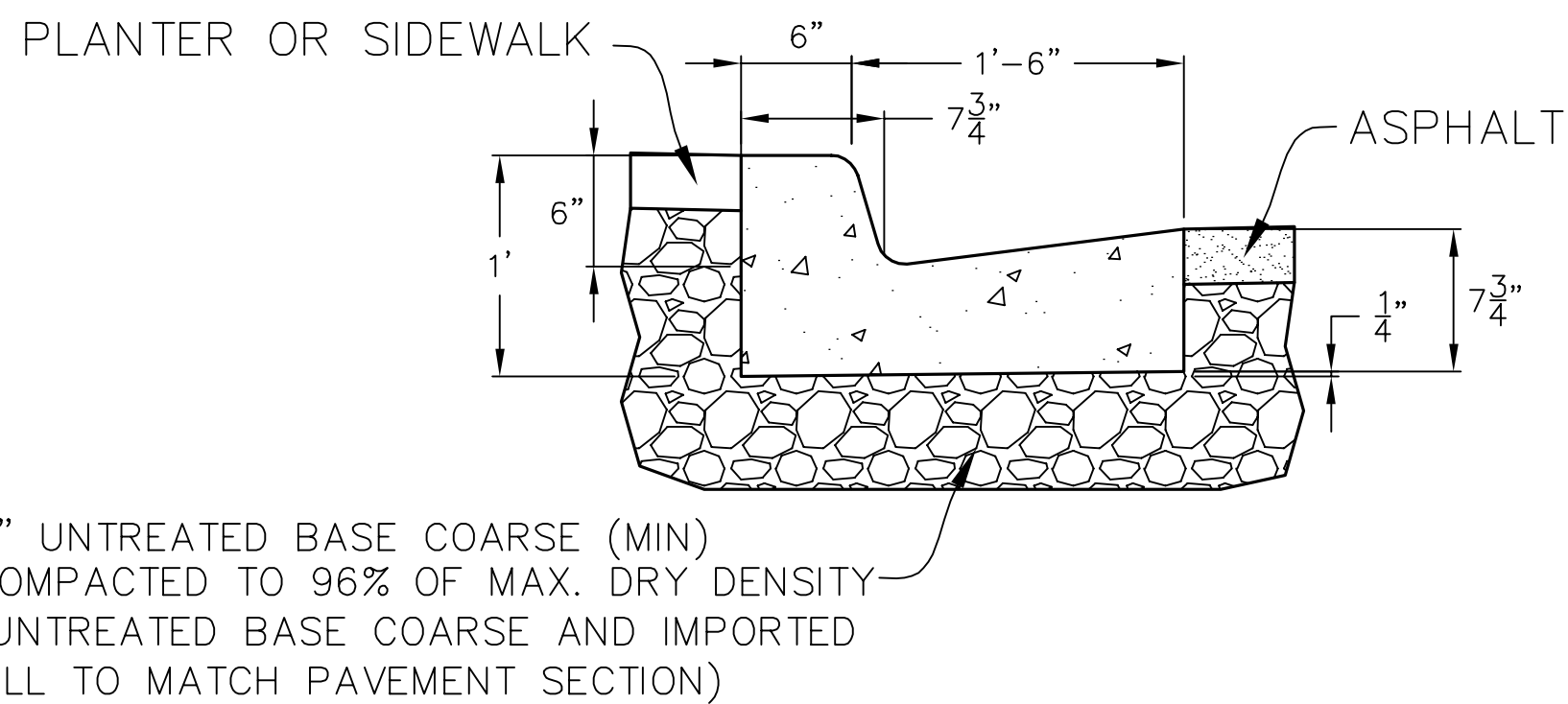


24" REVERSE LIP CURB & GUTTER

FOR USE IN PRIVATE STREETS

-NTS-

NOTE:
PLACE CONTROL JOINTS
AT 10 FOOT INTERVALS



24" STANDARD CURB & GUTTER

FOR USE IN PRIVATE STREETS

-NTS-

NOTE:
PLACE CONTROL JOINTS
AT 10 FOOT INTERVALS

SHEET NO.

4A

DETAIL SHEET

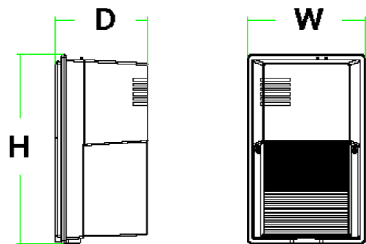
SANTAQUIN, UTAH



TWS LED LED Wall Luminaire

Specifications

Width: 6-3/4" (17.2 cm)
Height: 10-7/8" (27.7 cm)
Depth: 5-5/16" (13.3 cm)
Weight: 3.19 lbs (1.45 kg)



Catalog Number
Notes
Type

Use the tab key to move over the page to see all interactive elements.

Introduction

The popular TWS luminaire is now available with long-lasting, energy-efficient LED technology. Featuring a classic dayform, the TWS LED offers a traditional appearance and is powered by advanced LEDs.

The TWS LED luminaire is powerful yet energy efficient, capable of replacing up to a 70W HPS wall pack while saving up to 78% in energy costs. With long-life LEDs, the TWS LED eliminates frequent lamp and ballast replacements associated with traditional technologies.

Ordering Information

EXAMPLE: TWS LED 1 50K 120 PE

TWS LED					
Series	Performance Package	Color Temperature	Voltage	Control Options	Finish
TWSLED	1 1017 lumens	50K 5000K ¹	120 120V ²	PE Photoelectric cell, button type	(Blank) Dark bronze

Accessories

TWSWG Wire Guard

NOTES

- Corrected color temperature (CCT) shown is nominal per ANSI C78:2008.
- 120V driver operates on 120V.

FEATURES & SPECIFICATIONS

INTENDED USE

The TWS LED combines traditional wall pack design with high-output LEDs to provide an energy-efficient, low maintenance LED wall pack suitable for replacing up to 70W HPS fixtures. The traditional shape helps maintain building aesthetics when replacing only a portion of your building's wall packs. TWS LED is for outdoor applications such as personnel doors, loading areas, driveways and parking areas.

CONSTRUCTION

Back plate is die cast aluminum. Front cover is impact resistant polycarbonate which is fully gasketed. All electronics are protected in the upper housing. Housing is sealed against moisture and environmental contaminants.

FINISH

UV stabilized polycarbonate front cover has dark bronze color which provides superior resistance to corrosion and weathering and that can withstand extreme climate changes without cracking or peeling.

OPTICS

Protective polycarbonate lens covers the LEDs. Prismatic front cover and precision molded reflector for superior uniformity and future spacing. Light engine is available in 5000K (69 min. CRI).

ELECTRICAL

Light engine consists of two high-powered, long life, high efficacy LEDs mounted on an internal aluminum heat sink to maximize heat dissipation and promote long life (L70/100,000 hours at 40°C). Driver and integral photo-cell operate at 120V and are fully enclosed in the upper housing. There are no user serviceable parts.

INSTALLATION

Back housing easily mounts to any recessed junction box. With all electronics in upper housing the open lower section makes wiring easy. Mount on any vertical surface. Not recommended in applications where a sprayed stream of water can come in direct contact with polycarbonate lens.

LISTINGS

UL Certified to US and Canadian safety standards for wet-location mounting higher than 4 feet off the ground.

Rated for -40°C to 40°C ambient temperature.

WARRANTY

Five-year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Notes: Specifications are subject to change without notice. Actual performance may differ as a result of end-user environment and application.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end user environment and application.

Performance Package	Driver Current (mA)	CCT	System Watts	50K (5000K, 62 TCS)				
				Lumens	E	U	G	LPW
1	900	5000K	19W	1,017	1	3	1	54

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-80°C (32-176°F).

Ambient	32°F	Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.03
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

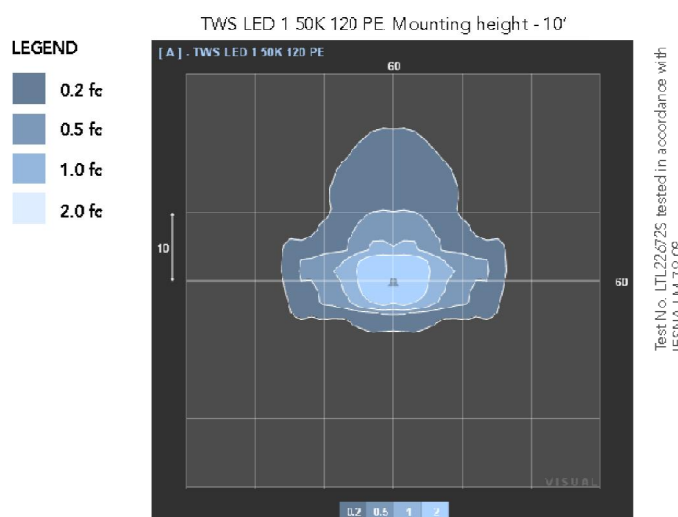
Projected LED Lumen Maintenance

Data references the extrapolated performance projected on a 40°C ambient based on 10,000 hours of LED testing tested per IESNA LM-80-08 and projected per IESNA TM-21-11.

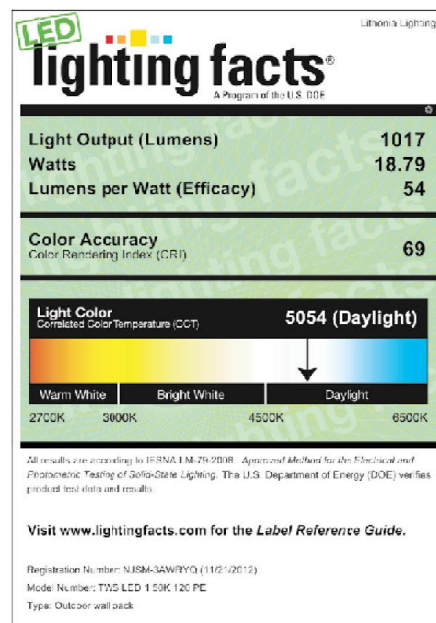
Operating Hours	0	25,000	50,000	55,000	100,000
Lumen Maintenance Factor	1.0	0.98	0.97	0.97	0.95

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting TWS LED homepage, listed in accordance with IESNA LM-79 and LM-80 standards.

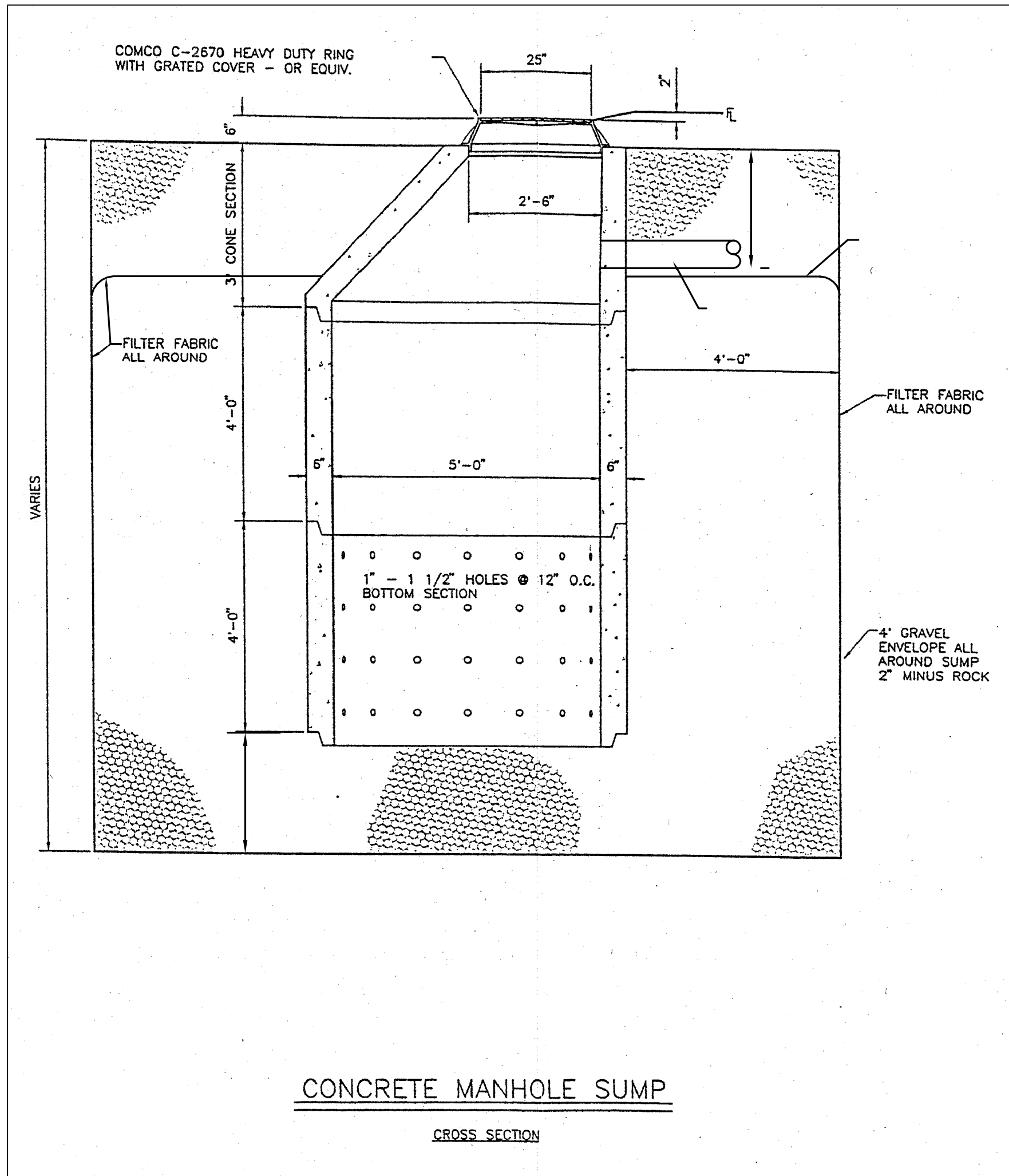


Lighting Facts Labels



One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • Fax: 770.918.1209 • www.lithonia.com

TWS LED
Rev. 01/09/14



ORCHARD HILLS TOWNHOMES II

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ENGINEERING
L.L.C.
PHONE: 801-855-0566
FAX: 801-855-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

8/2/2014 1:45:02 PM MDT

REVISIONS

NO. 12 11 10 9 8 7 6 5 4 3 2 1

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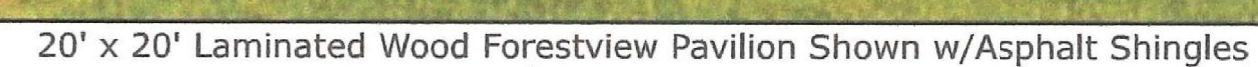
BY

DATE



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L.L.C.

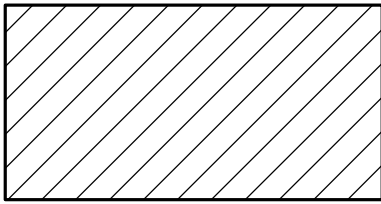
SHEET NO.

DETAIL SHEET

SANTAQUIN, UTAH

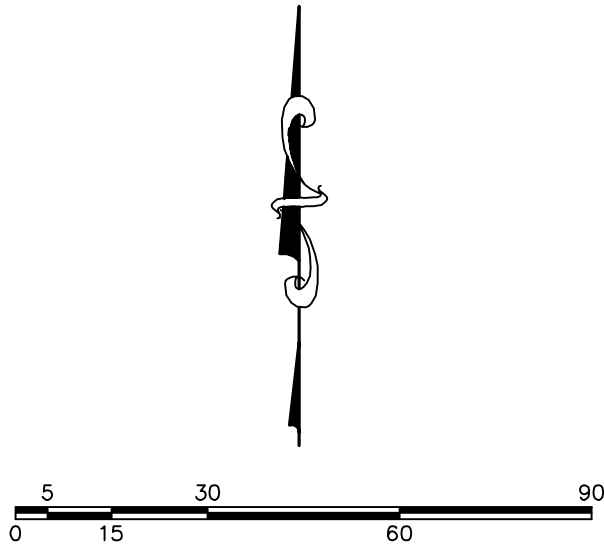
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FIRE ACCESS PER IFC FIGURE
D103. 1- DEAD-END FIRE
APPARATUS ACCESS ROAD
TURNAROUND

OWNER/DEVELOPER
JOHN SMILEY
391 NORTH MAIN
SPANISH FORK, UT 84660



(24"x36")
SCALE 1" = 30'
(11"x17")
SCALE 1" = 60'

ORCHARD HILLS TOWNHOMES II

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FAX: 801-655-0109
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SPANISH FORK, UT 84660

L.L.C.

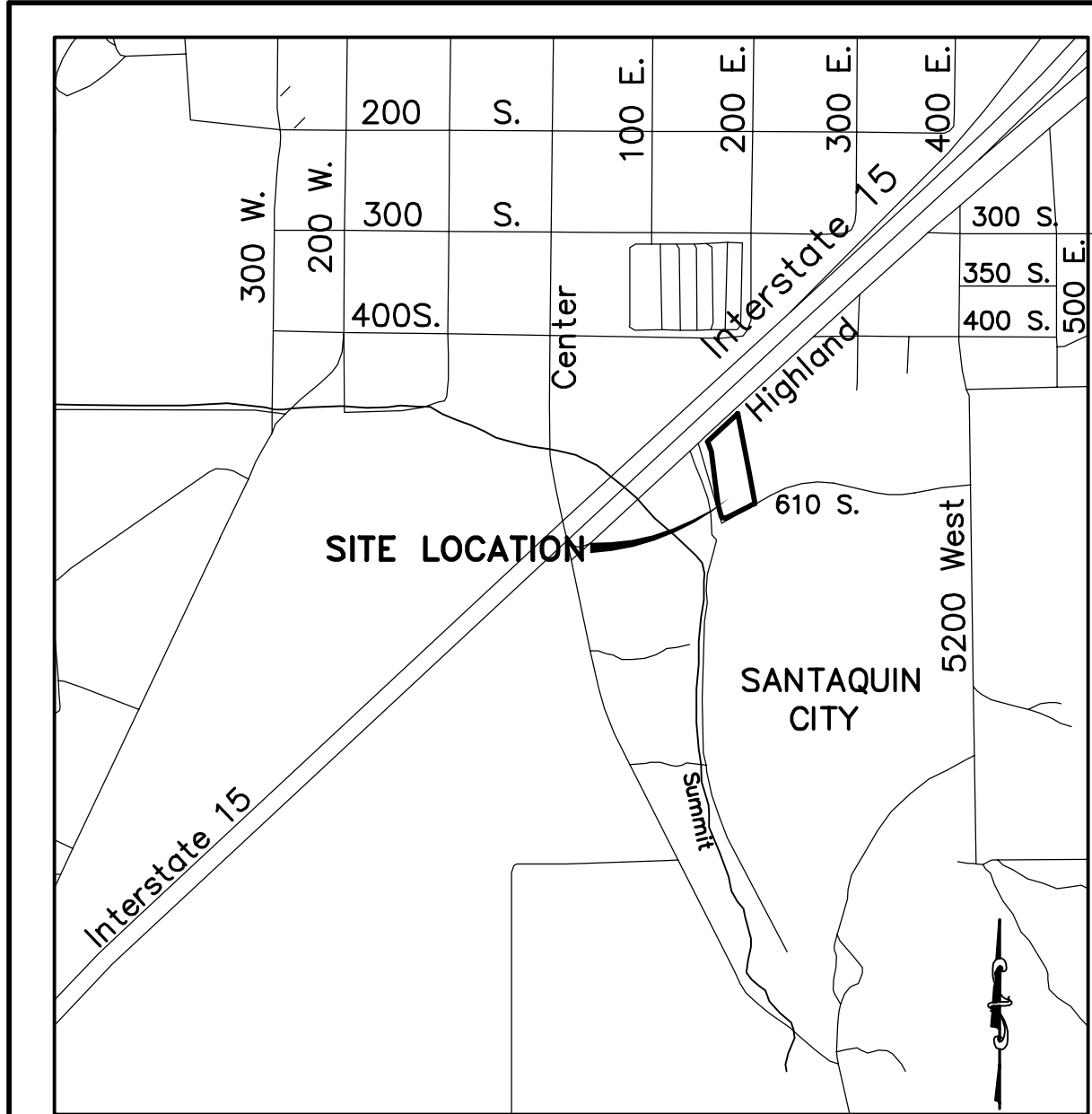
2/2020, 2/20-006 Orchard Hills Phase I and II Preliminary Plans, 8/4/2020 12:15 PM MDT

FIRE PLAN

SANTAQUIN, UTAH

SHEET NO.

5



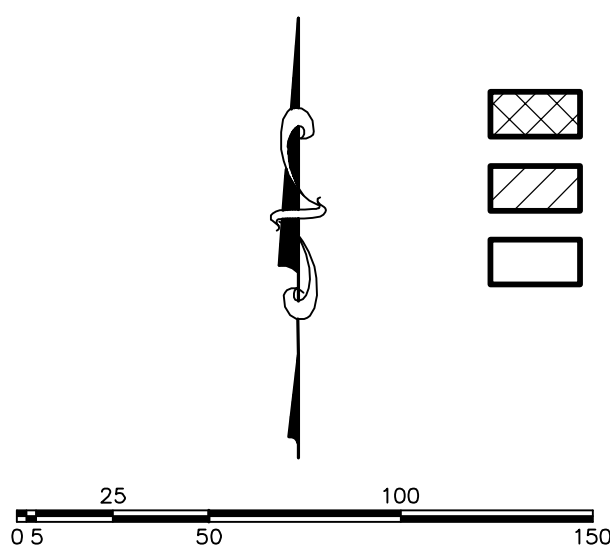
VICINITY MAP
-NTS-

LEGEND

- FOUND BRASS CAP
SET 5/8" IRON PIN
CALCULATED POINT, NOT SET
PROPERTY BOUNDARY
RIGHT-OF-WAY LINE
LOT LINE
SECTION LINE
EASEMENT
CENTERLINE
PROPOSED LOT NUMBERS
ADDRESSES

ENGINEER CONTACT INFO:
ATLAS ENGINEERING
PHONE: 801-655-0566
FAX: 801-655-0109
946 EAST 800 NORTH
SUITE A
SPANISH FORK, UT 84660

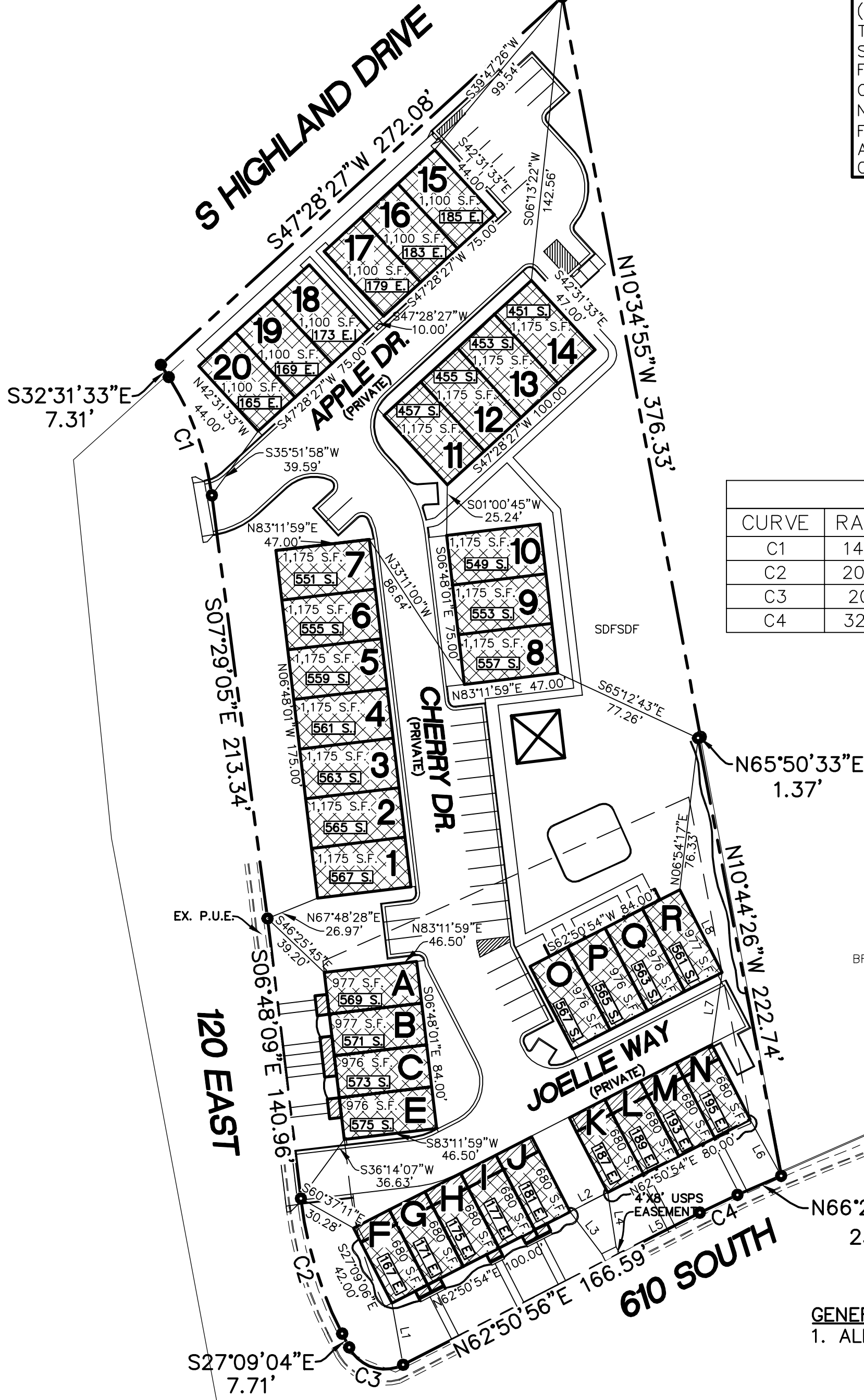
SURVEYOR CONTACT INFO:
BARRY PRETTYMAN
PHONE: 801-423-1040
946 EAST 800 NORTH
SUITE B
SPANISH FORK, UTAH 84660



(24"x36")
SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'

NORTHWEST CORNER OF
SECTION 12, TOWNSHIP 10
SOUTH, RANGE 1 EAST, SLB&M

S87°07'54"W - SECTION LINE - BASIS OF BEARING S87°07'54"W
1373.60'
NORTH 1/4
CORNER OF
SECTION 12,
TOWNSHIP 10
SOUTH, RANGE 1
EAST, SLB&M



CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD DIST.	CHORD BRG.	DELTA
C1	145.00	63.37	62.87	S 20°00'19" E	25°02'28"
C2	200.00	71.03	70.66	S 16°58'37" E	20°20'58"
C3	20.00	31.42	28.29	S 72°09'00" E	90°01'24"
C4	328.12	20.81	20.81	N 64°40'03" E	3°38'04"

LINE TABLE		
LINE	LENGTH	BEARING
L1	31.37	S 10°08'16" E
L2	21.00	N 62°51'04" E
L3	26.37	S 36°46'42" E
L4	27.39	S 08°48'35" E
L5	45.00	N 62°50'56" E
L6	32.18	S 28°50'32" E
L7	36.49	N 08°14'07" E
L8	46.50	N 27°09'06" W

BRANDON, DENNIS C AND
KATHY
540 SOUTH HIGHLAND
DRIVE, SANTAQUIN

GENERAL NOTES:
1. ALL COMMON AREAS TO BE DEDICATED PUBLIC UTILITY EASEMENTS.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH LIES S87°07'54"W 1373.60 FEET ALONG THE SECTION LINE AND SOUTH 121.49 FEET FROM THE NORTH 1/4 CORNER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE S47°28'27"W 272.08 FEET ALONG THE SOUTH LINE OF HIGHLAND DRIVE; THENCE ALONG THE EAST LINE OF 120 EAST STREET THE FOLLOWING THREE (3) COURSES TO WIT: (1) S32°31'33"E 7.31 FEET, (2) THENCE SOUTHEASTERLY 63.37 FEET ALONG THE ARC OF A 145.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH THE CENTRAL ANGLE OF 25°02'28", THE CHORD BEARS S20°00'19"E 62.87 FEET, (3) THENCE S07°29'05"E 213.34; THENCE FOLLOWING THE EXISTING BOUNDARY OF ORCHARD HILLS TOWNHOMES THE FOLLOWING EIGHT (8) COURSES TO WIT: (1) S06°48'09"E 140.96 FEET, (2) SOUTHEASTERLY 71.03 FEET ALONG THE ARC OF A 200.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 20°20'58", THE CHORD BEARS S16°58'37"E 70.66 FEET, (3) S27°09'04"E 7.71 FEET, (4) SOUTHEASTERLY 31.42 FEET ALONG THE ARC OF A 20.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 90°01'24", THE CHORD BEARS S72°09'00"E 28.29 FEET, (5) N62°50'56"E 166.59 FEET, (6) NORTHEASTERLY 20.81 FEET ALONG THE ARC OF A 328.12 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 03°38'04", THE CHORD BEARS N64°40'03"E 20.81 FEET, (7) N66°29'00"E 23.82 FEET, (8) THENCE N10°44'26"W 222.74 FEET ALONG AN EXISTING FENCE; THENCE N65°50'33"E 1.37 FEET; THENCE N10°34'55"W 376.33 FEET ALONG AN EXISTING FENCE TO THE POINT OF BEGINNING.
CONTAINING 2.92 ACRES OF LAND

SURVEYOR'S CERTIFICATE

I, BARRY L. PRETTYMAN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 166406 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

SURVEYOR DATE

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.
IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF _____, A.D. 2020.

OWNER: JOHN SMILEY OWNER:
OWNER: OWNER:
OWNER: OWNER:
OWNER: OWNER:
OWNER: OWNER:
OWNER: OWNER:
OWNER: OWNER:
OWNER: OWNER:
OWNER: OWNER:

ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF UTAH S.S.
ON THE _____ DAY OF _____, A.D. 2020
PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
NOTARY COMMISSION NUMBER NOTARY PUBLIC COMMISSIONED IN UTAH
MY COMMISSION EXPIRES NOTARY PUBLIC (SEE SEAL)

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF SANTAQUIN CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 2020.

APPROVED BY MAYOR
APPROVED ATTEST
ENGINEER (SEE SEAL) CLERK-RECORDER

ORCHARD HILLS TOWNHOMES PLAT 'B'

BEING AN AMENDMENT OF
ORCHARD HILLS TOWNHOMES
SANTAQUIN CITY, UTAH COUNTY, UTAH
A RESIDENTIAL SUBDIVISION

LOCATED IN THE NORTH 1/4 CORNER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH.

SHEET 1 OF 2

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY ENGINEER SEAL CLERK-RECORDER SEAL

DOMINION ENERGY COMPANY

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT. INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARENTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

APPROVED _____

DOMINION ENERGY REPRESENTATIVE

Z:\2020\20-006 Orchard Hills Ph2\CADD\PRELIMINARY\FINAL

CENTURYLINK APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 2020.

CENTURYLINK REPRESENTATIVE

CONVEYANCE OF COMMON AREAS TO ASSOCIATION

THE UNDERSIGNED OWNER IN RECORDING THIS PLAT, HAS DESIGNATED CERTAIN AREAS OF THE LAND AS PRIVATE DRIVEWAYS, STREETS, LIMITED COMMON AREAS AND OTHER COMMON AREAS INTENDED FOR THE USE BY MEMBERS OF ORCHARD HILLS TOWNHOMES P.U.D. HOMEOWNERS ASSOCIATION, THEIR GUESTS AND INVITEES. SUCH AREAS ARE FOR THE USE AND ENJOYMENT BY THE OWNERS OF LOTS OR DWELLINGS IN THE ORCHARD HILLS TOWNHOMES PROJECT AS MORE FULLY DESCRIBED IN THE DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS APPLICABLE TO THIS PROJECT AND RECORDED WITH THIS PLAT.

NOTE OF DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS

THIS PROJECT, WITH ITS LOTS, DWELLINGS AND COMMON AREAS ARE SUBJECT TO CERTAIN COVENANTS, CONDITIONS AND RESTRICTIONS AS CONTAINED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR ORCHARD HILLS TOWNHOMES P.U.D., WHICH ARE RECORDED IN THE OFFICES OF THE UTAH COUNTY RECORDER. SAID COVENANTS, CONDITIONS AND RESTRICTIONS ARE INTENDED TO RUN WITH THE LAND AND TO BE BINDING UPON ALL HEIRS, SUCCESSORS OR ASSIGNS OF THE DECLARANT IN ACCORDANCE WITH THE RECORDED DECLARATION.

ROCKY MOUNTAIN POWER APPROVAL

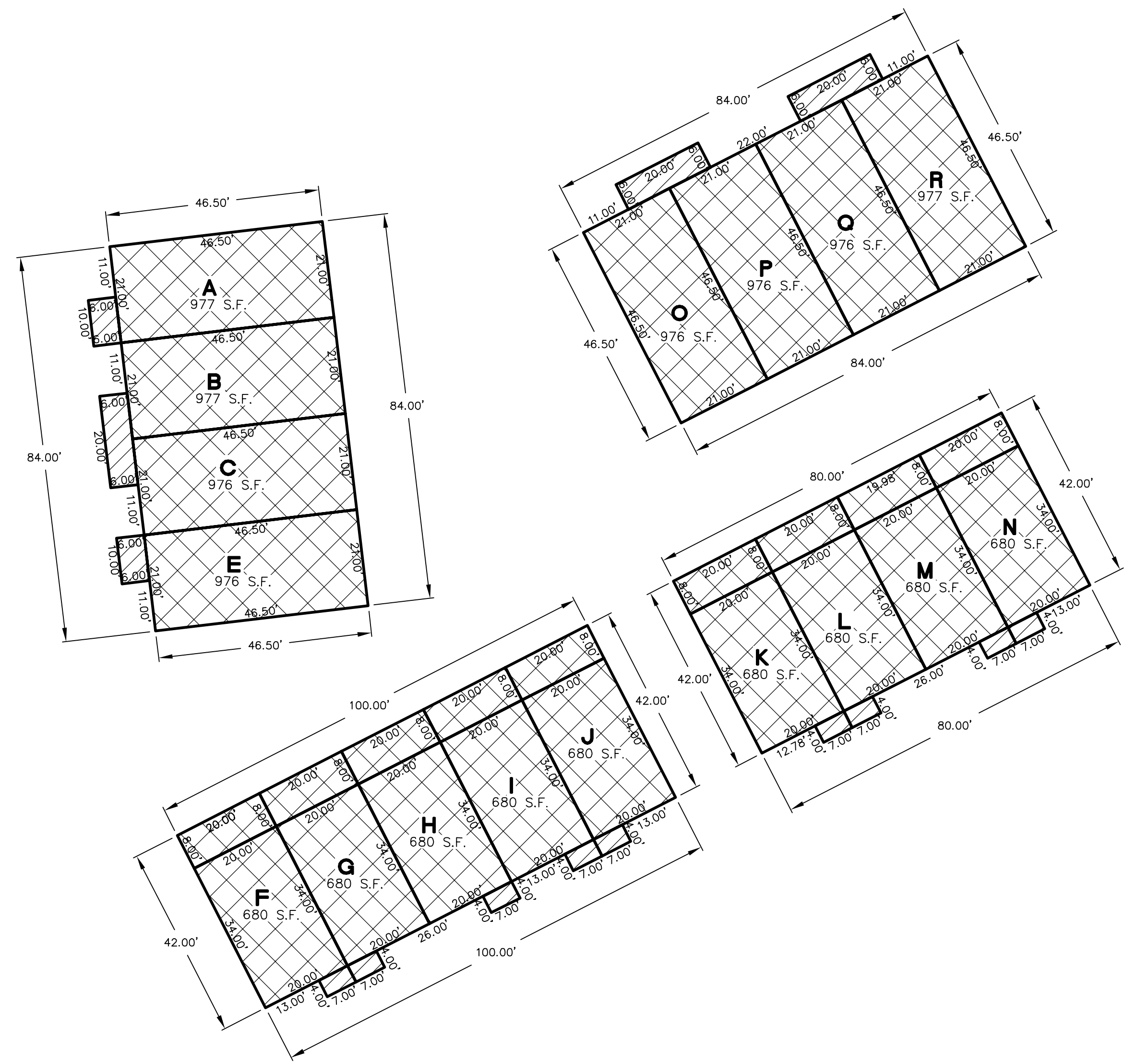
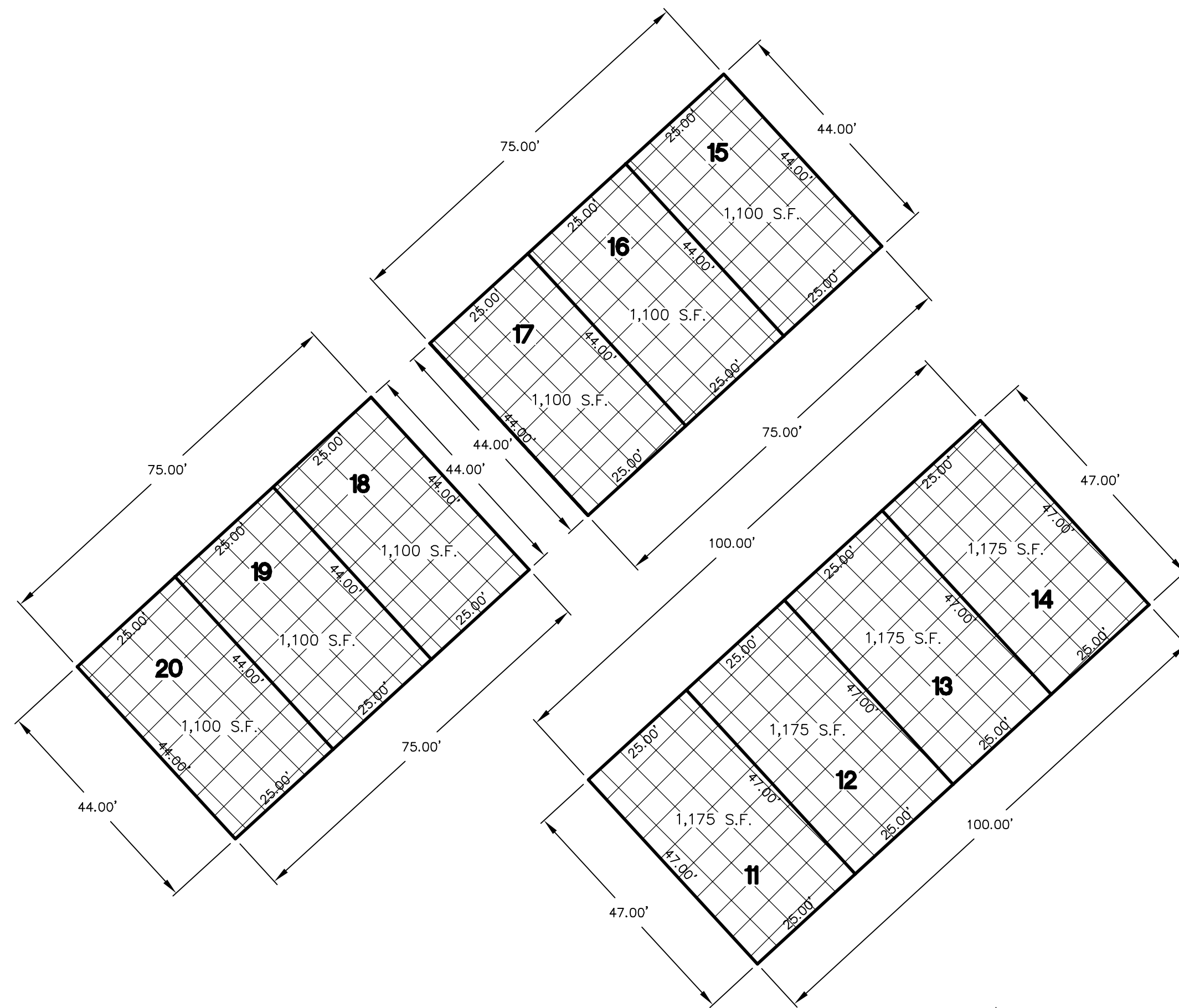
APPROVED THIS _____ DAY OF _____, A.D. 2020.

ROCKY MOUNTAIN POWER REPRESENTATIVE

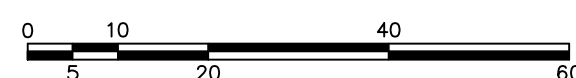
CENTRACOM APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 2020.

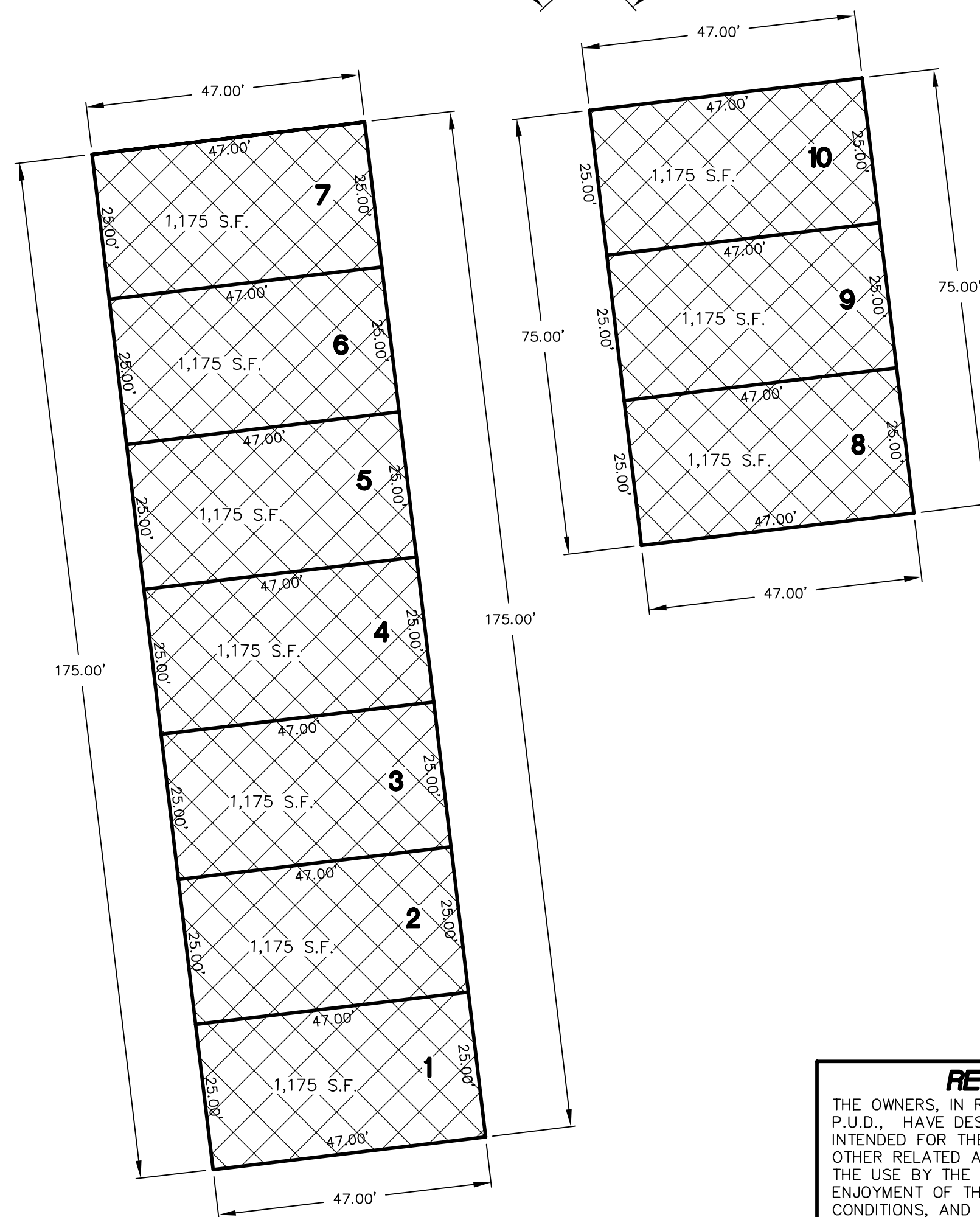
CENTRACOM REPRESENTATIVE
PLAT.dwg 8/4/2020 1:35:01 PM MDT



- PRIVATE PROPERTY
- LIMITED COMMON AREAS
- COMMON AREA



-24"x36"-
SCALE 1" = 20'
-11"x17"-
SCALE 1" = 40'



RESERVATION OF COMMON AREAS

THE OWNERS, IN RECORDING THIS PLAT ORCHARD HILLS TOWNHOMES P.U.D., A UTAH P.U.D., HAVE DESIGNATED CERTAIN AREAS OF LAND AS PRIVATE AND COMMON AREAS INTENDED FOR THE USE BY THE OWNERS OF SAID P.U.D. FOR INGRESS, RECREATION AND OTHER RELATED ACTIVITIES. THE DESIGNATED AREAS ARE NOT DEDICATED HEREBY FOR THE USE BY THE GENERAL PUBLIC, BUT ARE RESERVED FOR THE COMMON USE AND ENJOYMENT OF THE OWNERS OF SAID P.U.D., SAID DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS IS HEREBY INCORPORATED AND MADE A PART OF THIS PLAT AND BECOMES EFFECTIVE UPON THE DATE THAT THIS PLAT IS RECORDED IN THE OFFICIAL RECORDS OF UTAH COUNTY, UTAH.

UTILITY DEDICATION

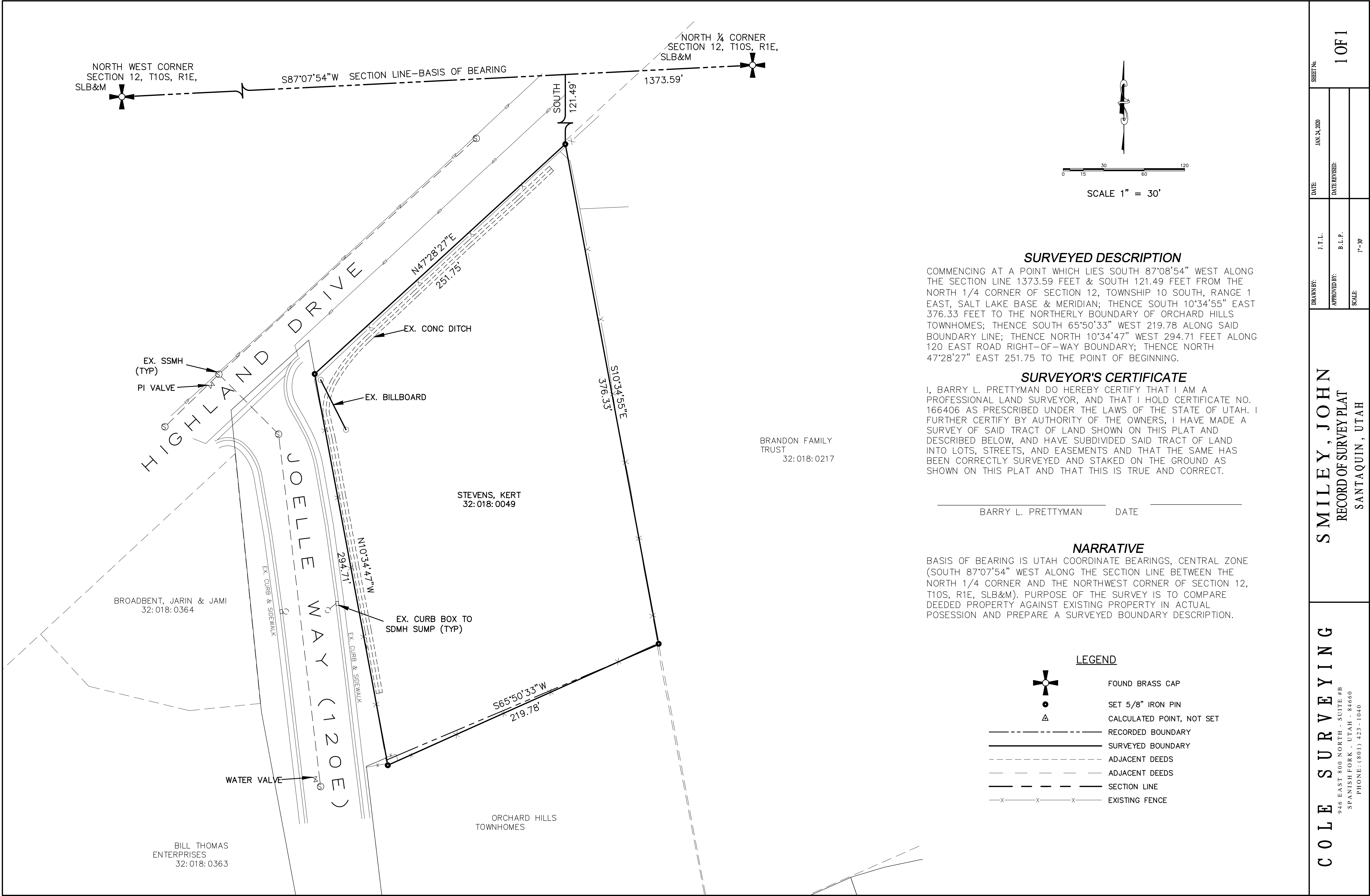
THE OWNERS OF THE PARCEL OF LAND WHICH IS SHOWN ON THIS PLAT OF ORCHARD HILLS TOWNHOMES P.U.D., A UTAH P.U.D., DO CONSENT TO THE PREPARATION AND RECORDATION OF THIS PLAT AND DO HEREBY OFFER AND CONVEY TO SANTAQUIN CITY, ALL PUBLIC UTILITY AGENCIES AND THEIR SUCCESSORS AND ASSIGNS A PERMANENT EASEMENT AND RIGHT-OF-WAY AS SHOWN BY THE AREA MARKED "PUBLIC UTILITIES EASEMENT" (P.U.E.) AND "PRIVATE STREET" ON THIS PLAT FOR THE CONSTRUCTION AND MAINTENANCE OF SUBTERRANEAN ELECTRICAL, TELEPHONE, NATURAL GAS, SEWER AND WATER LINES AND APPURTANCES, TOGETHER WITH THE POINT OF ACCESS THERETO.

ORCHARD HILLS TOWNHOMES PLAT 'B'

BEING AN AMENDMENT OF
ORCHARD HILLS TOWNHOMES
SANTAQUIN CITY, UTAH COUNTY, UTAH
A RESIDENTIAL SUBDIVISION

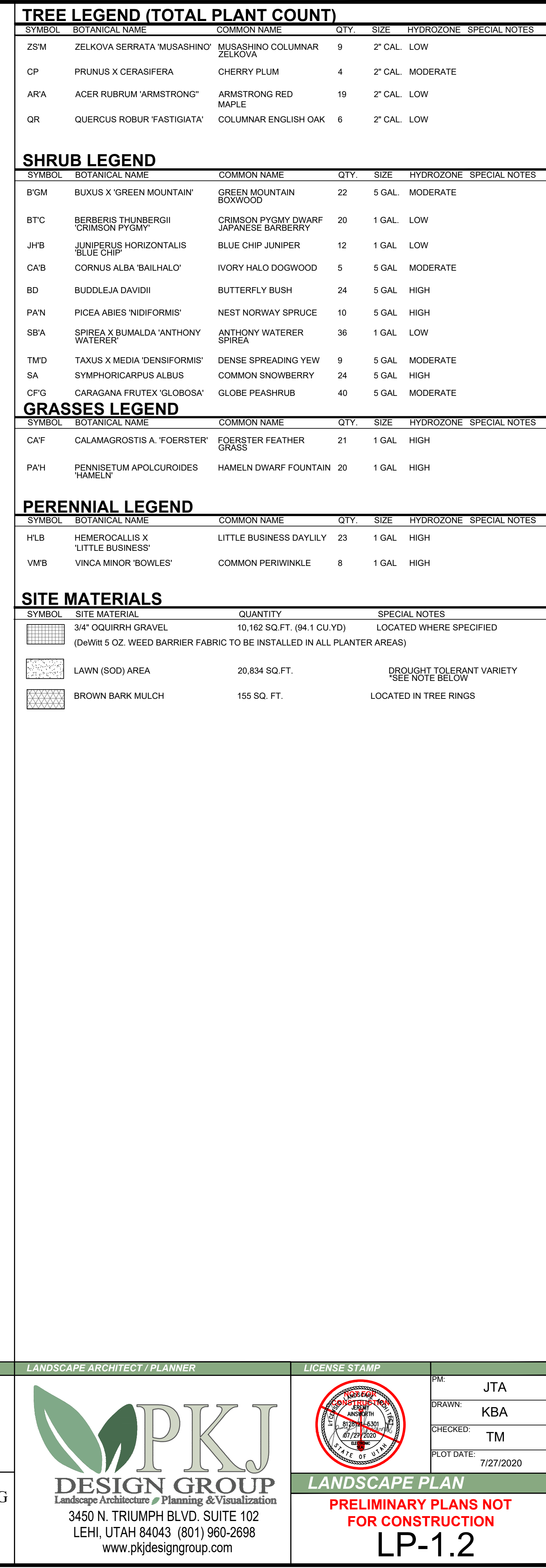
LOCATED IN THE NORTH 1/4 CORNER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH.

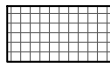
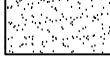


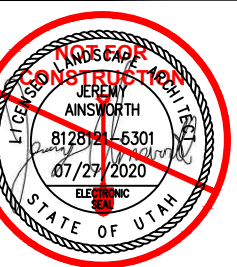
SHEET 2 OF 2



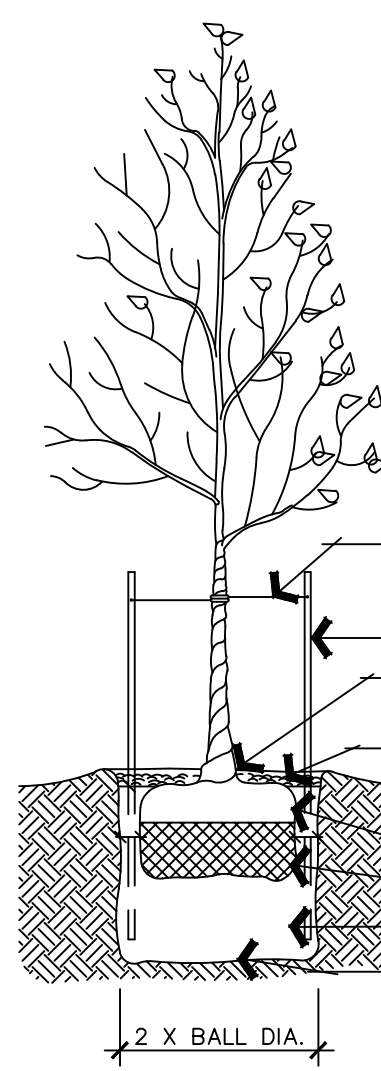


PRELIMINARY PLANS NOT
FOR CONSTRUCTION
LP-1.1



TREE LEGEND (TOTAL PLANT COUNT)						
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
ZS'M	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO COLUMNAR ZELKOVA	9	2" CAL.	LOW	
CP	PRUNUS X CERASIFERA	CHERRY PLUM	4	2" CAL.	MODERATE	
AR'A	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	19	2" CAL.	LOW	
QR	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	6	2" CAL.	LOW	
SHRUB LEGEND						
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
B'GM	BUXUS X 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	22	5 GAL.	MODERATE	
BTC	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY DWARF JAPANESE BARBERRY	20	1 GAL.	LOW	
JHB	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	12	1 GAL.	LOW	
CA'B	CORNUS ALBA 'BAILHALO'	IVORY HALO DOGWOOD	5	5 GAL.	MODERATE	
BD	BUDDLEJA DAVIDII	BUTTERFLY BUSH	24	5 GAL.	HIGH	
PA'N	PICEA ABIES 'NIDIFORMIS'	NEST NORWAY SPRUCE	10	5 GAL.	HIGH	
SB'A	SPIREA X 'BUMALDA' 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	36	1 GAL.	LOW	
TMD	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	9	5 GAL.	MODERATE	
SA	SYMPHORICARPUS ALBUS	COMMON SNOWBERRY	24	5 GAL.	HIGH	
CF'G	CARAGANA FRUTEX 'GLOBOSA'	GLOBE PEASHRUB	40	5 GAL.	MODERATE	
GRASSES LEGEND						
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
CA'F	CALAMAGROSTIS A. 'FOERSTER'	FOERSTER FEATHER GRASS	21	1 GAL.	HIGH	
PA'H	PENNISETUM APOLCUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN	20	1 GAL.	HIGH	
PERENNIAL LEGEND						
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
HLB	HEMEROCALLIS X 'LITTLE BUSINESS'	LITTLE BUSINESS DAYLILY	23	1 GAL.	HIGH	
VMB	VINCA MINOR 'BOWLES'	COMMON PERIWINKLE	8	1 GAL.	HIGH	
SITE MATERIALS						
SYMBOL	SITE MATERIAL	QUANTITY	SPECIAL NOTES			
	3/4" OQUIRRH GRAVEL	10,162 SQ.FT. (94.1 CU.YD)	LOCATED WHERE SPECIFIED (DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS)			
	LAWN (SOD) AREA	20,834 SQ.FT.	DROUGHT TOLERANT VARIETY SEE NOTE BELOW			
	BROWN BARK MULCH	155 SQ. FT.	LOCATED IN TREE RINGS			
LANDSCAPE ARCHITECT / PLANNER						
 PKJ DESIGN GROUP Landscape Architecture Planning & Visualization 3450 N. TRIUMPH BLVD, SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com			 LANDSCAPE PLAN PRELIMINARY PLANS NOT FOR CONSTRUCTION LP-1.2		PM: JTA DRAWN: KBA CHECKED: TM PLOT DATE: 7/27/2020	

1. PLANT SO THAT THE TOP OF THE ROOT BALL IS EVEN WITH THE FINISHED GRADE.
2. BACKFILL MIX: 1/2 SANDY LOAM TOPSOIL + 1/4 ORGANIC MULCH, & 1/4 NATIVE SOILS.
3. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
4. WATER THOROUGHLY AFTER INSTALLATION.
5. STAKING IS REQUIRED: LOOSEN TREE STAKES AFTER FIRST GROWING SEASON AND REMOVE TREE STAKES AFTER SECOND GROWING SEASON.
6. OVER EXCAVATE PITS TO 3' DEPTH AND INSTALL ADDITIONAL COMPACTED TOPSOIL UNDER TREE.
7. PULL MULCH A MINIMUM OF 6" AWAY FROM TRUNK OF TREE.
8. LEAVE PLANT I.D. TAGS ON THE TREES UNTIL ACCEPTANCE BY THE OWNER. AFTER FINAL ACCEPTANCE, REMOVE I.D. TAGS.

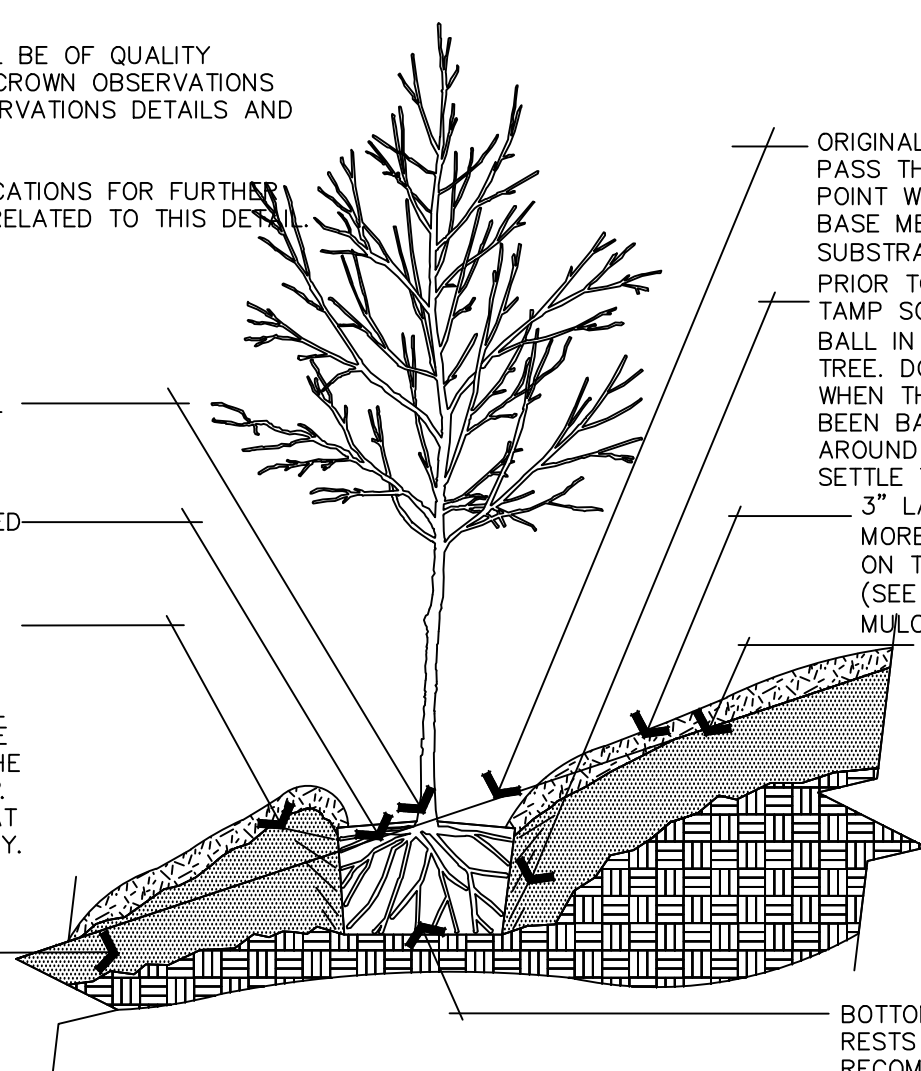


A DECIDUOUS TREE PLANTING DETAIL

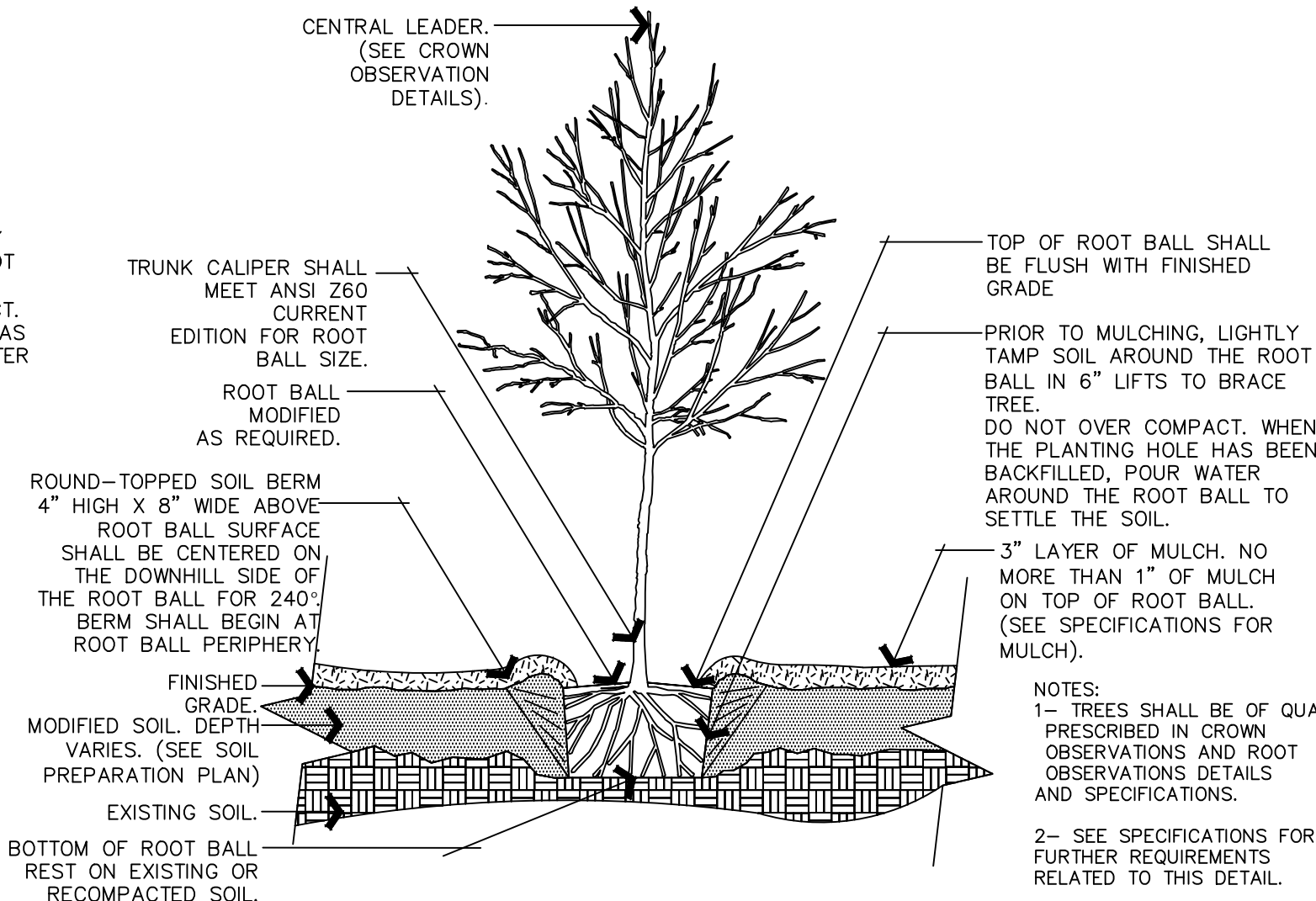
NOT TO SCALE

PKJ DESIGN GROUP

NOTES:
1- TREES SHALL BE OF QUALITY
PRESCRIBED IN CROWN OBSERVATIONS
AND ROOT OBSERVATIONS DETAILS AND
SPECIFICATIONS.
2- SEE SPECIFICATIONS FOR FURTHER
REQUIREMENTS RELATED TO THIS DETAIL



B TREE ON SLOPE 5% (20:1) TO 50% (2:1) NOT TO SCALE PKJ DESIGN GROUP



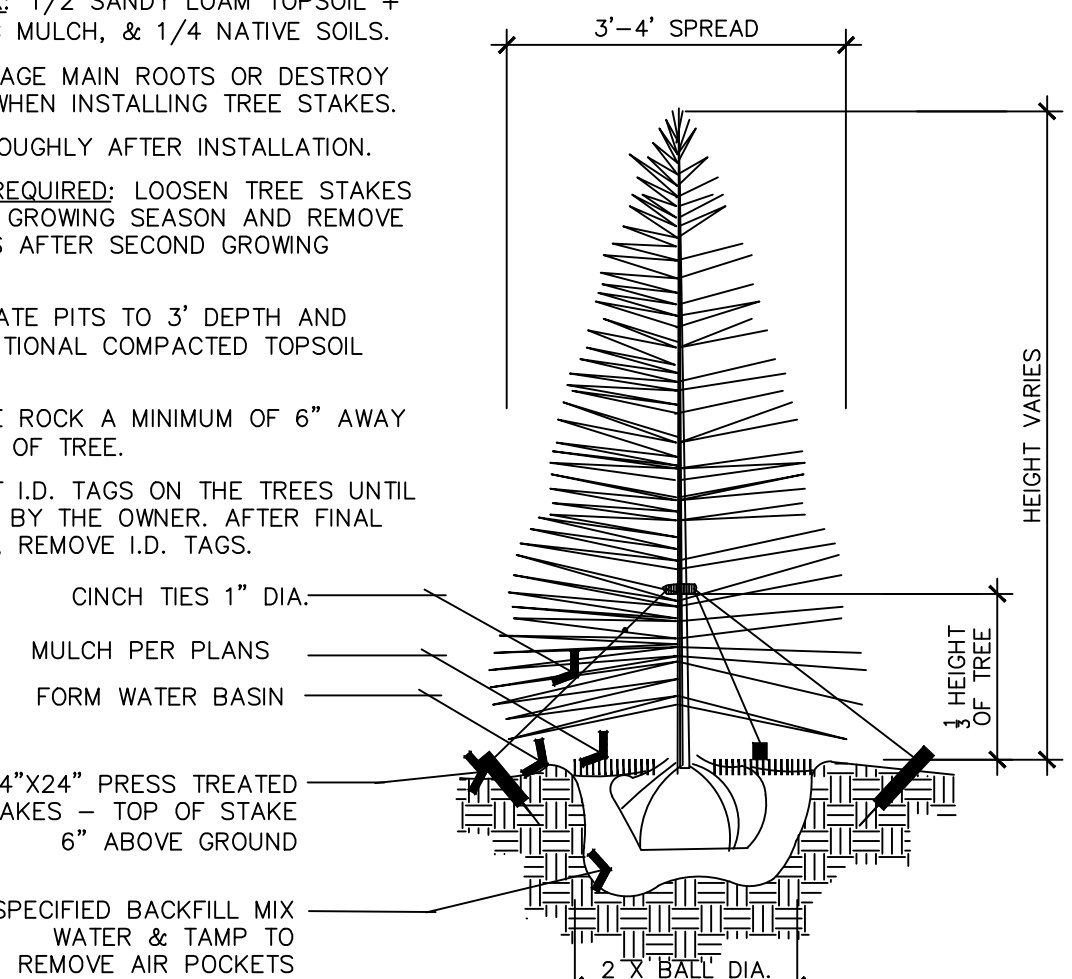
C TREE w/ BERM (EXISTING SOIL MODIFIED)
NOT TO SCALE PKJ DESIGN GROUP

1. PLANT SO THAT THE TOP OF THE ROOT BALL IS EVEN WITH THE FINISHED GRADE.
2. BACKFILL MIX: 1/2 SANDY LOAM TOPSOIL + 1/4 ORGANIC MULCH, & 1/4 NATIVE SOILS.
3. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
4. WATER THOROUGHLY AFTER INSTALLATION.
5. STAKING IS REQUIRED: LOOSEN TREE STAKES AFTER FIRST GROWING SEASON AND REMOVE TREE STAKES AFTER SECOND GROWING SEASON.
6. OVER EXCAVATE PITS TO 3' DEPTH AND INSTALL ADDITIONAL COMPACTED TOPSOIL UNDER TREE.
7. PULL COBBLE ROCK A MINIMUM OF 6" AWAY FROM TRUNK OF TREE.
8. LEAVE PLANT I.D. TAGS ON THE TREES UNTIL ACCEPTANCE BY THE OWNER. AFTER FINAL ACCEPTANCE, REMOVE I.D. TAGS.

CINCH TIES 1" DIA. _____

MULCH PER PLANS _____

FORM WATER BASIN _____

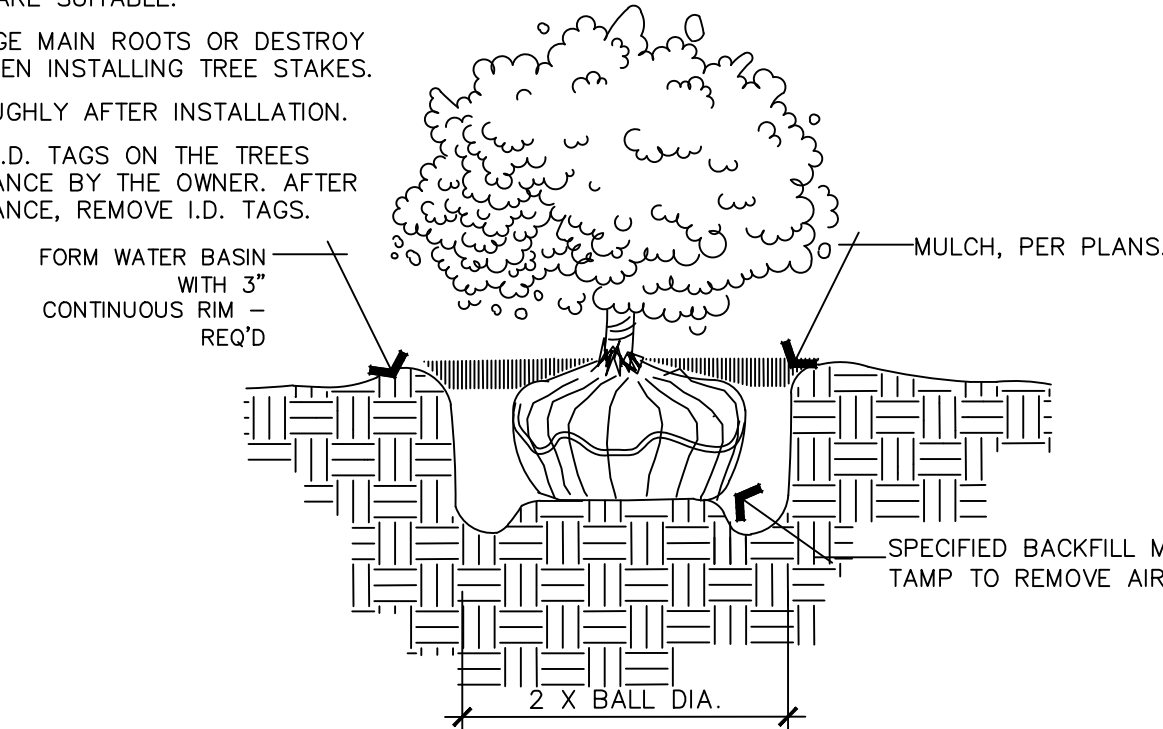


D EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

PKJ DESIGN GROUP

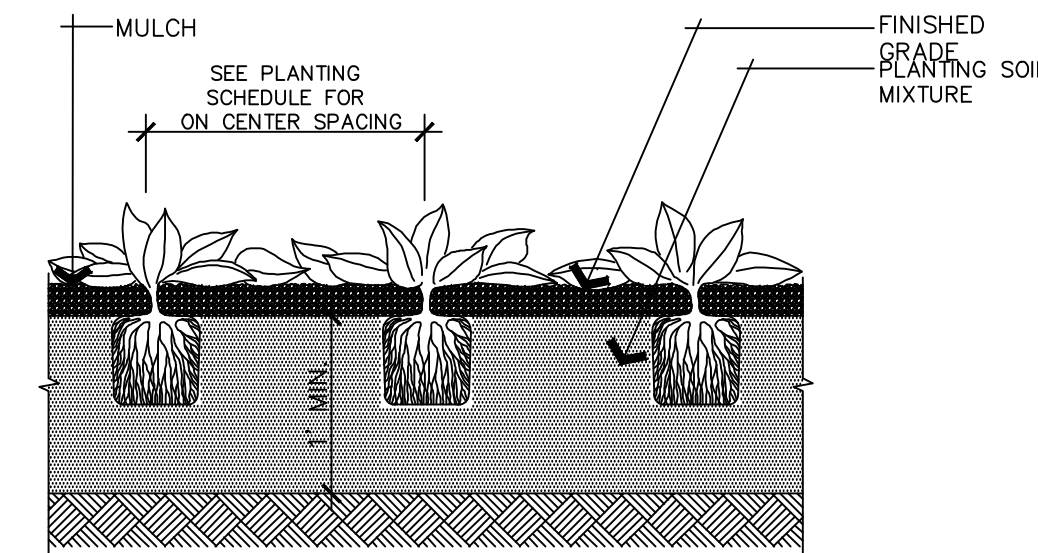
1. IF PLANT IS BALL & BURLAP, CUT AND REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
2. IF PLANT IS CONTAINERIZED, SCARIFY ROOT BALL PRIOR TO PLANTING.
3. BACKFILL MIX: 1/2 SANDY LOAM + 1/4 ORGANIC MULCH + 1/4 NATIVE SOILS IF NATIVE SOILS ARE SUITABLE.
4. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
5. WATER THOROUGHLY AFTER INSTALLATION.
6. LEAVE PLANT I.D. TAGS ON THE TREES UNTIL ACCEPTANCE BY THE OWNER. AFTER FINAL ACCEPTANCE, REMOVE I.D. TAGS.



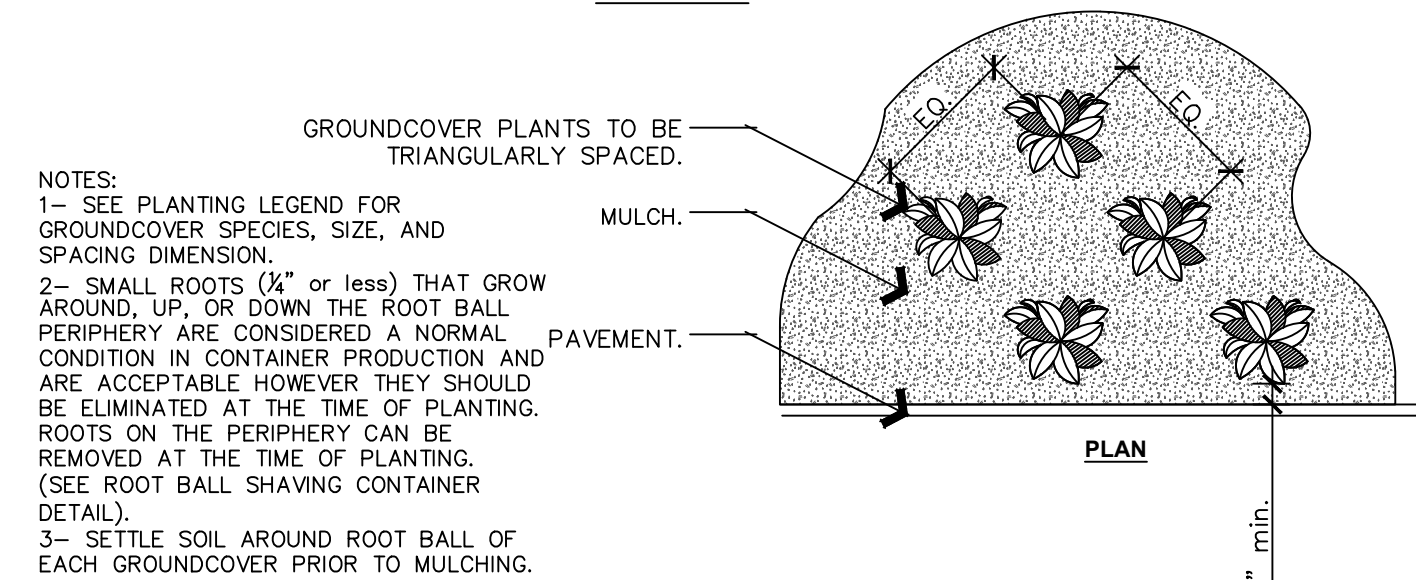
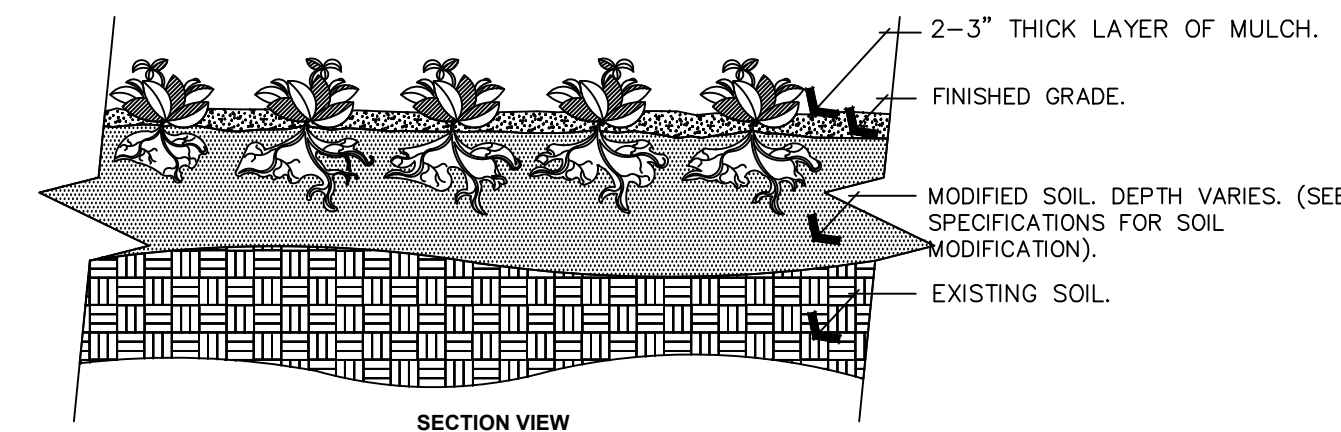
SHRUB PLANTING DETAIL

NOT TO SCALE

PKJ DESIGN GROUP



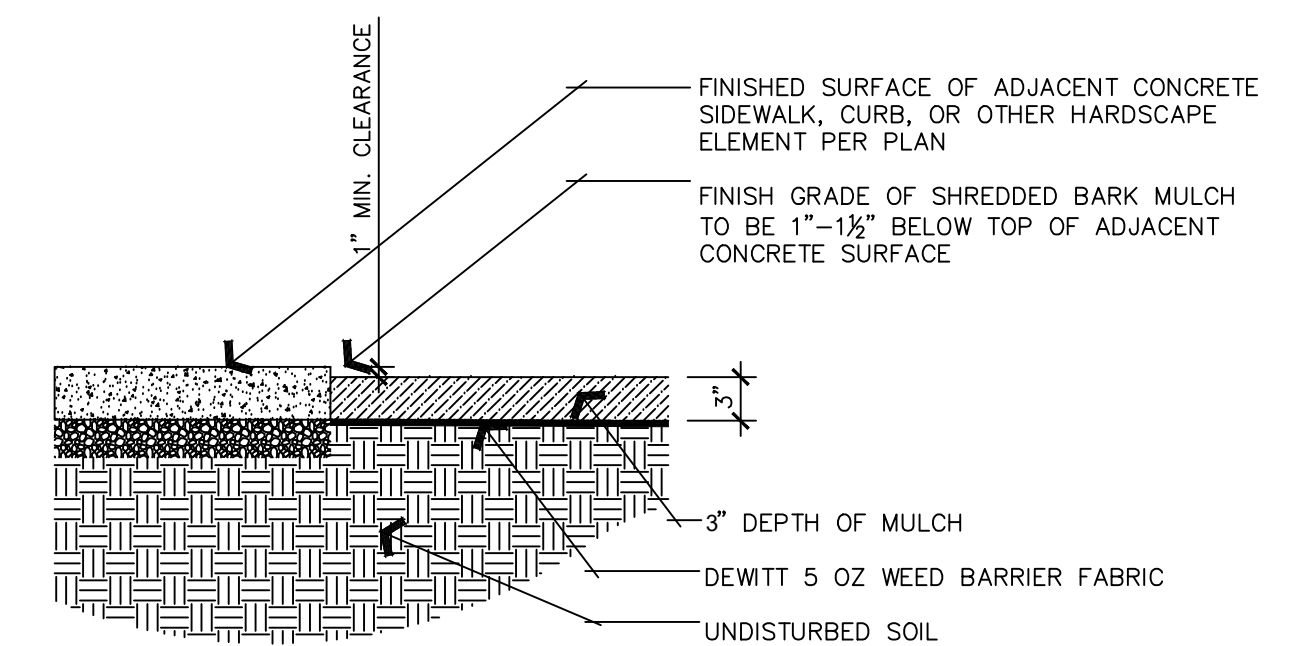
PERENNIAL PLANTING



G **GROUND COVER**

NOT TO SCALE

PKJ DESIGN GROUP

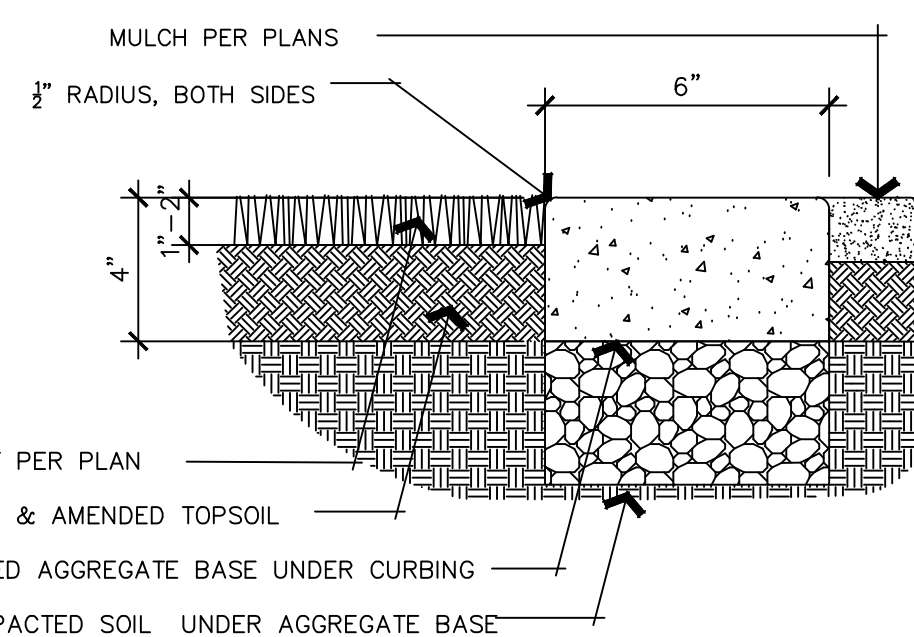


MULCH DETAIL

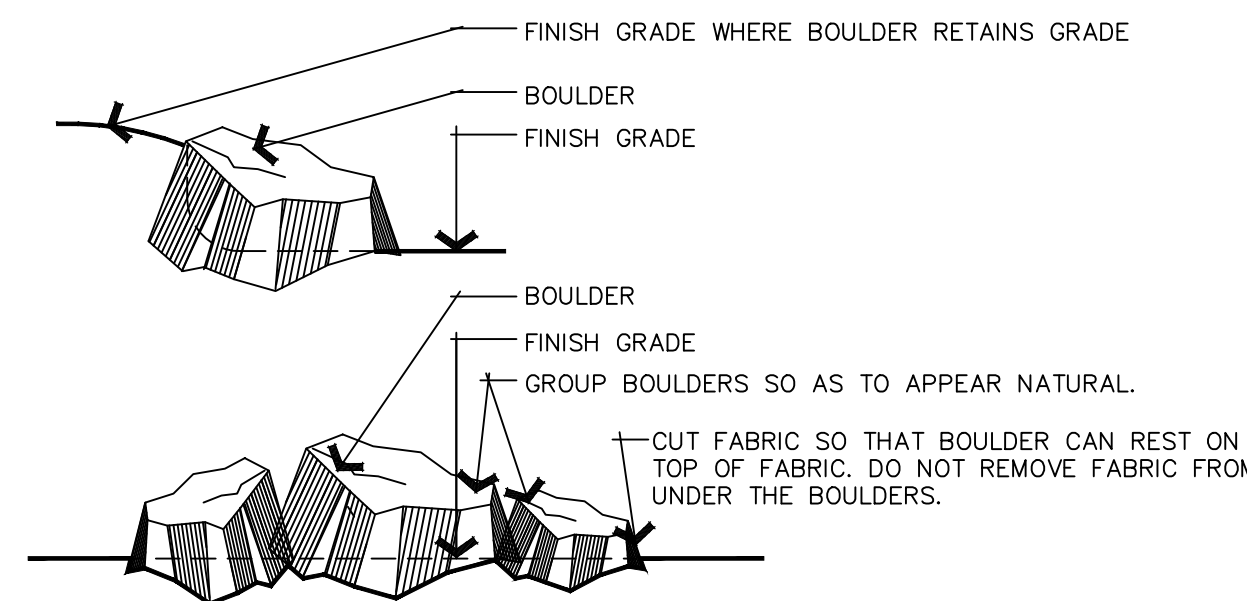
NOT TO SCALE

PKJ DESIGN GROUP

1. PROVIDE CONTROL JOINT IN CONCRETE EDGE AT 10' INTERVALS, PROVIDE EXPANSION JOINTS EVERY 30'.



CONCRETE MOWCURB DETAIL

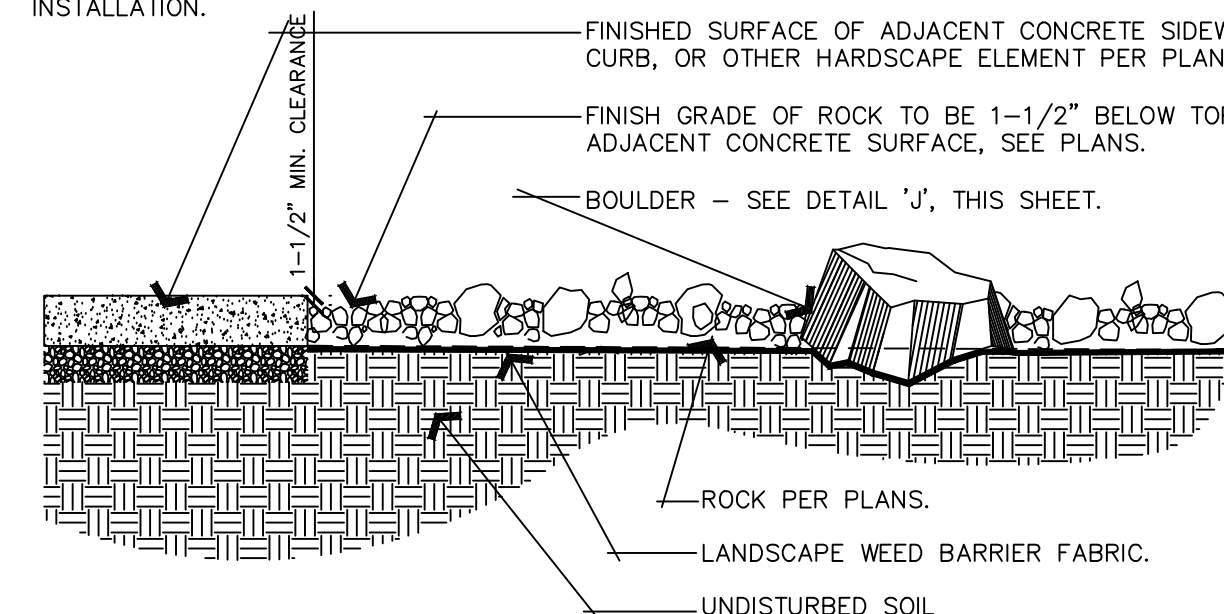


NOTE:
PLACE ALL BOULDERS SUCH THAT 1/4 OF THE
TOTAL MASS OF EACH BOULDER IS BELOW FINISH
GRADE.

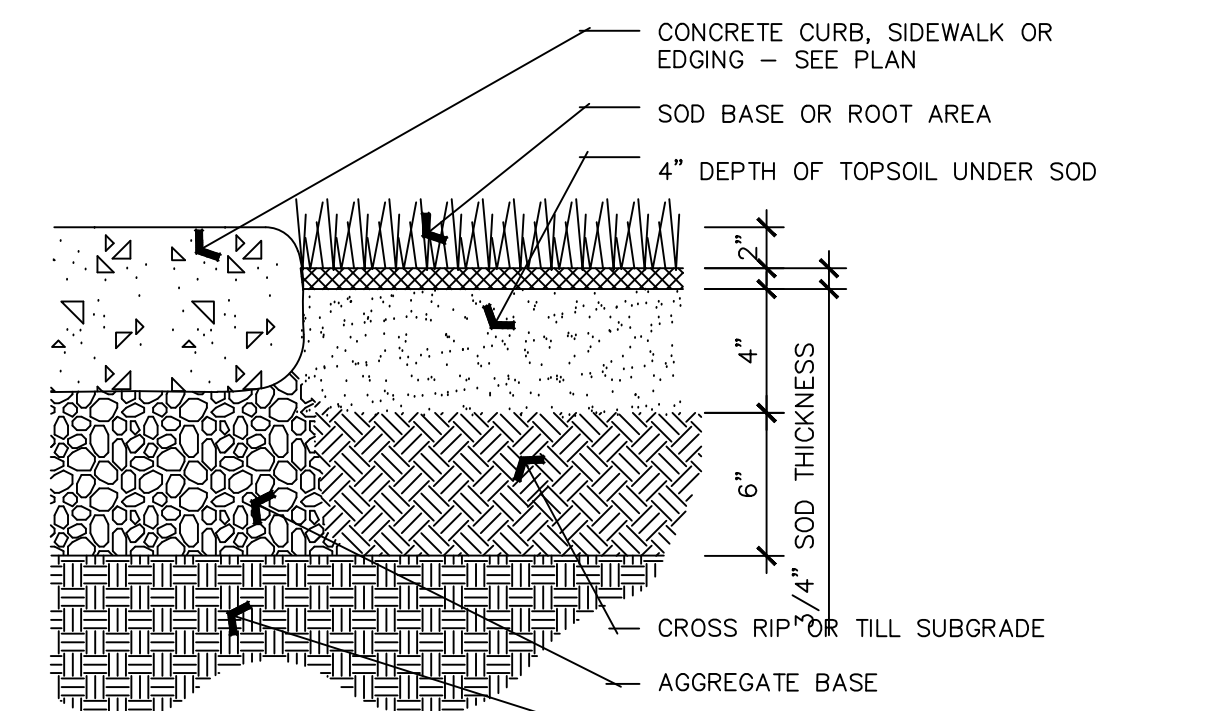
BOULDER PLACEMENT DETAIL

NOT TO SCALE

PKJ DESIGN GROUP



COBBLE ROCK AND WEED BARRIER DETAIL



DENSITY



NOTES: .

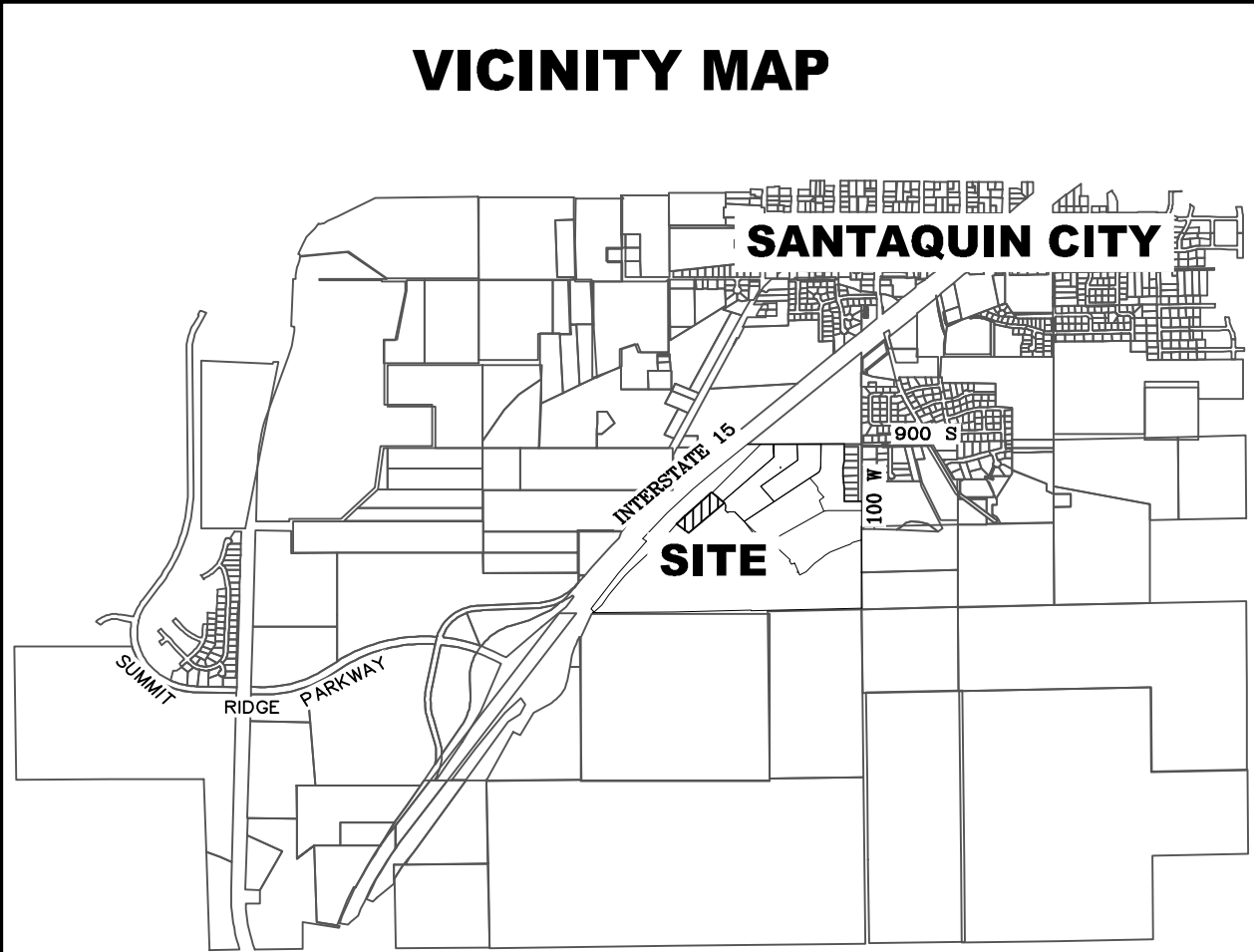
1. ENSURE FINISH GRADE IS 1"– 2" BELOW TOP OF CURB, WALK, OR EDGING.
2. TURF IS THE MOST HEALTHY AND WATER EFFICIENT WHEN MOWED AT A MIN. HEIGHT OF 2" – 2 ½".

SOD LAYING DETAIL

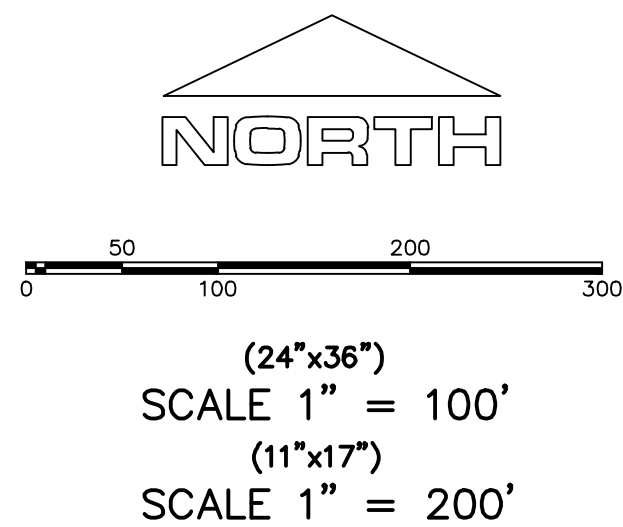
NOT TO SCALE

PKJ DESIGN GROUP

ISSUE DATE			PROJECT NUMBER			PLAN INFORMATION			PROJECT INFORMATION			DEVELOPER / PROPERTY OWNER / CLIENT			LANDSCAPE ARCHITECT / PLANNER			LICENSE STAMP																				
07-27-2020			UT20039			<div><div>811</div><div>BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC 1-800-662-4111 www.bluestakes.org</div></div>			<div>ORCHARD HILLS TOWNHOMES</div> <div>120 EAST AND 610 SOUTH SANTAQUIN, UTAH</div>			<div>Developer / Property Owner:</div> <div>ORCHARD HILLS TOWNHOMES 95 WEST 200 NORTH #2 SPANISH FORK, UT 84660</div>			<div><div></div><div>PKJ DESIGN GROUP Landscape Architecture • Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com</div></div>			<div><div></div><div>PM: JTA DRAWN: KBA CHECKED: TM PLOT DATE: 7/27/2020</div></div>																				
<table><tr><th>NO.</th><th>REVISION</th><th>DATE</th></tr><tr><td>1</td><td>XXXX</td><td>XX-XX-XX</td></tr><tr><td>2</td><td></td><td></td></tr><tr><td>3</td><td></td><td></td></tr><tr><td>4</td><td></td><td></td></tr><tr><td>5</td><td></td><td></td></tr><tr><td>6</td><td></td><td></td></tr><tr><td>7</td><td></td><td></td></tr></table>			NO.	REVISION	DATE																1	XXXX	XX-XX-XX	2			3			4			5			6		
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ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



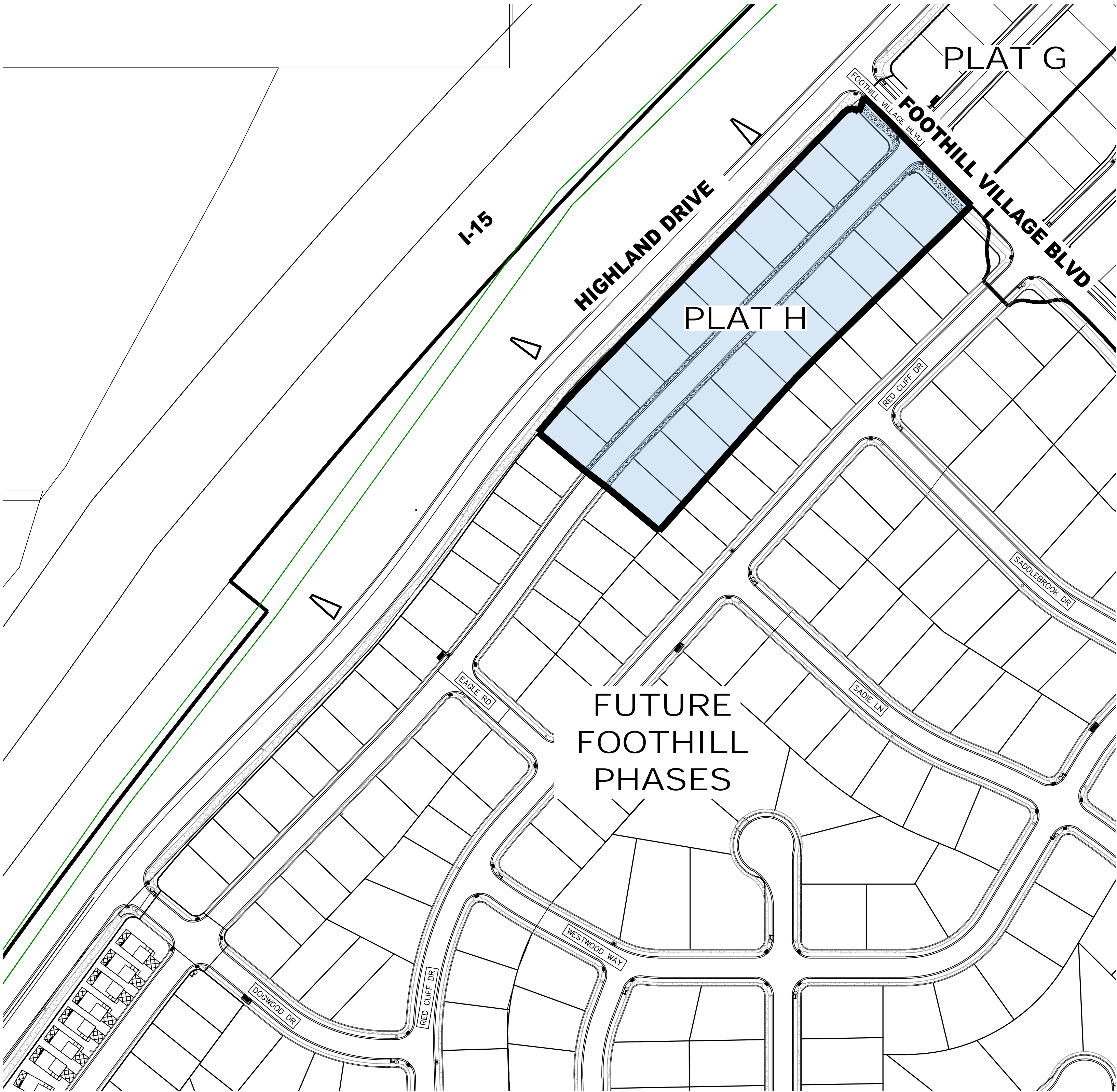
NOTES:

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PL STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED.
7. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
8. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

ACCEPTANCE		
SIGNATURE: DEVELOPER	DATE: _____	
SIGNATURE: CITY ENGINEER	DATE: _____	
SIGNATURE: COMMUNITY DEV. DIRECTOR	DATE: _____	
SIGNATURE: PUBLIC WORKS	DATE: _____	
SIGNATURE: BUILDING DEPARTMENT	DATE: _____	
SIGNATURE: POLICE DEPARTMENT	DATE: _____	
SIGNATURE: FIRE DEPARTMENT	DATE: _____	

FOOTHILL VILLAGE SUBDIVISION PLAT 'H'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11,
TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
Santaquin, Utah County, Utah



PROJECT STATISTICS

LOTS 22 LOTS
TOTAL ACREAGE 3.74 ACRES
TOTAL ACREAGE IN LOTS 2.92 ACRES
TOTAL ACREAGE IN STREETS 0.82 ACRES
DENSITY 5.88 UNITS PER ACRE
ZONE R10 PUD

PROJECT ENGINEER
& SURVEYOR

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245

PROJECT DEVELOPER

SALISBURY DEVELOPMENT
494 WEST 1300 NORTH
SPRINGVILLE, UTAH 84663
(801) 491-9091

INDEX OF PLAN SHEETS

SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PLAT	FINAL PLAT
SP-01	SITE & UTILITY PLAN
GR-01-02	GRADING PLAN
PP-01-02	PLAN & PROFILE
EC-01	EROSION CONTROL PLAN
EC-02	EROSION CONTROL DETAILS
DT-01	TYPICAL DETAILS

Engineering
& Surveying

region

1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



FOOTHILL VILLAGE SUBDIVISION
PLAT 'H'

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.26.2020

PROJECT #

REVISIONS:

- 1
- 2
- 3

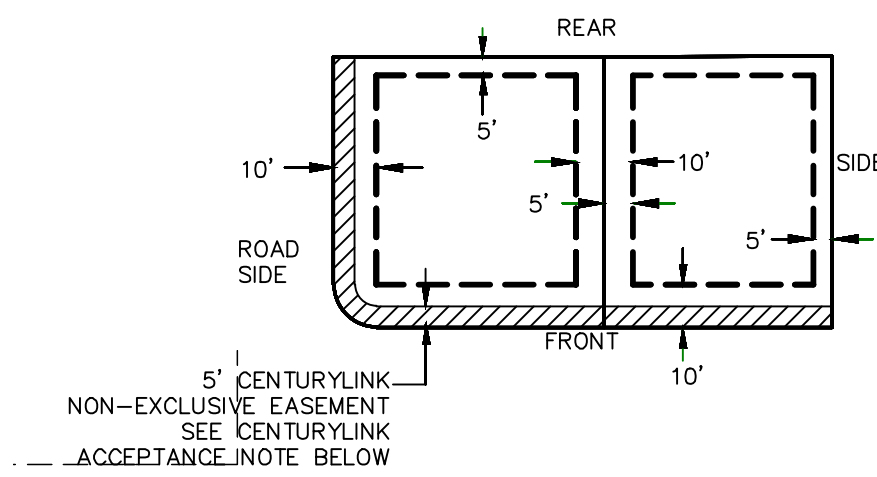
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COVER SHEET & NOTES

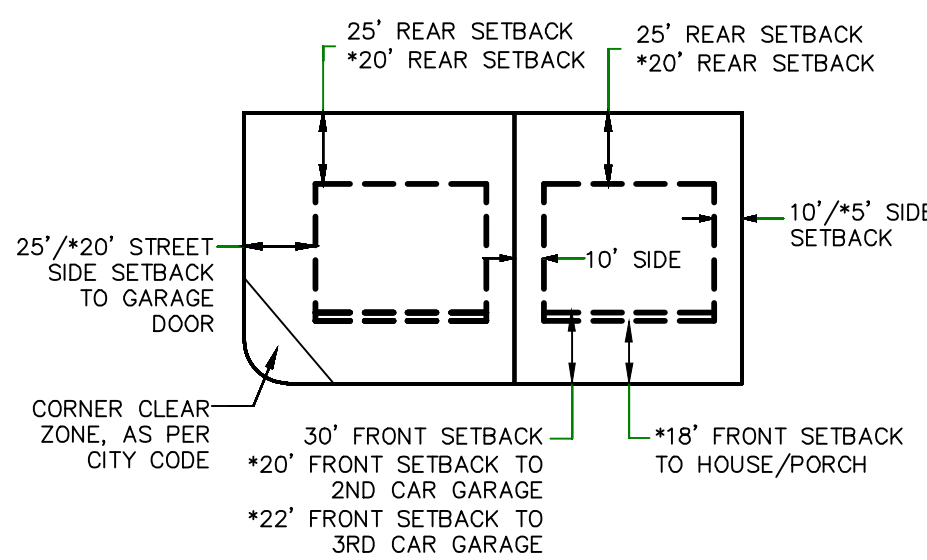
SHEET:

CS-01

PUBLIC UTILITY EASEMENTS

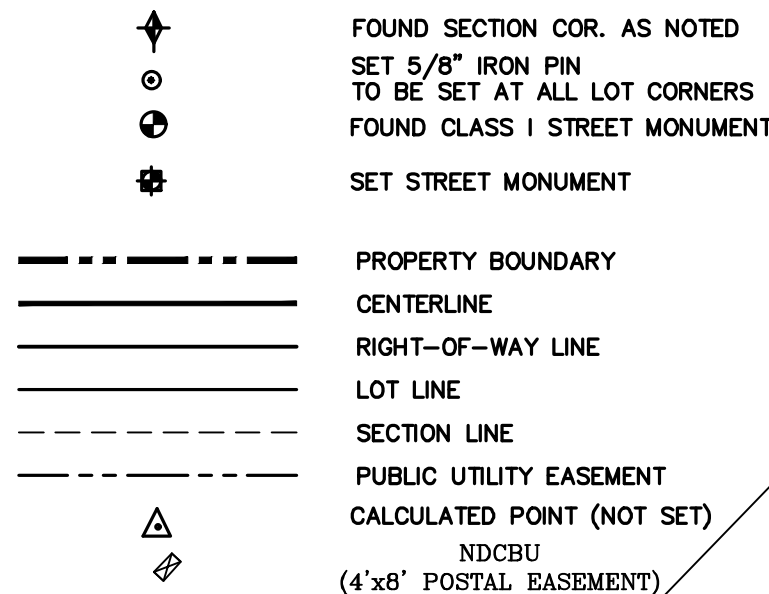


BUILDING SETBACKS (MINIMUM)

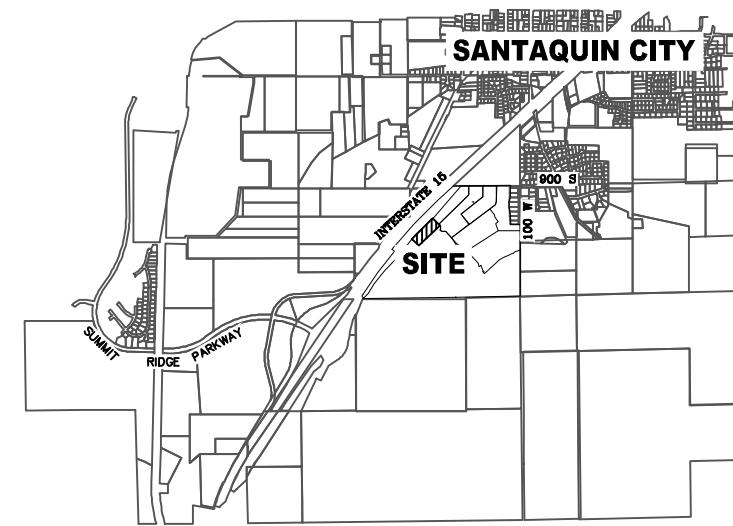


*FOR LOTS LESS THAN 110' IN DEPTH

LEGEND

FOOTHILL VILLAGE SUBDIVISION
PLAT 'H'LOCATED IN THE SOUTHWEST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
Santaquin, Utah County, Utah

VICINITY MAP



Surveyor's Certificate

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

Boundary Description

BEGINNING AT A POINT THAT IS S.0°04'51"E. ALONG THE SECTION LINE 942.14 FEET AND WEST 1918.51 FEET FROM THE EAST ¼ CORNER OF SECTION 11, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;

THENCE, S 45° 37' 12" W FOR A DISTANCE OF 66.27 FEET TO A POINT ON A LINE.

THENCE, S 45° 37' 13" W FOR A DISTANCE OF 251.33 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 03° 58' 35", HAVING A RADIUS OF 1621.50 FEET, AND WHOSE LONG CHORD BEARS S 43° 37' 55" W FOR A DISTANCE OF 112.51 FEET.

THENCE, S 41° 38' 38" W FOR A DISTANCE OF 256.70 FEET TO A POINT ON A LINE.

THENCE, N 50° 18' 25" W FOR A DISTANCE OF 102.18 FEET TO A POINT ON A LINE.

THENCE, N 52° 56' 27" W FOR A DISTANCE OF 45.05 FEET TO A POINT ON A LINE.

THENCE, N 50° 23' 36" W FOR A DISTANCE OF 90.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE.

SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 04° 27' 43", HAVING A RADIUS OF 1463.00 FEET, AND WHOSE LONG CHORD BEARS N 41° 50' 15" E FOR A DISTANCE OF 113.90 FEET.

THENCE, N 44° 04' 07" E FOR A DISTANCE OF 561.95 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 91° 33' 06", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS N 89° 50' 40" E FOR A DISTANCE OF 21.50 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.

THENCE, N 20° 31' 43" E FOR A DISTANCE OF 24.29 FEET TO A POINT ON A LINE.

THENCE S 44° 22' 47" E A DISTANCE OF 232.02 FEET TO THE POINT OF BEGINNING

CONTAINS: ±3.74 ACRES AND 22 TOTAL LOTS

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	28.82'	1350.50'	28.82'	S40°15'37"W	11°3'21"
C2	75.35'	1350.50'	75.34'	S42°28'12"W	3°11'49"
C3	112.53'	1621.50'	112.51'	S43°37'55"W	3°58'35"
C4	113.93'	1463.00'	113.90'	N41°50'15"E	4°27'43"
C5	23.97'	15.00'	21.50'	N89°50'40"E	91°33'06"
C6	39.97'	1621.50'	39.97'	S42°21'00"W	1°24'44"
C7	55.00'	1621.50'	55.00'	S44°01'41"W	1°56'37"
C8	17.56'	1621.50'	17.56'	S45°18'36"W	0°37'14"
C9	56.58'	1463.00'	56.58'	N42°57'38"E	2°12'57"
C10	57.35'	1463.00'	57.35'	N40°43'47"E	2°14'46"
C11	27.32'	1328.00'	27.32'	S40°16'56"W	1°10'43"
C12	32.68'	1328.00'	32.68'	S41°34'36"W	1°24'36"
C13	41.42'	1328.00'	41.41'	S43°10'31"W	1°47'13"
C14	23.97'	15.00'	21.50'	S89°50'40"W	91°33'06"
C15	23.16'	15.00'	20.92'	N0°09'20"W	88°26'54"
C16	53.10'	1373.00'	53.10'	N42°57'38"E	2°12'57"
C17	23.51'	1373.00'	23.51'	N41°21'44"E	0°58'52"
C18	30.32'	1373.00'	30.31'	N40°14'21"E	1°15'54"

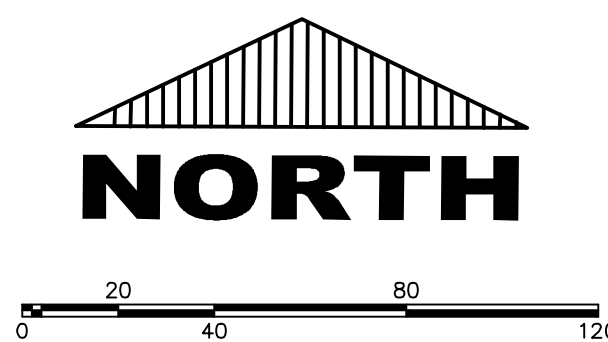
EAST 1/4 CORNER OF SECTION 11,
T10S, R1E, S.L.B.&M.
(2012 UTAH COUNTY MONUMENT)

UTILITIES APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE, AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER

CENTRACOM

(24"x36")
SCALE 1" = 40'
(11"x17")
SCALE 1" = 80'

DOMINION ENERGY ACCEPTANCE

DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS _____ DAY OF _____, 20 ____

DOMINION ENERGY COMPANY

BY- _____

TITLE- _____

PROJECT STATISTICS

LOTS 22 LOTS
TOTAL ACREAGE 3.74 ACRES
TOTAL ACREAGE IN LOTS 2.92 ACRES
TOTAL ACREAGE IN STREETS 0.82 ACRES
DENSITY 5.88 UNITS PER ACRE
ZONE R10 PUD

PROJECT DEVELOPER

DR HORTON
12351 So. Gateway Park Place
Suite D-100
Draper UT 84020
Office: (801) 571-7101
CKLeavitt1@drhorton.com

PROJECT ENGINEER
& SURVEYOR

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245

CENTURYLINK ACCEPTANCE

CENTURYLINK SHALL HAVE THE RIGHT TO A FIVE FOOT NON-EXCLUSIVE UTILITY EASEMENT TO INSTALL, MAINTAIN AND OPERATE ITS EQUIPMENT ABOVE AND BELOW GROUND AS IDENTIFIED ON THE PLAT MAP AND AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES, UPON RECORDING OF THE PLAT MAP. CENTURYLINK VACATES, TERMINATES, RELEASES AND DISCLAIMS ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, AND ANY OTHER PROPERTY RIGHTS AND INTERESTS CENTURYLINK MAY OWN, HOLD, BENEFIT FROM, OR POSSESS IN RELATION TO THAT CERTAIN RIGHT OF WAY EASEMENT IN FAVOR OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY DATED JANUARY 8, 1929, AND RECORDED ON JANUARY 9, 1929, AS ENTRY NO. 215, IN BOOK 269, AT PAGE 468, TO THE EXTENT THAT SUCH RIGHT OF WAY EASEMENT PERTAINS TO OR EFFECTS ANY OF THE REAL PROPERTY THAT IS DESCRIBED ON AND IS SUBJECT TO THIS PLAT.

BASIS OF BEARING

THE BASIS OF BEARING FOR THE FOOTHILL VILLAGES PLAT 'H' IS ON THE SECTION LINE BETWEEN THE EAST 1/4 CORNER AND THE SOUTHEAST CORNER OF SECTION 11, T10S, R1E, S.L.B.&M WITH THE BEARING BEING S0°04'51"E ALONG SAID LINE.

NOTES:

1. @ ... TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET.
2. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS, NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
3. XXXX ... PROPOSED RESIDENTIAL ADDRESS
3. (XXXX S.F.) AREA IN PARENTHESIS DENOTES BUILDABLE AREA

NDCBU (8x4 POSTAL BOX EASEMENT)

CENTURY LINK

FOOTHILL
VILLAGES
FUTURE PHASESFOOTHILL VILLAGE SUBDIVISION
PLAT 'H'

UTAH COUNTY, UTAH

SCALE: 1" = 40 FEET

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY-RECORDER SEAL
PROFESSIONAL LAND SURVEYOR No. 368356 ROBBIN J. MULLEN STATE OF UTAH			

This form approved by Utah County and the municipalities therein.

NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTES:

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INSPECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED.
7. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
8. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 2 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 3 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
- 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 7 STOP/STREET SIGN
- 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- 9 ARTERIAL STREET LIGHT

LEGEND

- EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
EXISTING DEED LINE
EXISTING STORM MAIN
EXISTING SEWER MAIN
EXISTING WATER MAIN
EXISTING PI MAIN
EXISTING CONCRETE
PI/WAT/SEWER LATERAL
PROPOSED ASPHALT
PROPOSED CONCRETE
PROPOSED CURB & GUTTER
PROPOSED LOT LINE
BOUNDARY LINE
RIGHT OF WAY LINE
PROPOSED STORM MAIN
PROPOSED CUL MAIN
PROPOSED SEWER MAIN
PROPOSED WAT/PI/SEWER SERVICE LATERALS
RESIDENTIAL STREET LIGHT
PROPOSED VALVE (WAT/PI)
PROPOSED SEWER MANHOLE
PROPOSED STORM INLET/MANHOLE
PROPOSED ADA RAMP
PROPOSED STOP/STREET SIGN
PROPOSED FIRE HYDRANT

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

NORTH

0 20 40 80 120

(24"x36")
SCALE 1" = 40'

(11"x17")
SCALE 1" = 80'

INSTALL 6' MASON FENCE ALONG BOUNDARY
PER DETAIL ON SHEET DT-01

10' TRAIL ALONG HIGHLAND DRIVE
(SEE HIGHLAND DRIVE PLAN SET)

10' TRAIL ALONG SOUTH SIDE
OF FOOTHILL VILLAGE BLVD

SSMH # (132)
(Existing)

SSMH # (133)
(Existing)

SSMH # (134)
(Existing)

TEMPORARY ACCESS ROAD
28' OF 6" COMPACTED ROAD BASE
(TIE INTO EXISTING ROAD FROM PHASE 1)
(SEE SHEET GR-02)

EXISTING SEWER IN ROAD, NO ADDITIONAL
UTILITIES AT THIS TIME

Engineering
& Surveying

region



FOOTHILL VILLAGE SUBDIVISION
PLAT 'H'

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE:6.26.2020

PROJECT #

REVISIONS:

1

2

3

SHEET NAME:

SITE/UTILITY PLAN

SHEET:

SP-01

NOTES:

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND FL. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED.
7. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
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NOTES TO CONTRACTOR:

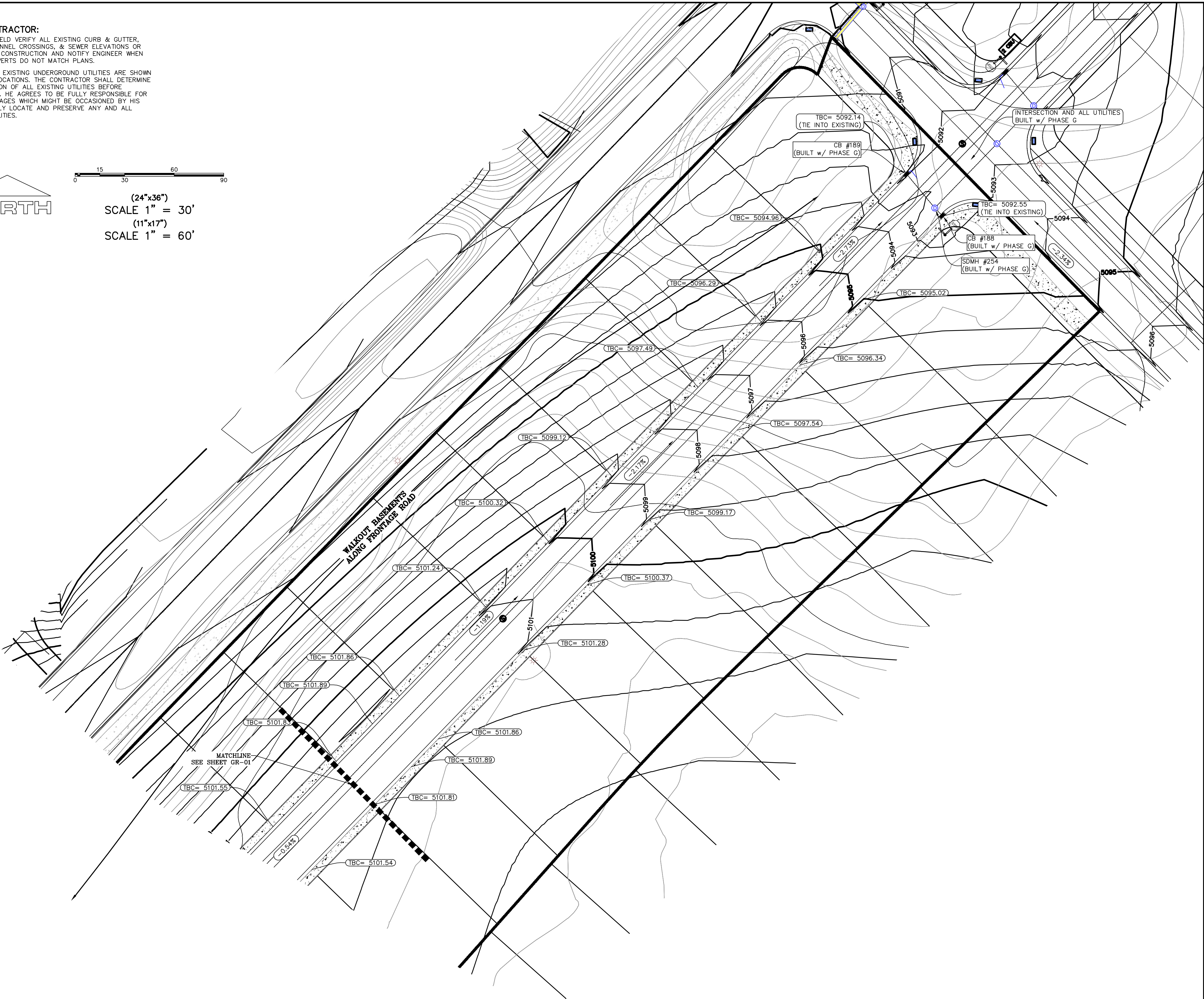
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0 15 30 60 90

(24"x36")
SCALE 1" = 30'
(11"x17")
SCALE 1" = 60'



Engineering
& Surveying

region



FOOTHILL VILLAGE SUBDIVISION
PLAT 'H'

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE:6.26.2020

PROJECT #

REVISIONS:

1
2
3

SHEET NAME:

GRADING PLAN

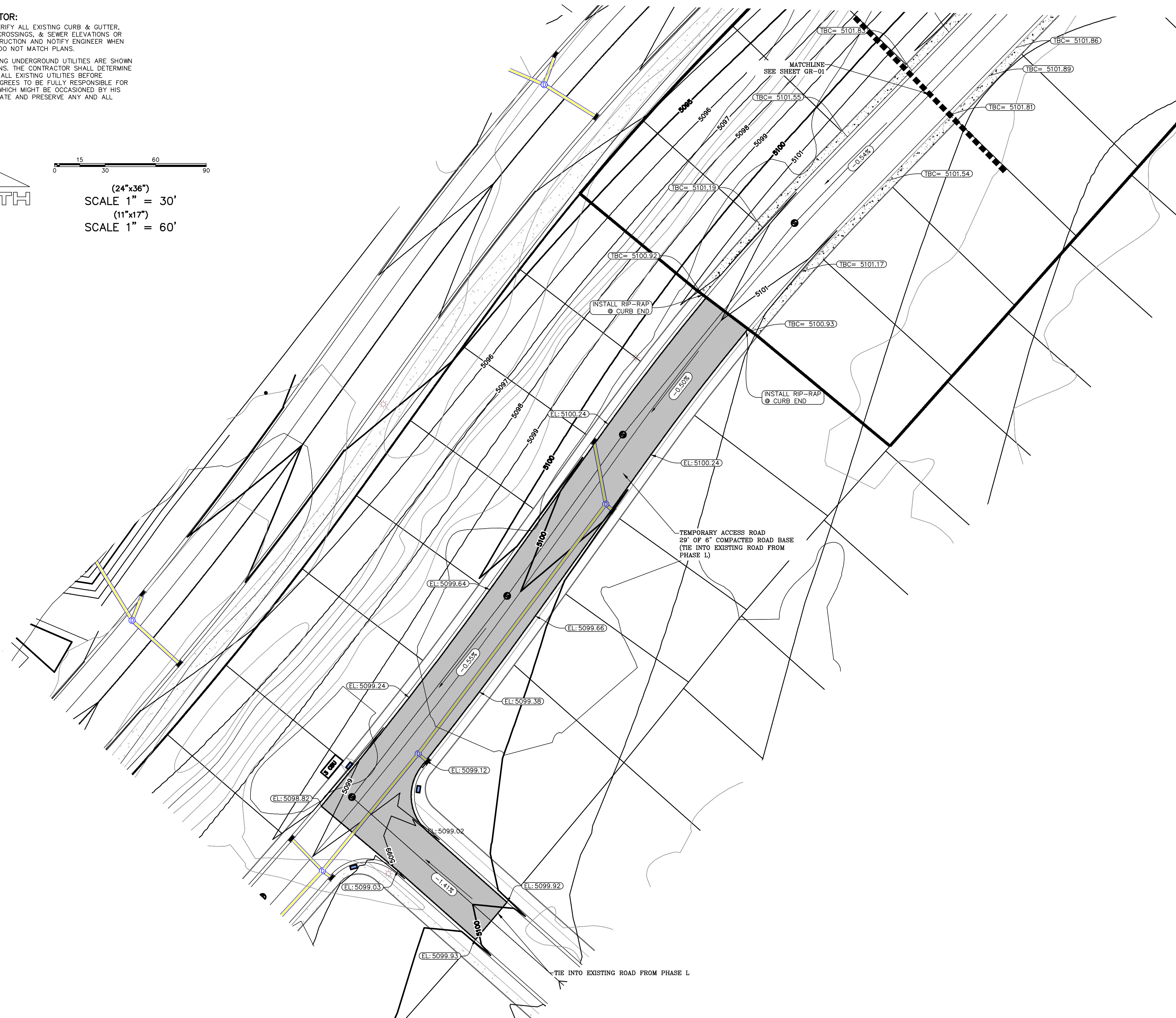
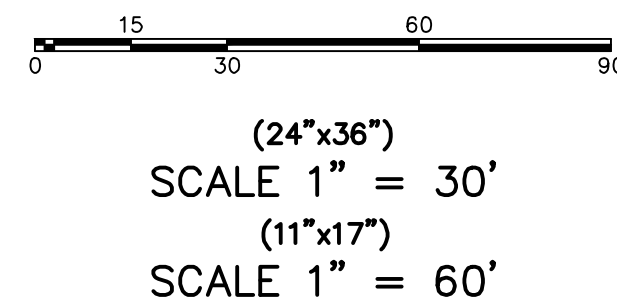
SHEET:

GR-01

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS PROJECT ARE IN COMPLIANCE WITH ALL CITY OF SALT LAKE COUNTY, UTAH, AND ALL STATE AND SALT LAKE CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SALT LAKE CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SALT LAKE CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SALT LAKE CITY STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
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5. 5' MINIMUM OF HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
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region
Engineering
& Surveying

1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



**FOOTHILL VILLAGE SUBDIVISION
PLAT 'H'**

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

PROJECT #

REVISIONS

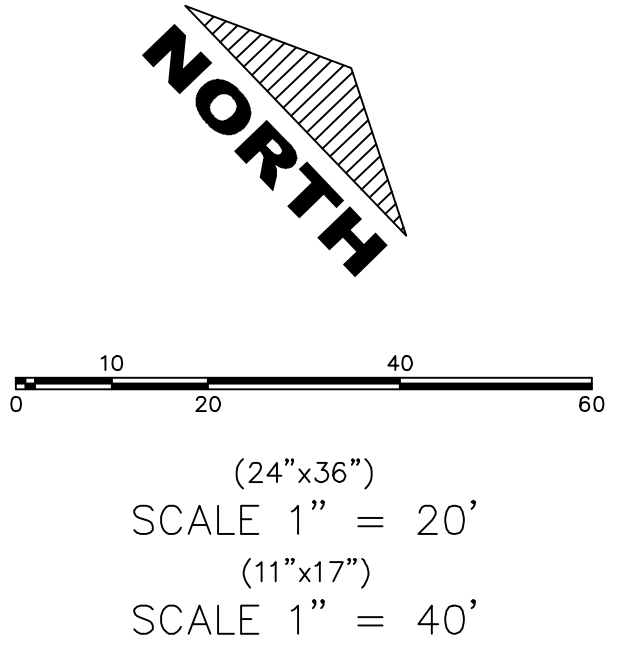
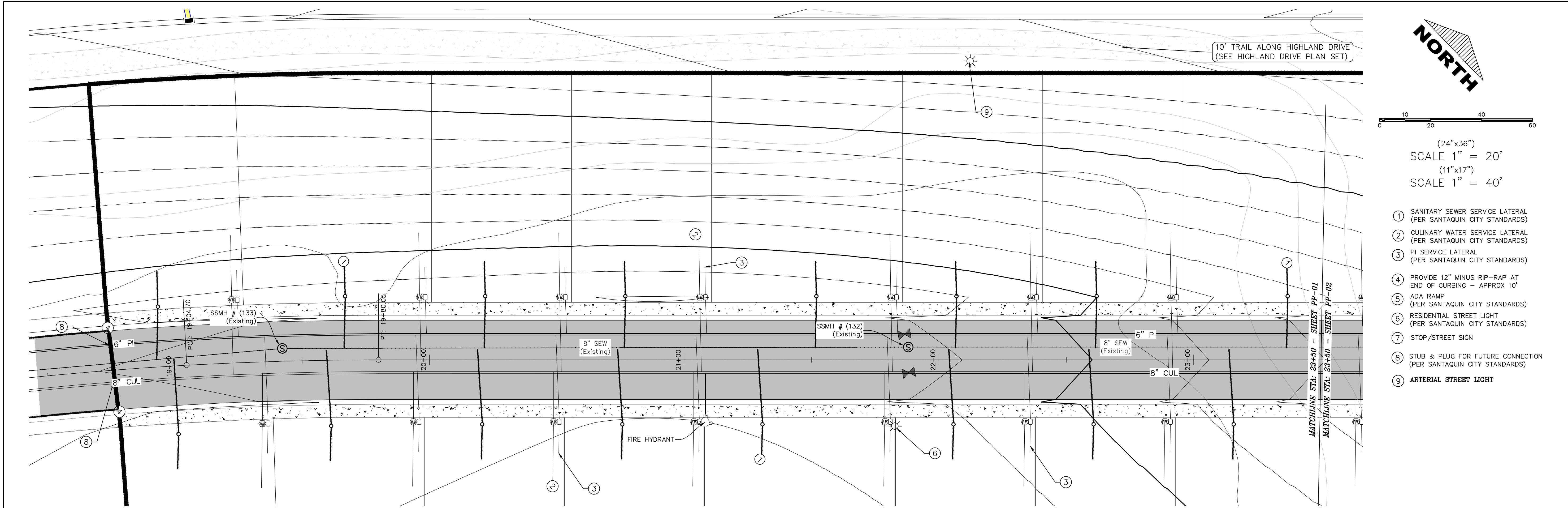
Diagram illustrating three triangles stacked vertically, labeled 1, 2, and 3 from top to bottom.

SHEET NAME

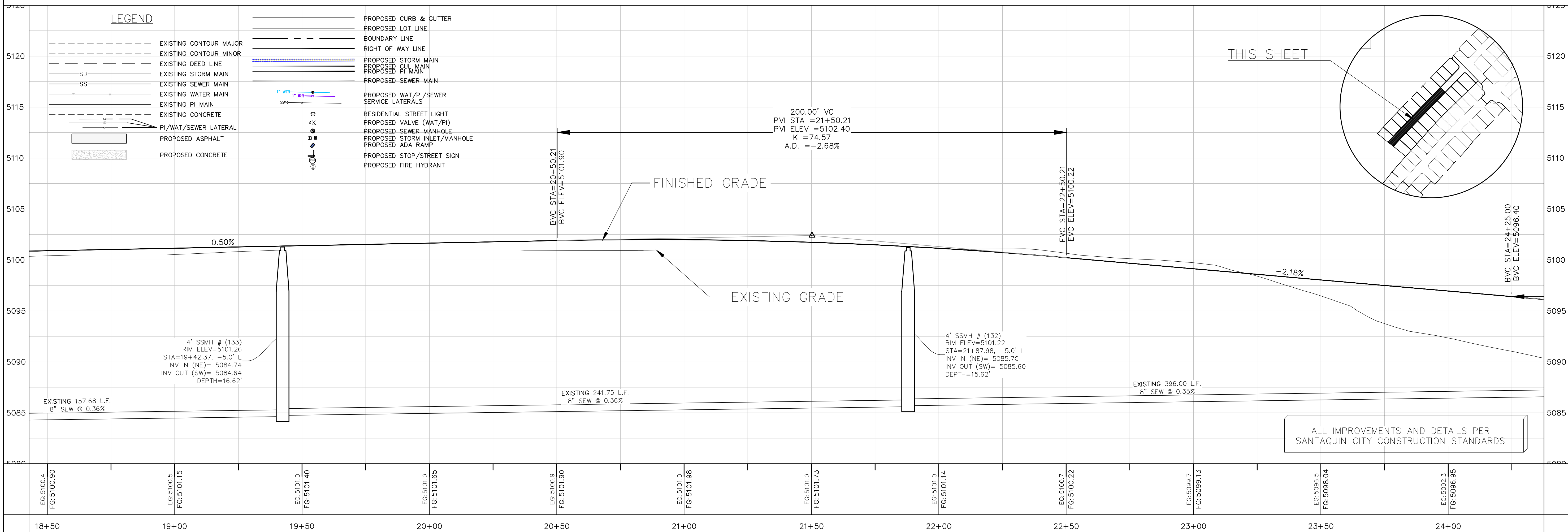
GRADING PLAN

MEET

GR-02



- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 2 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 3 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 PROVIDE 12\"/>
- 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
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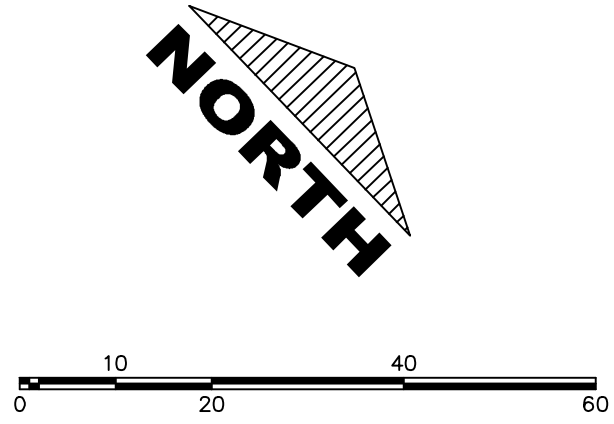
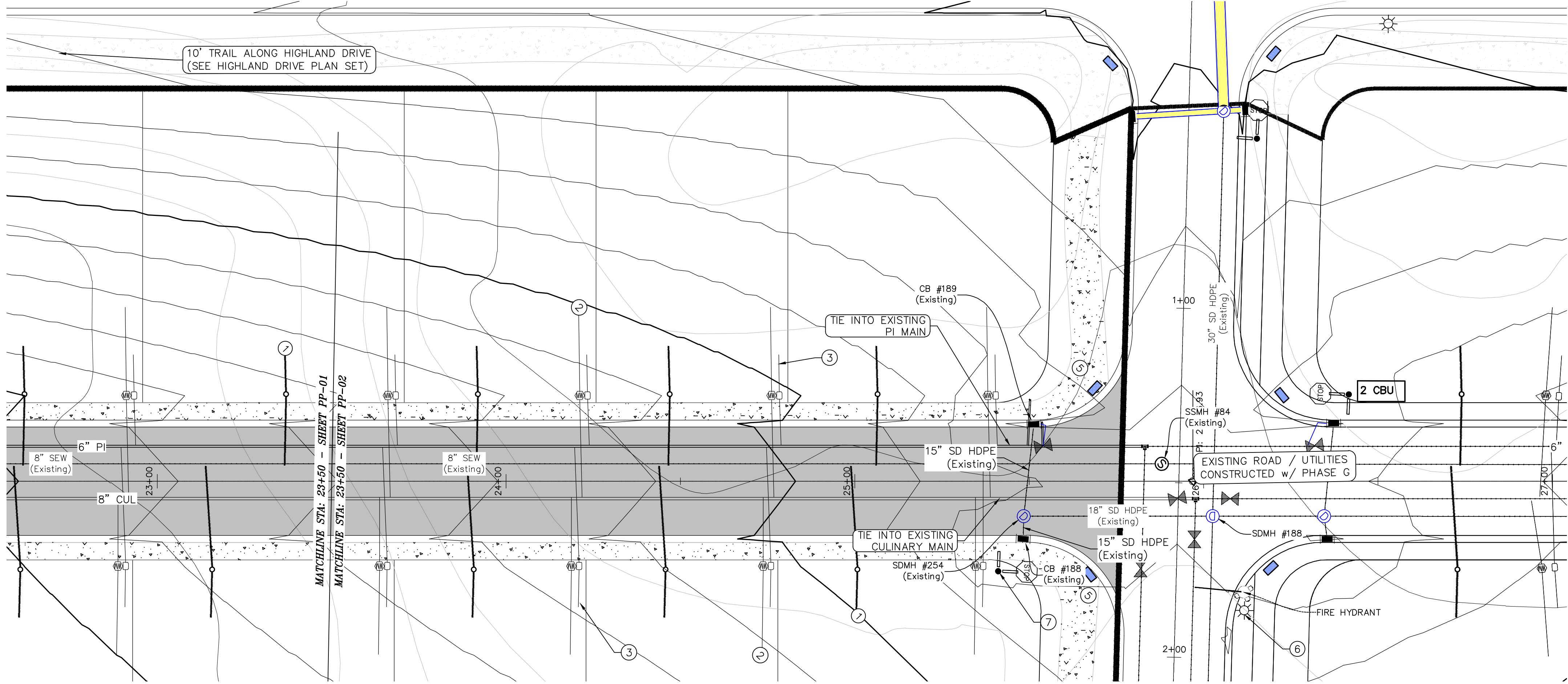
region
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PROJECT #	
REVISIONS:	
1	
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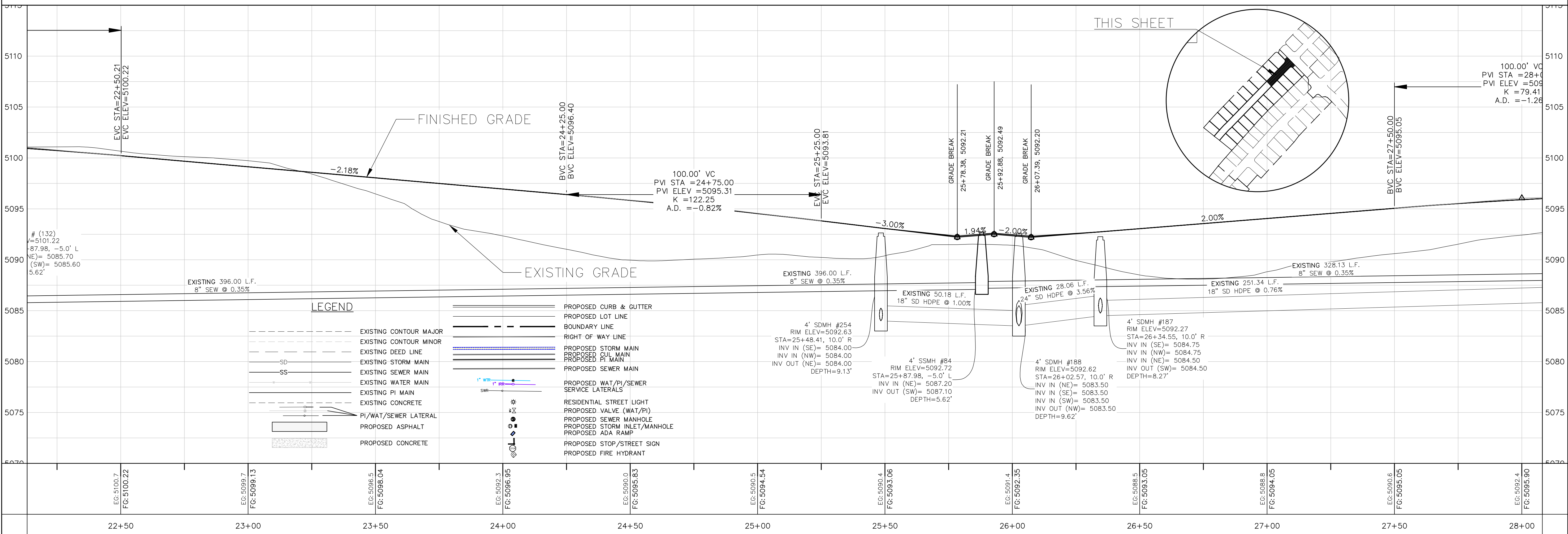
SHEET NAME:
PLAN & PROFILE
SHEET:
PP-01



(24"x36")
SCALE 1" = 20'
(11"x17")
SCALE 1" = 40'

- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 2 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 3 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
- 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 7 STOP/STREET SIGN
- 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- 9 ARTERIAL STREET LIGHT

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



E:\USERS\SHAWN\PROJECTS\2_REGION PROJECTS\2_REGION ENGINEERING PROJECTS\2016\2016_049_FOOTHILL_SANTAQUIN\2_SHEET FILES\PHASE H\PP-02



FOOTHILL VILLAGE SUBDIVISION
PLAT 'H'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.26.2020

PROJECT #

REVISIONS:

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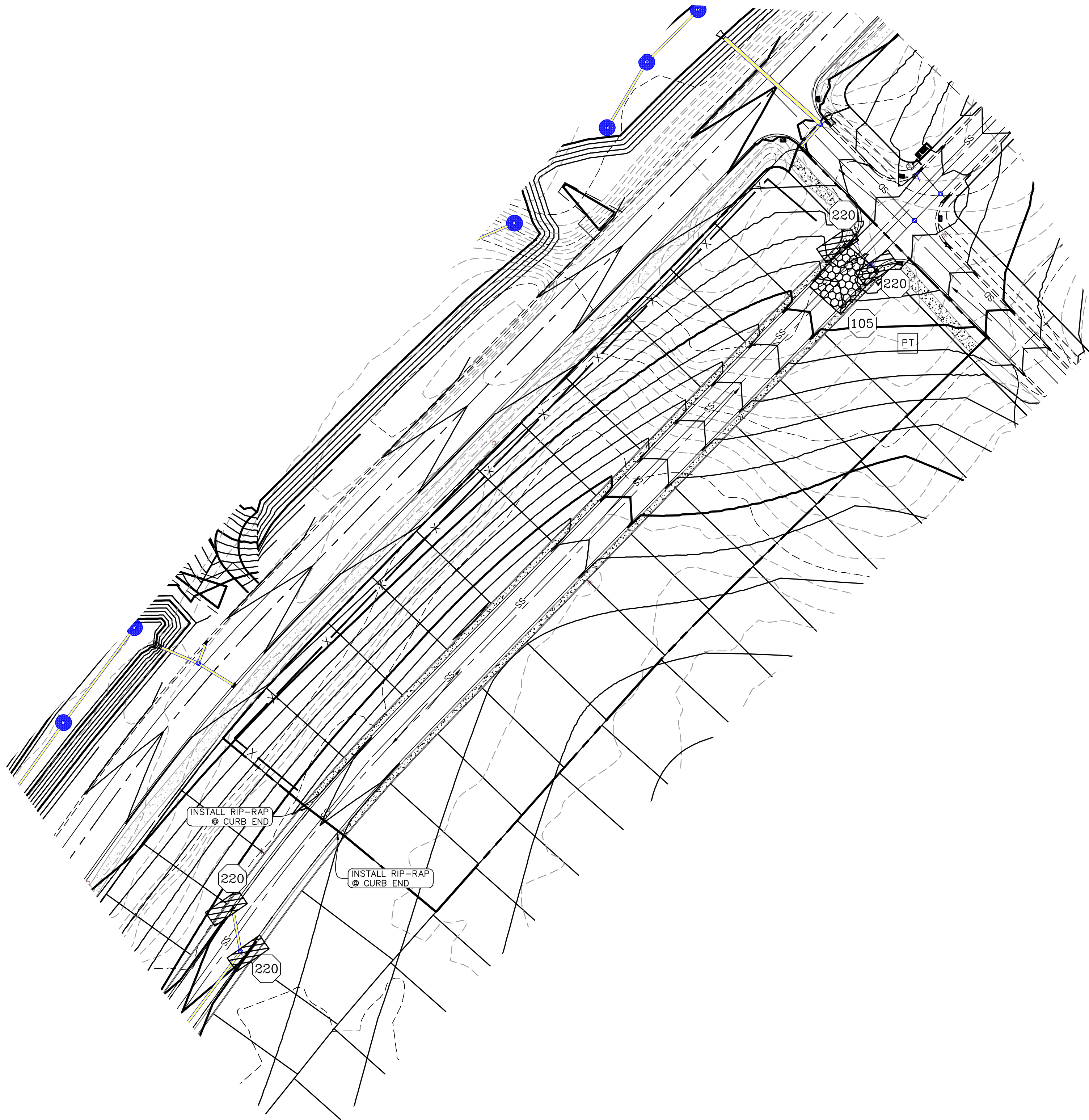
SHEET NAME:
PLAN & PROFILE

SHEET:
PP-02

- LEGEND:
- X — X — PROPOSED SILT FENCE
(SEE SHEET EC-02)
- FLOW ARROW
- 105 220 PROPOSED VEHICLE TRACKING CONTROL
(SEE SHEET EC-02)
- 220 105 PROPOSED CURB INLET PROTECTION
(SEE SHEET EC-02)
- PT PORTABLE TOILETS

NOTES:

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER IS TO BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
7. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSED INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
8. THE CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
9. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE ENGINEERING DEPARTMENT. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.



PROJECT INFORMATION SIGN

- ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
1. THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
 2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS/ EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANGLE CLEARANCES.
 3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY.
 4. THE SIGN SHALL BE A MINIMUM OF 48" x 48" AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE.

DEVELOPERS NAME
(4" Uppercase Bold Letters)

PROJECT NAME
(4" Uppercase Bold Letters)
PERMIT NUMBER
(4" Bold Numbers)

FOR PROJECT SITE CONCERNS CONTACT

Office Phone Contact ###-###-####
(4" Bold Numbers)

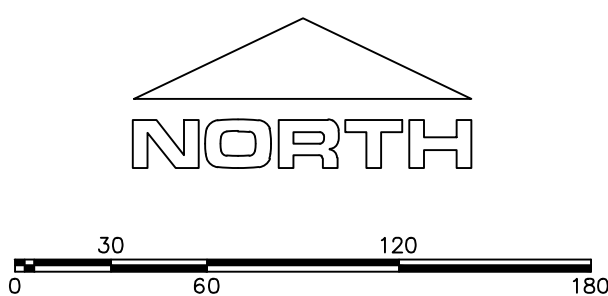
Cell Phone Contact ###-###-####
(4" Bold Numbers)

IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT
505-555-0000
(3" Uppercase Bold Letters and 3" Bold Numbers)

5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER IF IT MEETS THESE REQUIREMENTS..

CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)

BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN	AS NECESSARY
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	POTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	240	SEDIMENT TRAP	AS SHOWN	BEGINING OF CONSTRUCTION TO PLACEMENT OF ASPHALT



(24"x36")
SCALE 1" = 60'
(11"x17")
SCALE 1" = 120'

Engineering & Surveying
region
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



FOOTHILL VILLAGE SUBDIVISION
PLAT 'H'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

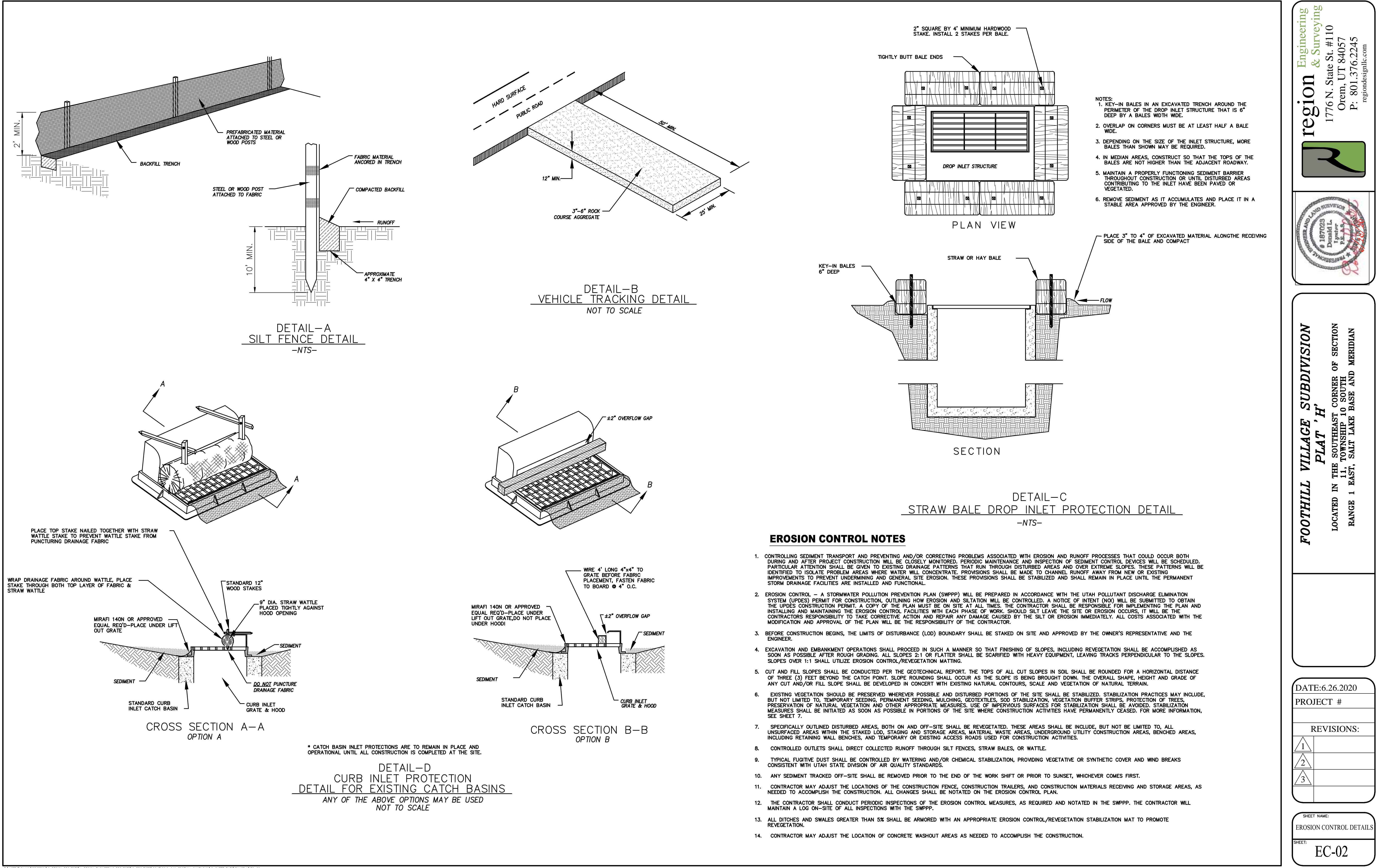
DATE:6.26.2020

PROJECT #

REVISIONS:

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| 3 | |

SHEET NAME:
EROSION CONTROL PLAN
SHEET:
EC-01



Engineering & Surveying

region

1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com

FOOTHILL VILLAGE SUBDIVISION

PLAT 'H'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.26.2020

PROJECT #

REVISIONS:

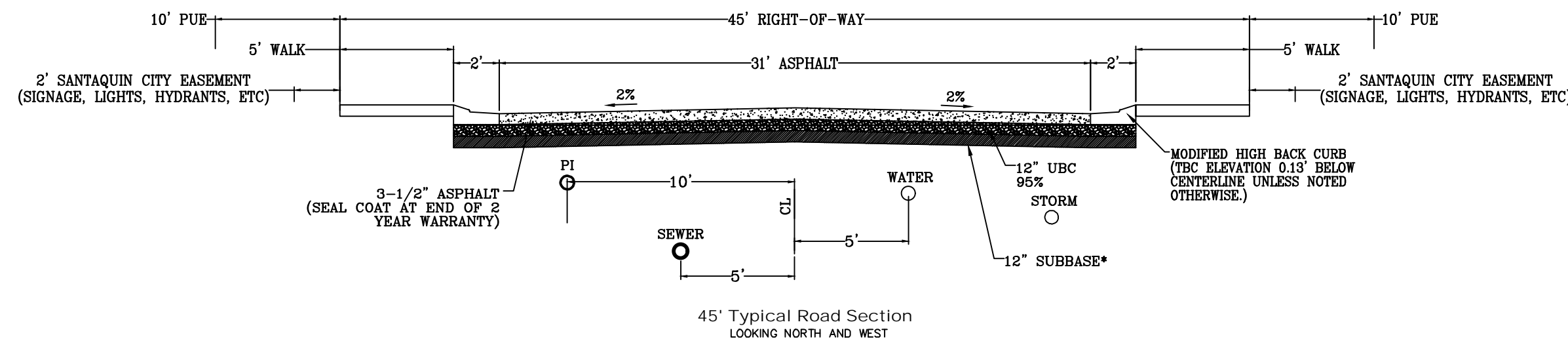
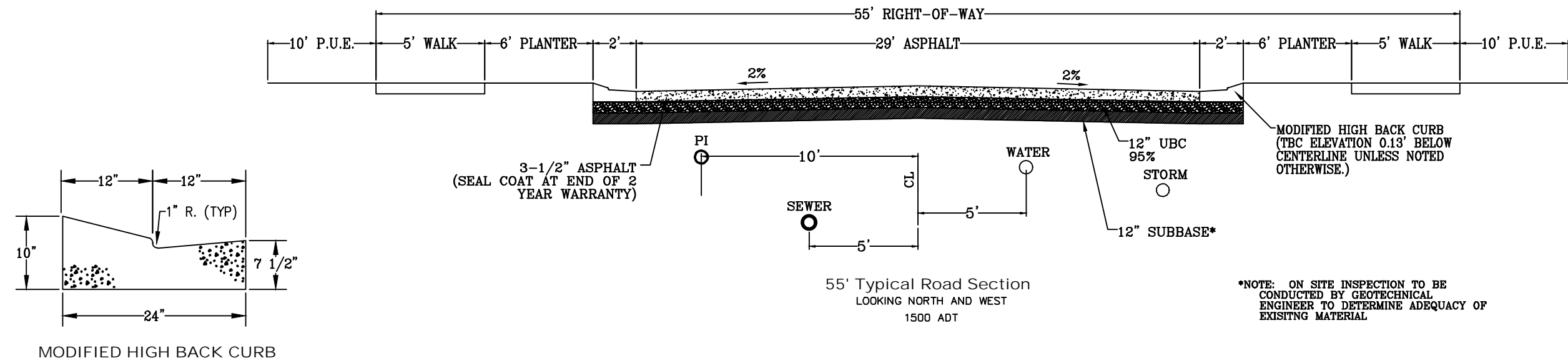
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SHEET NAME:

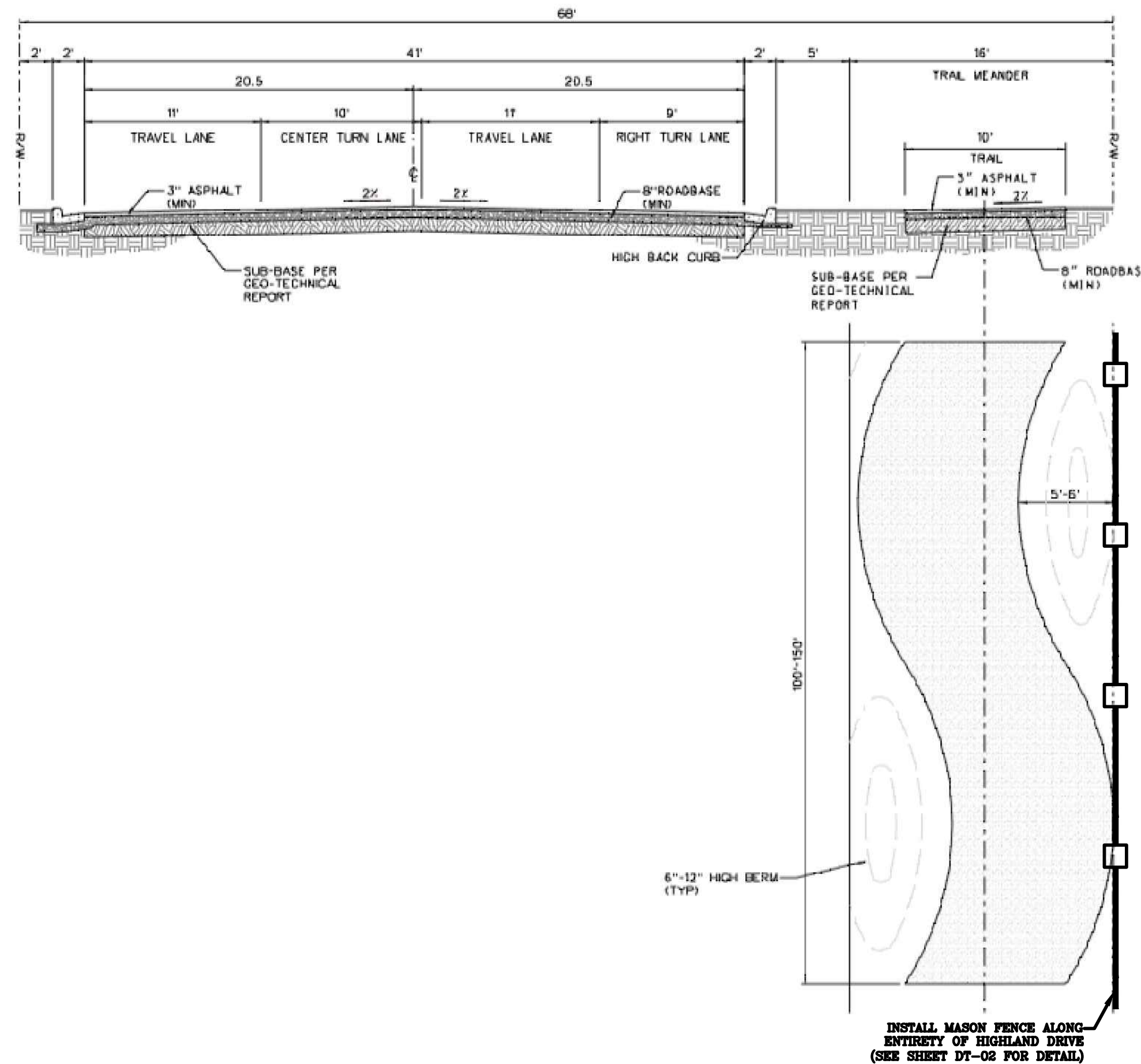
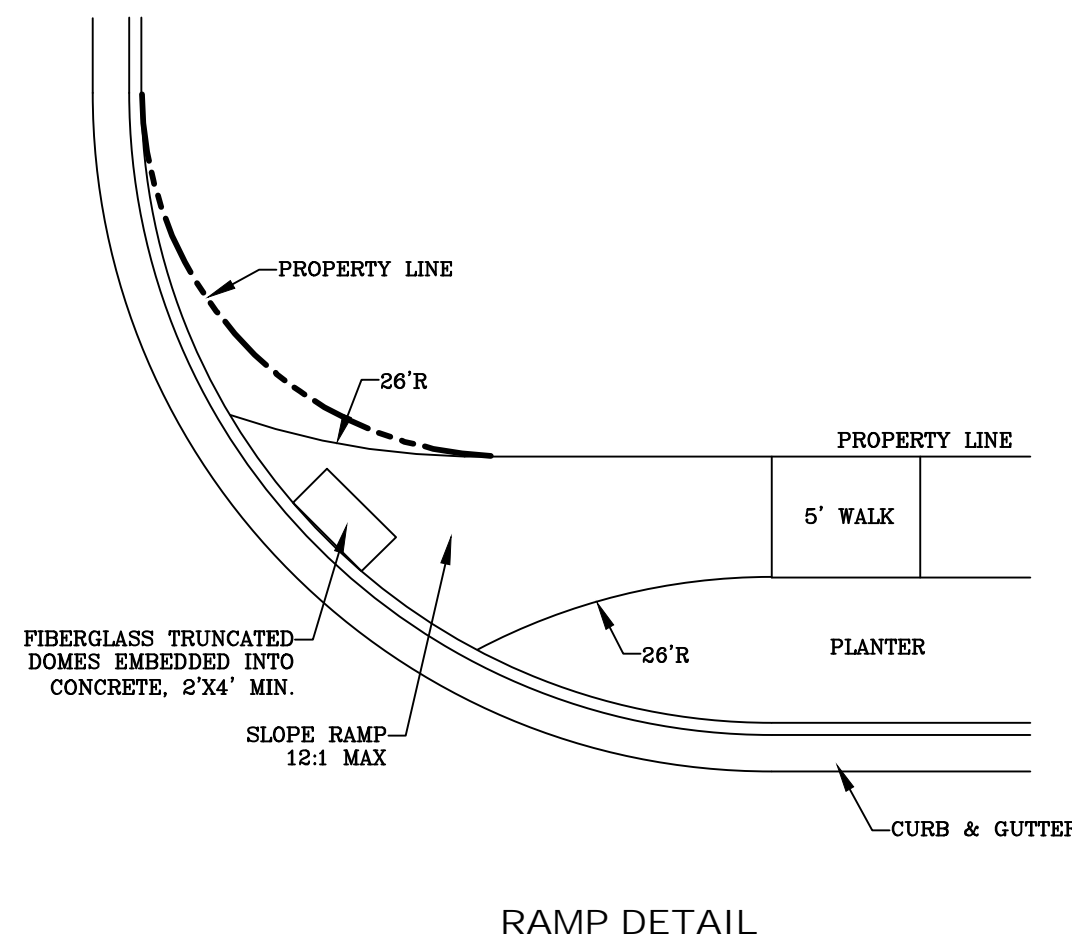
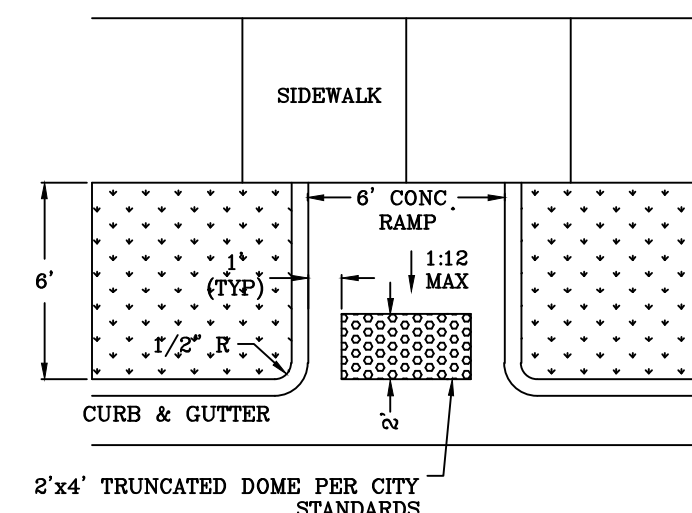
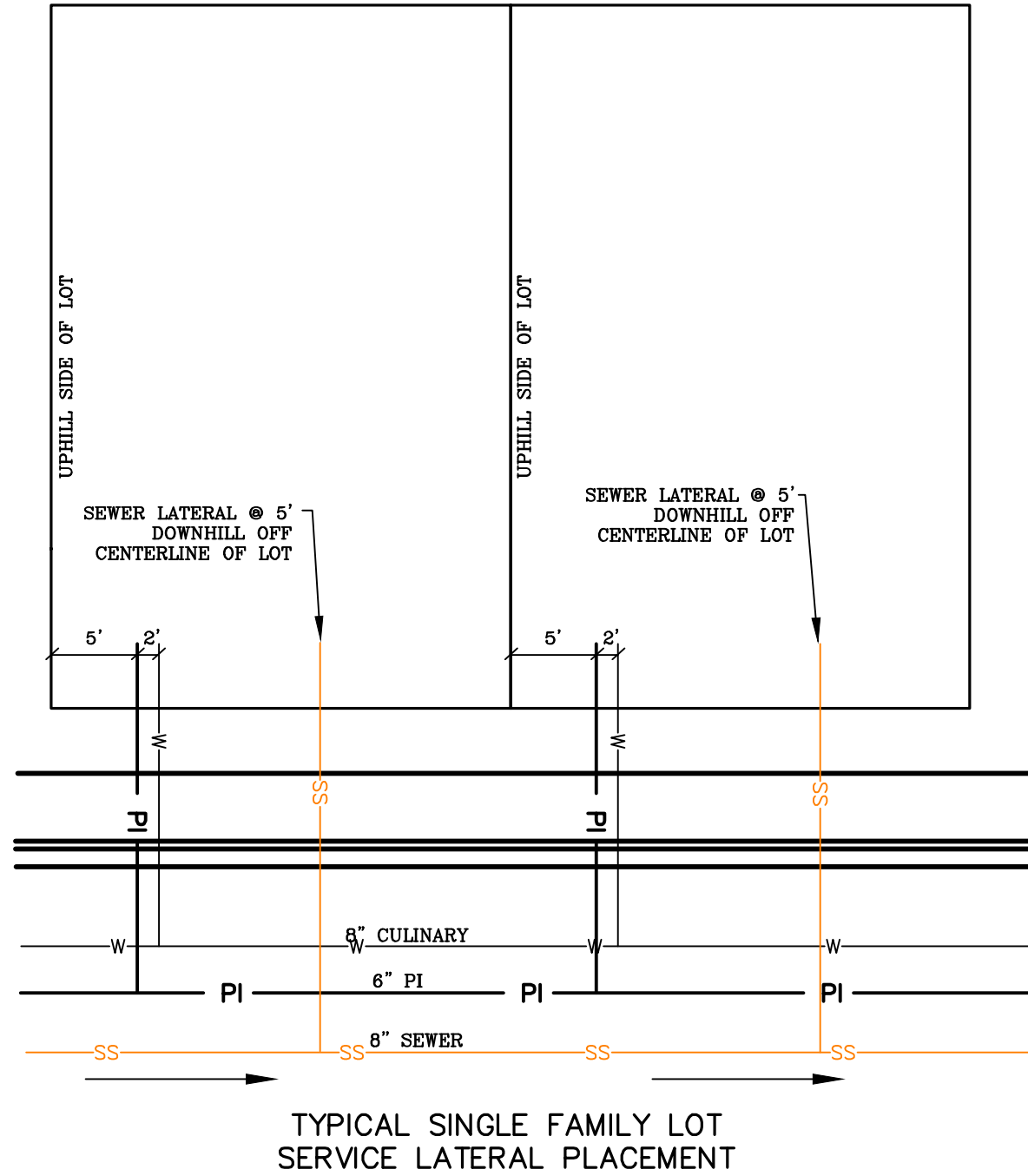
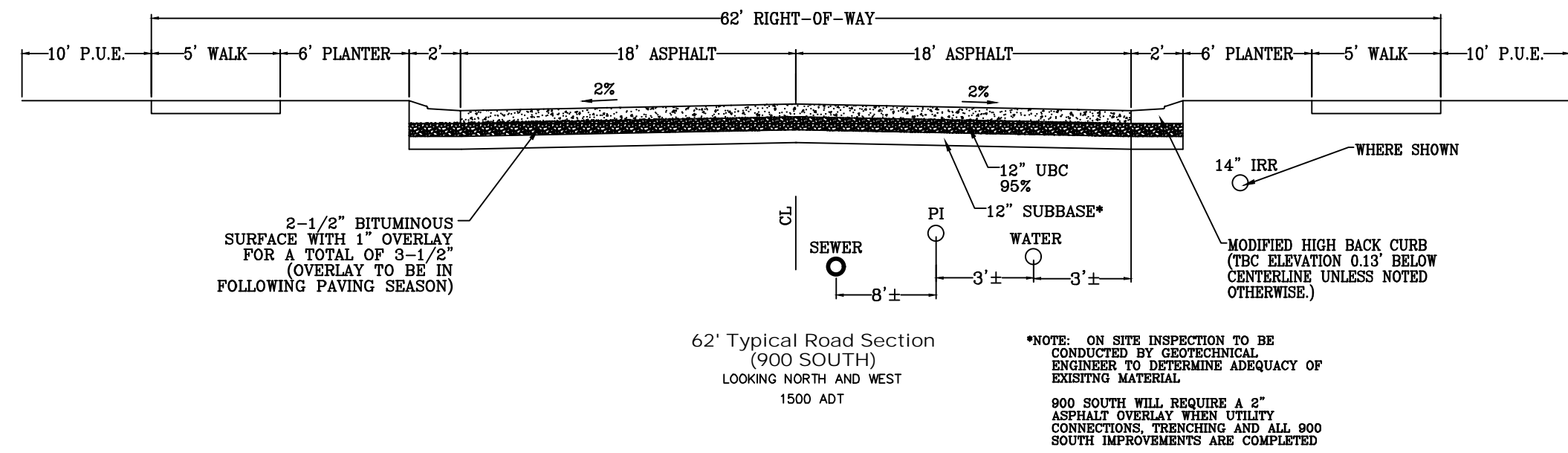
EROSION CONTROL DETAILS

SHEET:

EC-02



ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



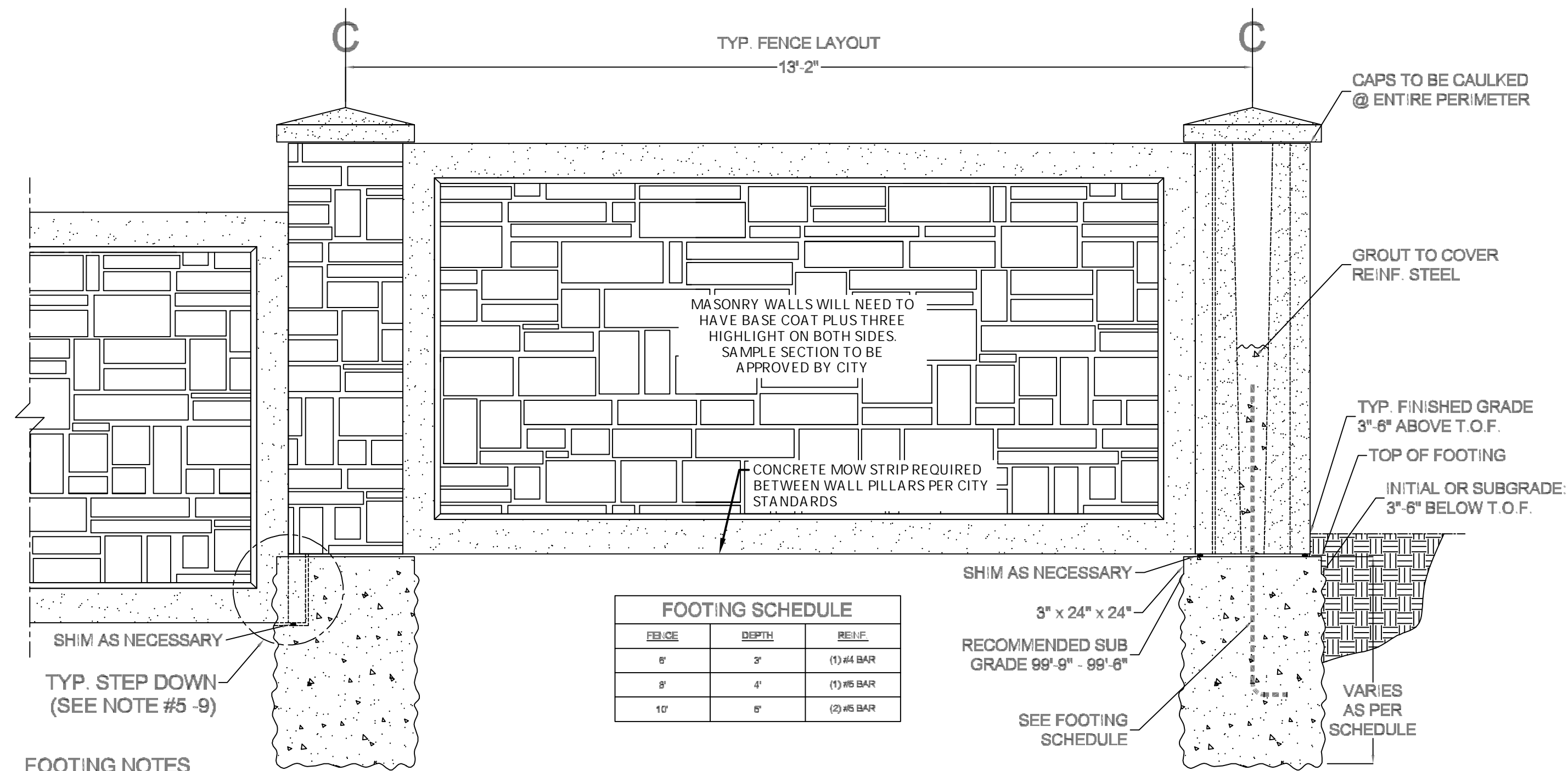
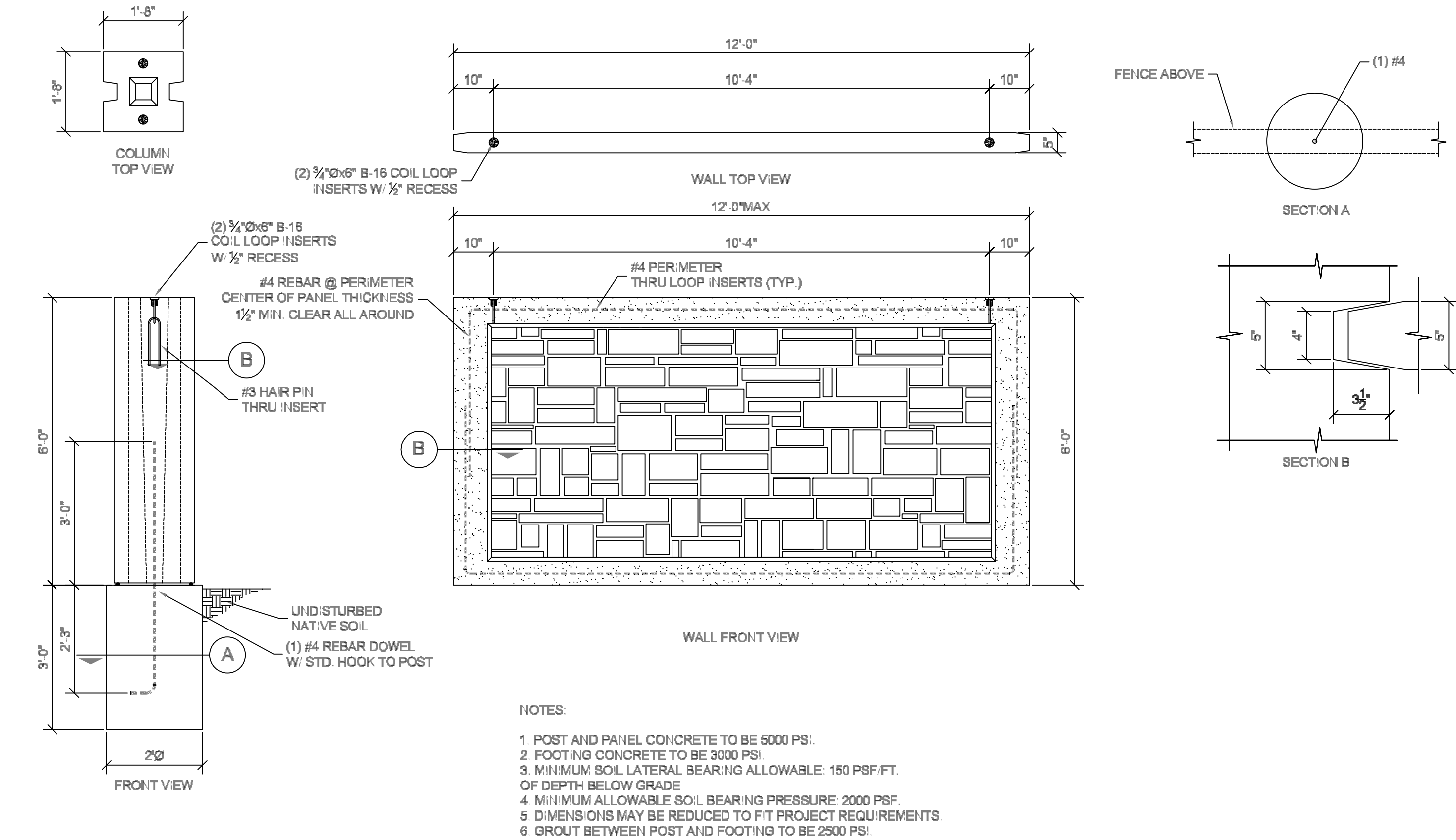
HIGHLAND DRIVE CROSS SECTION
NOT TO SCALE (LOOKING NORTH)

region
Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com

FOOTHILL VILLAGE SUBDIVISION
PLAT 'H'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.26.2020
PROJECT #
REVISIONS:
1
2
3

SHEET NAME:
TYPICAL DETAILS
SHEET:
DT-01



FOOTING NOTES

1. FOOTING SIZE AND REINFORCING MAY VARY DEPENDING ON SITE CONDITIONS AND CUSTOMER REQUIREMENTS.
2. ALWAYS REFER TO CONTRACT DOCUMENTS AND PLANS BEFORE COMMENCEMENT OF WORK.
3. ELEVATION TOLERANCE 0 - -1/2" OF REQUIRED ELEVATION.
4. TOP OF FOOTING MUST BE FLAT, TRUE, LEVEL, AND SQUARE.*
5. ALL REBAR MUST BE CENTERED IN FOOTINGS AND MEASURE BETWEEN 13'-1" AND 13'-2" ± TO ±.
6. ALL FOOTINGS MUST BE FORMED USING A FORM APPROVED BY OWELL PRECAST.
7. FOOTINGS MUST BE EXCAVATED TO SPECIFIED DIMENSIONS.
8. TYPICAL STEP DOWN FOOTINGS TO BE NOTCHED OR BLOCKED OUT @ PANEL LOCATION UP TO 12".
9. ALL NOTCHES MUST BE FLAT, TRUE, AND SQUARE.
10. NOTCH TOLERANCE 0 - -1/2" OF REQUIRED ELEVATION.
11. ALL NOTCHES MUST ACT AS AN EXTENSION OF THE POST GROOVE.
12. FOOTING MUST FULLY SUPPORT NOTCH WITH ADEQUATE CONCRETE BENEATH THE BASE OF THE NOTCH.
- *13. WHEN SONOTUBE IS REQUIRED TO RAISE FOOTINGS TO ELEVATION ABOVE GRADE, USE 28" DIAMETER TUBE UNLESS OTHERWISE SPECIFIED.



FOOTHILL VILLAGE SUBDIVISION
PLAT 'H'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.26.2020

PROJECT #

REVISIONS:

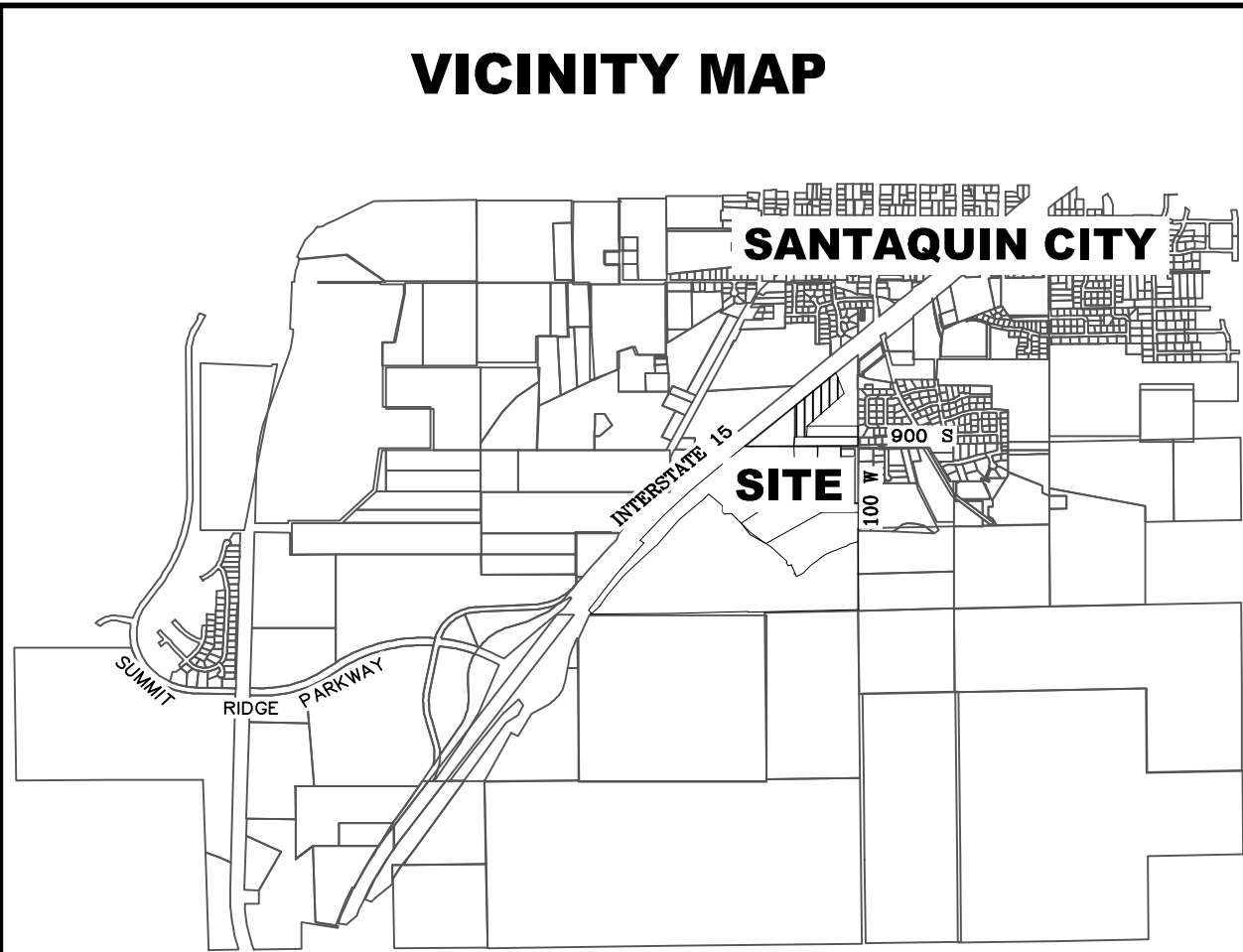
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SHEET NAME:

TYPICAL DETAILS

SHEET:

DT-02



FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11,
TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
Santaquin, Utah County, Utah

PROJECT STATISTICS

LOTS	41 LOTS
TOTAL ACREAGE	6.68 ACRES
TOTAL ACREAGE IN LOTS	1.07 ACRES
TOTAL ACREAGE IN STREETS	2.04 ACRES
TOTAL ACREAGE IN CITY OPEN SPACE	1.00 ACRES
TOTAL ACREAGE IN HOA OPEN SPACE	1.86 ACRES
TOTAL LIMITED COMMON AREA	0.71 ACRES
DENSITY	6.13 UNITS / ACRE
ZONE	R10 PUD

PROJECT DEVELOPER

DR HORTON
12351 So. Gateway Park Place
Suite D-100
Draper UT 84020
Office: (801) 571-7101
CKLeavitt1@horton.com

PROJECT ENGINEER
& SURVEYOR

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245

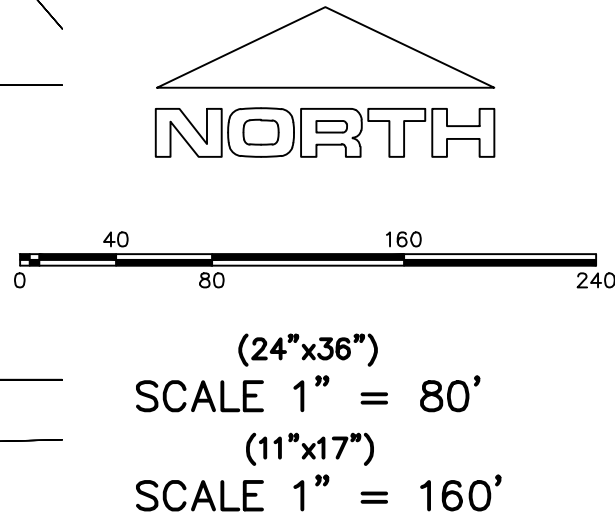
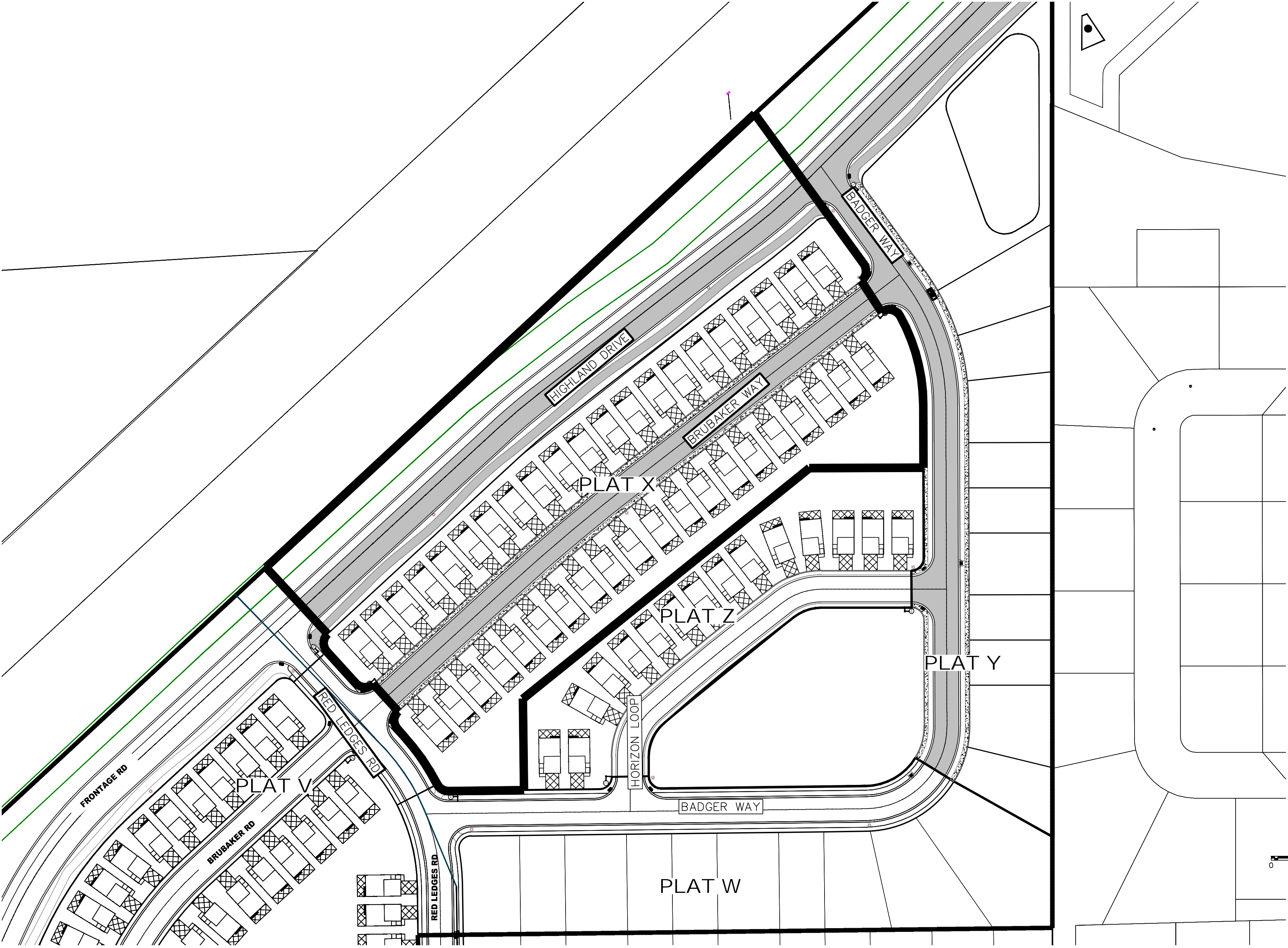
INDEX OF PLAN SHEETS

SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PLAT	PLAT SHEETS (3)
SP-01	SITE & UTILITY PLAN
GR-01	GRADING PLAN
PP-01 - PP-04	PLAN & PROFILES
EC-01	EROSION CONTROL PLAN
EC-02	EROSION CONTROL DETAILS
DT-01 - DT-02	TYPICAL DETAILS

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

NOTES:

- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
- ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
- 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PL STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
- A MINIMUM OF 10" HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
- SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED.
- ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
- ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.



ACCEPTANCE

SIGNATURE: DEVELOPER	DATE: _____
SIGNATURE: CITY ENGINEER	DATE: _____
SIGNATURE: COMMUNITY DEV. DIRECTOR	DATE: _____
SIGNATURE: PUBLIC WORKS	DATE: _____
SIGNATURE: BUILDING DEPARTMENT	DATE: _____
SIGNATURE: POLICE DEPARTMENT	DATE: _____
SIGNATURE: FIRE DEPARTMENT	DATE: _____

Engineering
& Surveying
region
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 7.2.2020

PROJECT #

REVISIONS:

1
2
3

SHEET NAME:

COVER SHEET & NOTES

SHEET:

CS-01

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	23.10'	15.00'	20.89'	S8°07'23"W	88°15'05"
C2	25.78'	15.00'	22.72'	S78°30'45"E	98°28'39"
C3	112.91'	222.50'	111.70'	S14°44'12"E	29°04'27"
C4	16.60'	15.00'	15.77'	N58°58'00"W	63°24'41"
C5	72.80'	277.50'	72.59'	N34°46'33"W	15°01'48"
C6	23.56'	15.00'	21.21'	N2°42'33"E	90°00'00"
C7	23.56'	15.00'	21.21'	N87°17'27"W	90°00'00"
C8	23.47'	15.00'	21.15'	N2°31'46"E	89°38'27"

LEGEND

FOUND SECTION COR. AS NOTED
SET 5/8" IRON PIN
TO BE SET AT ALL LOT CORNERS
FOUND CLASS 1 STREET MONUMENT
SET STREET MONUMENT

PROPERTY BOUNDARY
CENTERLINE
RIGHT-OF-WAY LINE
LOT LINE
SECTION LINE

CALCULATED POINT (NOT SET)
NDCBU
(4'x8' POSTAL EASEMENT)

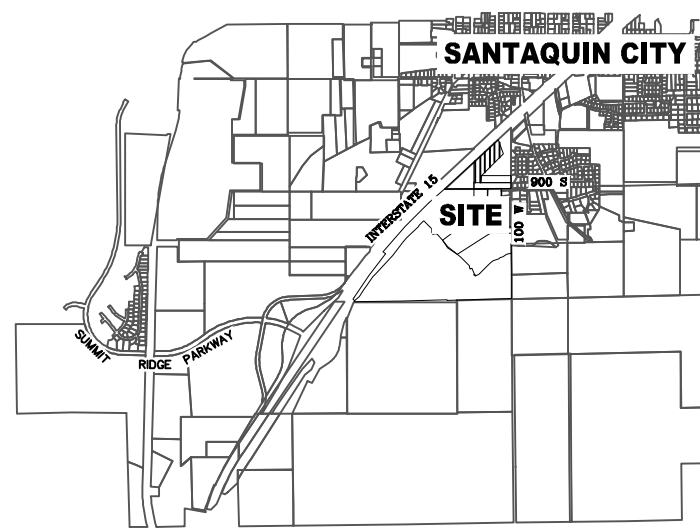
LEGEND
ROADS (RIGHT OF WAY)
LIMITED COMMON AREAS
PRIVATE PROPERTY
COMMON AREA (HOA)
COMMON AREA (CITY)
EASEMENT LINE

FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11,
TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
Santaquin, Utah County, Utah

NORTHEAST CORNER OF
SECTION 11, T10S, R1E,
S.L.B.&M.
(2012 UTAH COUNTY
MONUMENT)

VICINITY MAP



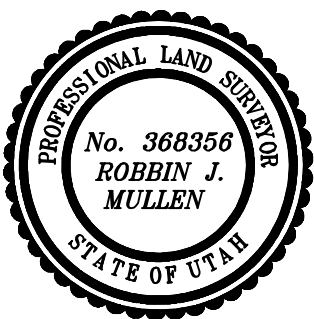
Surveyor's Certificate

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

Boundary Description

BEGINNING AT A POINT LOCATED N00°04'12"W ALONG THE SECTION LINE 1122.27 FEET AND WEST 362.05 FEET FROM THE EAST QUARTER CORNER OF SECTION 11, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN;
THENCE, S 36° 00' 10" E FOR A DISTANCE OF 225.39 FEET TO THE BEGINNING OF A CURVE,
SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 88° 15' 05", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS S 08° 07' 23" W FOR A DISTANCE OF 20.89 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE,
THENCE, S 33° 01' 34" E FOR A DISTANCE OF 45.15 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE,
SAID CURVE TURNING TO THE RIGHT THROUGH 98° 28' 39", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS S 78° 30' 45" E FOR A DISTANCE OF 22.72 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE,
SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 29° 04' 27", HAVING A RADIUS OF 222.50 FEET, AND WHOSE LONG CHORD BEARS S 14° 44' 12" E FOR A DISTANCE OF 111.70 FEET,
THENCE, S 00° 11' 58" E FOR A DISTANCE OF 76.65 FEET TO A POINT ON A LINE,
THENCE, S 89° 48' 02" W FOR A DISTANCE OF 138.68 FEET TO A POINT ON A LINE,
THENCE, S 51° 10' 16" W FOR A DISTANCE OF 447.26 FEET TO A POINT ON A LINE,
THENCE, S 00° 40' 20" E FOR A DISTANCE OF 111.00 FEET TO A POINT ON A LINE,
THENCE, S 89° 19' 40" W FOR A DISTANCE OF 91.96 FEET TO THE BEGINNING OF A CURVE,
SAID CURVE TURNING TO THE RIGHT THROUGH 63° 24' 41", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS N 58° 58' 00" W FOR A DISTANCE OF 15.77 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE,
SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 15° 01' 48", HAVING A RADIUS OF 277.50 FEET, AND WHOSE LONG CHORD BEARS N 34° 46' 33" W FOR A DISTANCE OF 72.59 FEET,
THENCE, N 42° 17' 27" W FOR A DISTANCE OF 10.59 FEET TO THE BEGINNING OF A CURVE,
SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 90° 00' 00", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS N 02° 42' 33" E FOR A DISTANCE OF 21.21 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE, THENCE, N 42° 17' 27" W FOR A DISTANCE OF 45.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 90° 00' 00", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS N 87° 17' 27" W FOR A DISTANCE OF 21.21 FEET,
THENCE, N 42° 17' 27" W FOR A DISTANCE OF 52.43 FEET TO THE BEGINNING OF A CURVE,
SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 89° 38' 27", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS N 02° 31' 46" E FOR A DISTANCE OF 21.15 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE, THENCE, N 42° 50' 18" W FOR A DISTANCE OF 110.25 FEET TO A POINT ON A LINE, THENCE N 47° 09' 42" E A DISTANCE OF 810.72 FEET TO THE POINT OF BEGINNING

CONTAINS: ±6.68 ACRES AND 41 TOTAL LOTS



DATE

SURVEYOR

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS

DAY OF _____, A.D. 20____

LIMITED COMPANY ACKNOWLEDGEMENT

STATE OF UTAH

S.S.

COUNTY OF UTAH

ON THIS _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME _____ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE _____ OF A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS _____

PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED MAYOR OF SANTAQUIN _____

ENGINEER
(See Seal Below)

ATTEST _____
CLERK-RECORDER
(See Seal Below)

SHEET 1 OF 3

FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'

UTAH COUNTY, UTAH

SCALE: 1" = 50 FEET

NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAL

COUNTY-RECORDER SEAL

This form approved by Utah County and the municipalities therein.

THE BASIS OF BEARING FOR THE FOOTHILL VILLAGES PLAT 'X' IS ON THE SECTION LINE BETWEEN THE EAST 1/4 CORNER AND THE NORTHEAST CORNER OF SECTION 11, T10S, R1E, S.L.B.&M. WITH THE BEARING BEING N00°41'12"W ALONG SAID LINE.

- NOTES:
1. @ ... TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
 2. [XXXX] ... PROPOSED RESIDENTIAL ADDRESS
 3. (XXXX S.F.) AREA IN PARENTHESIS DENOTES BUILDABLE AREA

NDCBU (8x4 POSTAL BOX EASEMENT)

UTILITIES APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER _____

CENTRACOM _____

PROJECT STATISTICS

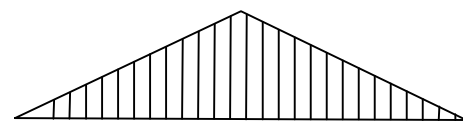
LOTS 41 LOTS
TOTAL ACREAGE 6.68 ACRES
TOTAL ACREAGE IN LOTS 1.07 ACRES
TOTAL ACREAGE IN STREETS 2.04 ACRES
TOTAL ACREAGE IN CITY OPEN SPACE 1.00 ACRES
TOTAL ACREAGE IN HOA OPEN SPACE 1.86 ACRES
TOTAL LIMITED COMMON AREA 0.71 ACRES
DENSITY 6.13 UNITS / ACRE
ZONE R10 PUD

PROJECT DEVELOPER

DR HORTON
12351 So. Gateway Park Place
Suite D-100
Draper UT 84020
Office: (801) 571-7101
CKLeavitt1@drhorton.com

PROJECT ENGINEER
& SURVEYOR

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245



25 50 100 150
SCALE 1" = 50'
SCALE 1" = 100'

DOMINION ENERGY ACCEPTANCE

DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS _____ DAY OF _____, 20 ____

DOMINION ENERGY COMPANY

BY- _____

TITLE- _____

CENTURY LINK _____

CENTURY LINK

OPEN SPACE/DETENTION AREAS
TO BE LANDSCAPED W/ NATIVE GRASSES & RIP-RAP AREAS
(DEDICATED TO SANTAQUIN CITY)
43661 sf (1.00 ACRES)

UDOT
1-15

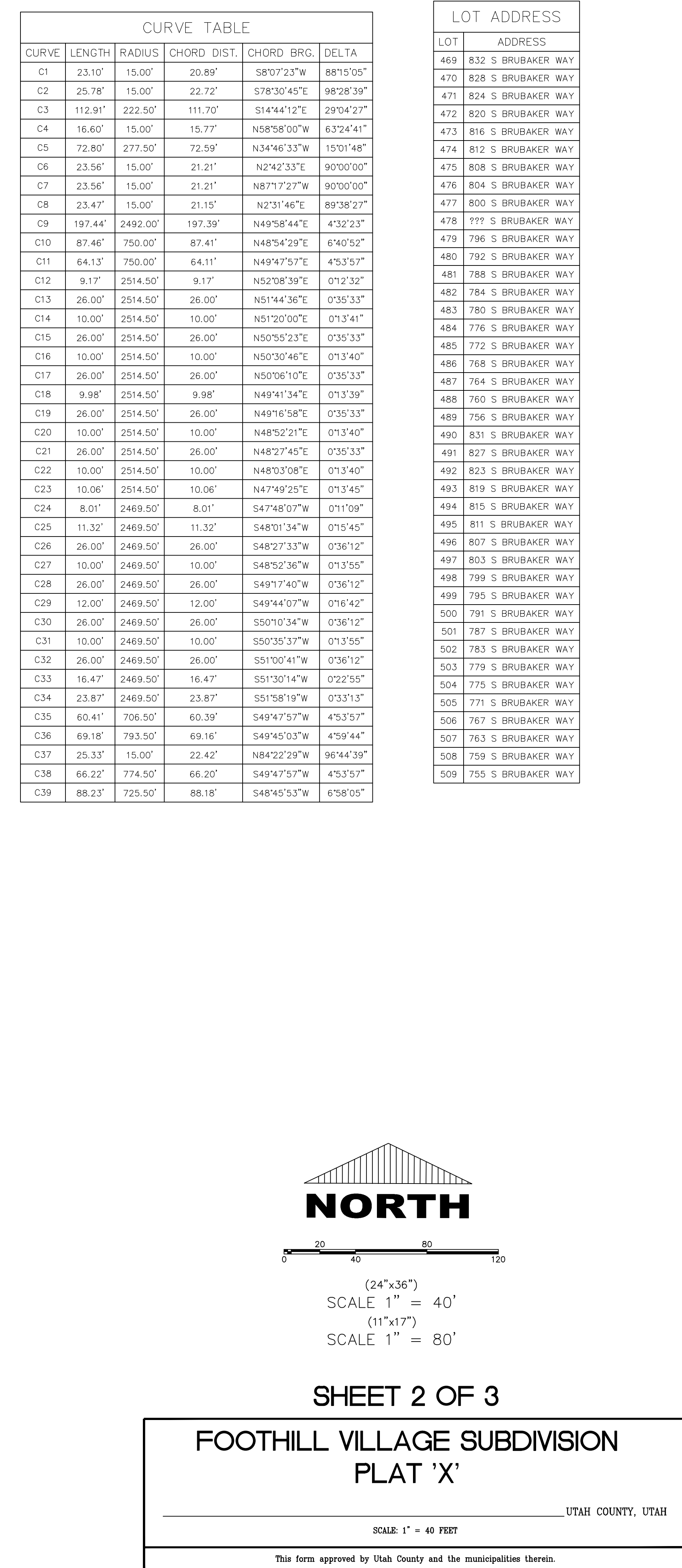
UDOT
1-15

32-017-0220
FORESTAR (USA) REAL ESTATE
GROUP INC

10' PUE (TYPICAL)
5' CENTURYLINK NON-EXCLUSIVE
EASEMENT
SEE CENTURYLINK ACCEPTANCE
NOTE (TYPICAL)

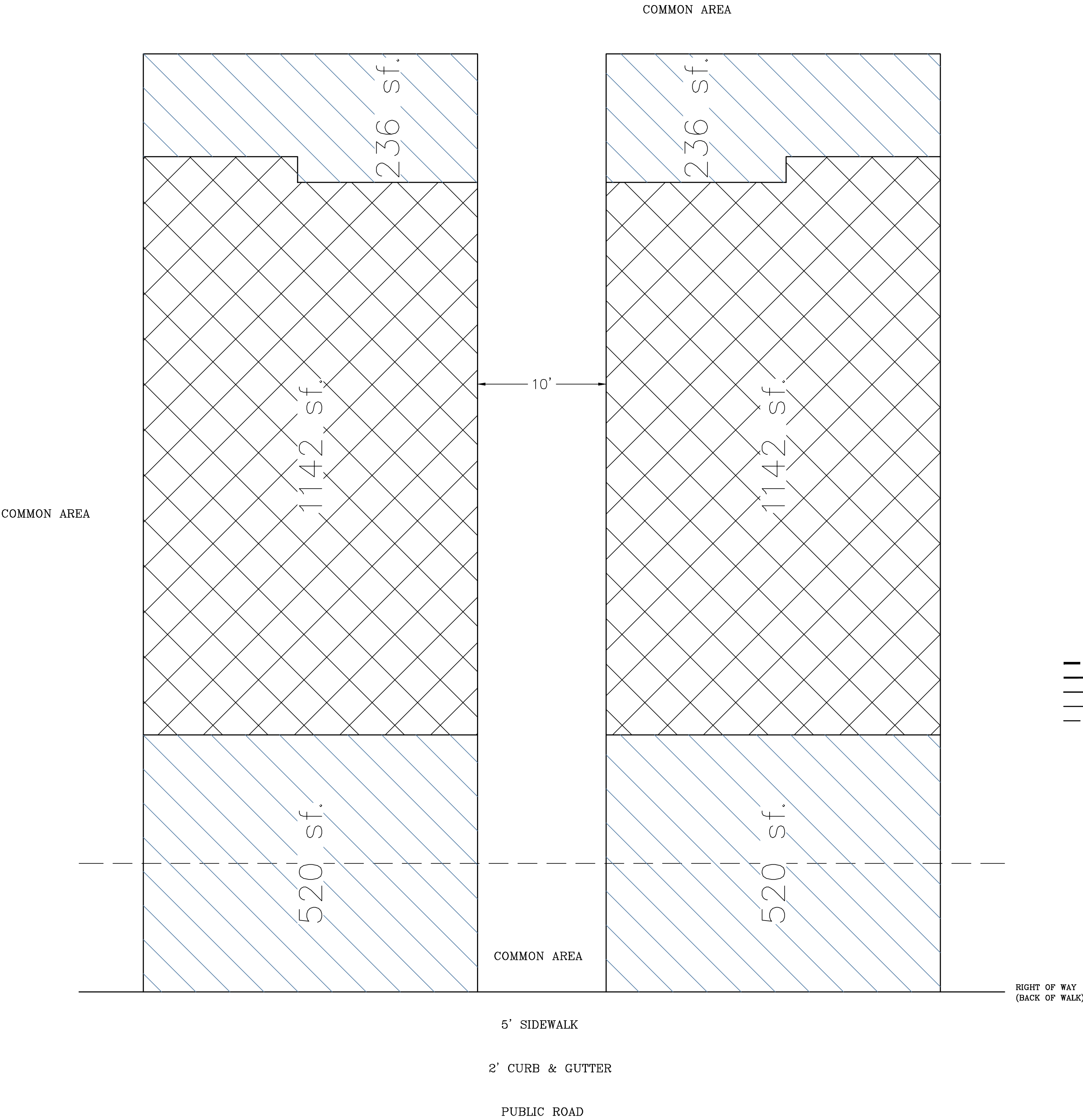
CENTURYLINK ACCEPTANCE

CENTURYLINK SHALL HAVE THE RIGHT TO A FIVE FOOT NON-EXCLUSIVE UTILITY EASEMENT TO INSTALL, MAINTAIN AND OPERATE ITS EQUIPMENT ABOVE AND BELOW GROUND AS IDENTIFIED ON THE PLAT MAP AND AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES. UPON RECORDING OF THE PLAT MAP, CENTURYLINK VACATES, TERMINATES, RELEASES AND DISCLAIMS ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, AND ANY OTHER PROPERTY RIGHTS AND INTERESTS CENTURYLINK MAY OWN, HOLD, BENEFIT FROM, OR POSSESS IN RELATION TO THAT CERTAIN RIGHT OF WAY EASEMENT IN FAVOR OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY DATED JANUARY 8, 1929, AND RECORDED ON JANUARY 9, 1929, AS ENTRY NO. 215, IN BOOK 269, AT PAGE 468, TO THE EXTENT THAT SUCH RIGHT OF WAY EASEMENT PERTAINS TO OR EFFECTS ANY OF THE REAL PROPERTY THAT IS DESCRIBED ON AND IS SUBJECT TO THIS PLAT.



FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11,
TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
Santaquin, Utah County, Utah



COMMON AREA

LEGEND

- FOUND SECTION COR. AS NOTED
- SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS
- FOUND CLASS 1 STREET MONUMENT
- SET STREET MONUMENT
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- CALCULATED POINT (NOT SET)
- NDCBU
- (4'x8' POSTAL EASEMENT)
- LEGEND
- ROADS (RIGHT OF WAY)
- LIMITED COMMON AREAS
- PRIVATE PROPERTY
- COMMON AREA (HOA)
- COMMON AREA (CITY)
- EASEMENT LINE

TYPICAL PATIO HOME LAYOUT

NOTES TO CONTRACTOR:

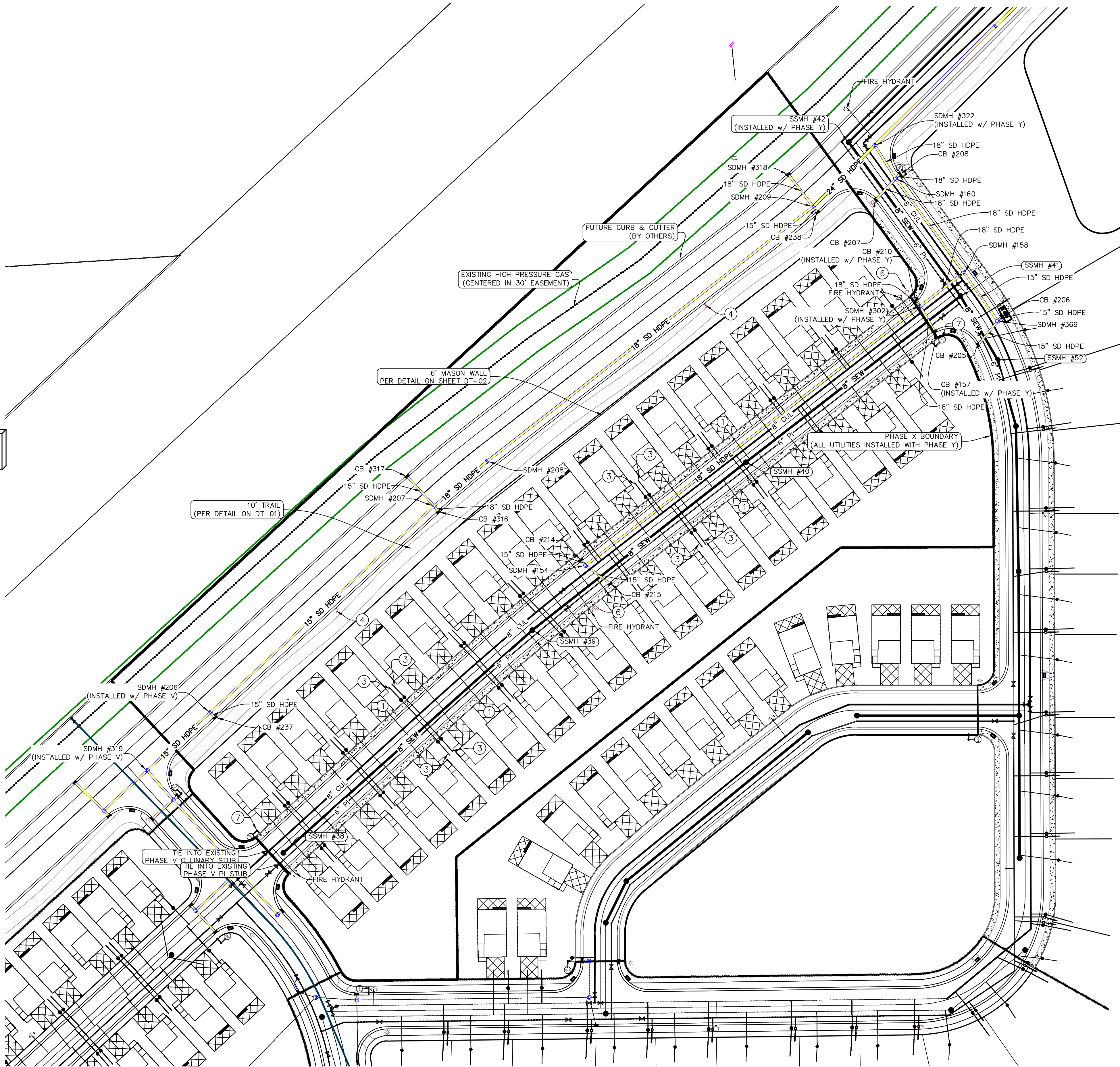
CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTES:

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED.
7. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
8. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



LEGEND

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING DEED LINE
- EXISTING STORM MAIN
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING PI MAIN
- EXISTING CONCRETE
- PI/WAT/SEWER LATERAL
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED CURB & GUTTER
- PROPOSED LOT LINE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- PROPOSED STORM MAIN
- PROPOSED CUL MAIN
- PROPOSED PI MAIN
- PROPOSED SEWER MAIN
- PROPOSED WAT/PI/SEWER SERVICE LATERALS
- RESIDENTIAL STREET LIGHT
- PROPOSED VALVE (WAT/PI)
- PROPOSED SEWER MANHOLE
- PROPOSED STORM INLET/MANHOLE
- PROPOSED ADA RAMP
- PROPOSED STOP/STREET SIGN
- PROPOSED FIRE HYDRANT

1. SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
2. 1 1/4" PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
3. CULINARY SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
4. ARTERIAL STREET LIGHT
5. ADA RAMP (PER SANTAQUIN CITY STANDARDS)
6. RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
7. STOP/STREET SIGN
8. STUB & PLUG FOR FUTURE CONNECTION w/ CONSTRUCTION VALVES (PER SANTAQUIN CITY STANDARDS)
9. NDCBU (8x4 POSTAL BOX EASEMENT)

NORTH

0 25 50 100 150

(24"x36")
SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'

Engineering & Surveying
region
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



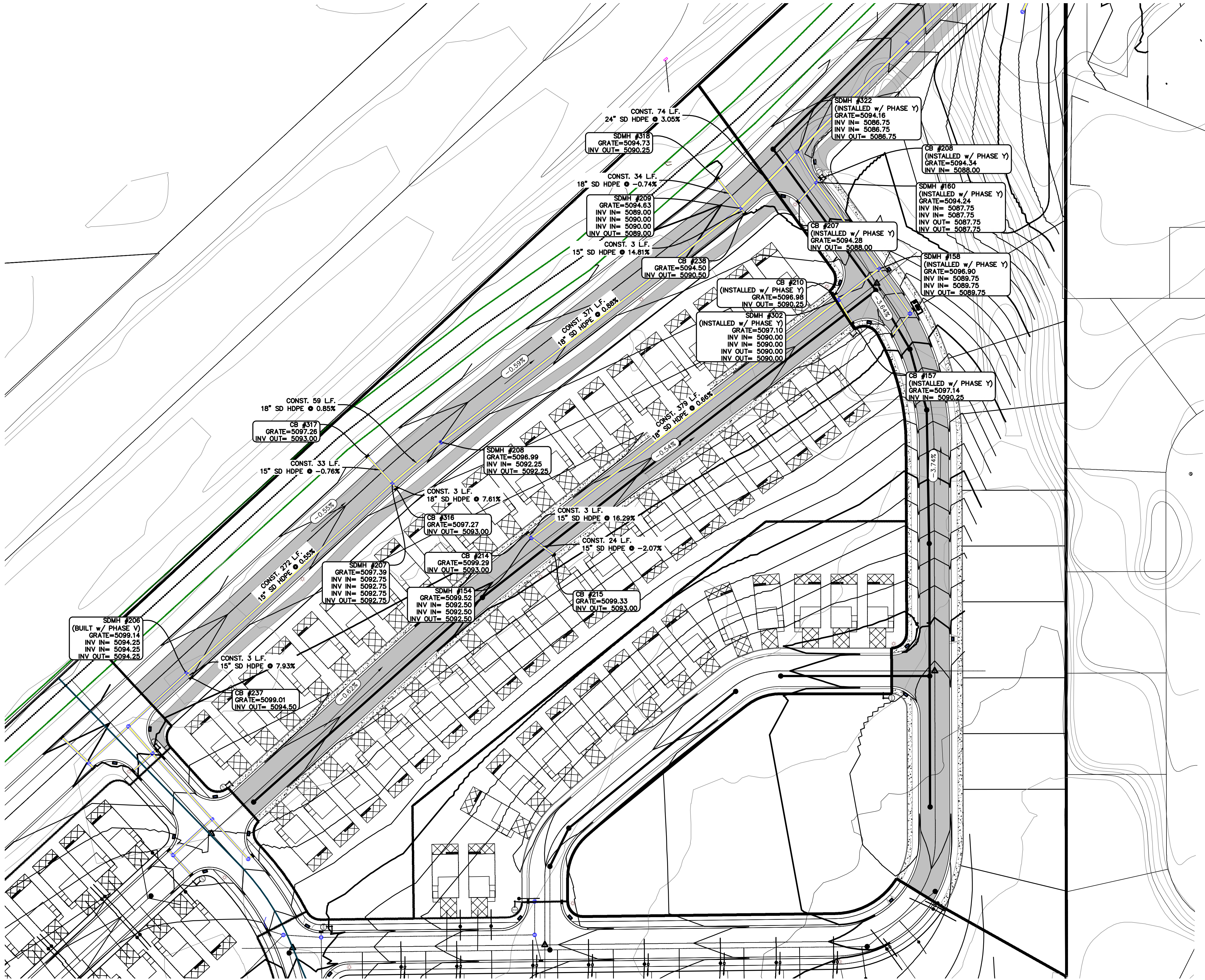
FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 7.2.2020
PROJECT #

REVISIONS:

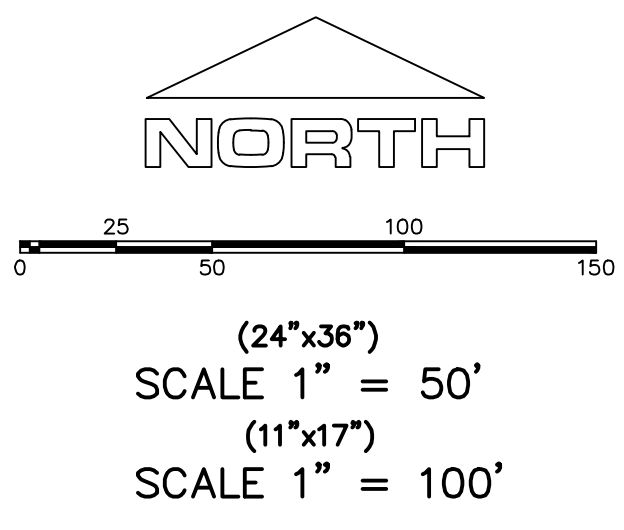
- 1
- 2
- 3

SHEET NAME:
SITE/UTILITY PLAN
SHEET:
SP-01



NOTES TO CONTRACTOR:
CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & CUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
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- NOTES:**
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 6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INSPECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED.
 7. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
 8. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX



Engineering & Surveying

region

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P: 801.376.2245
regiondesignllc.com

FOOTHILL VILLAGE SUBDIVISION

PLAT 'X'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 7.2.2020

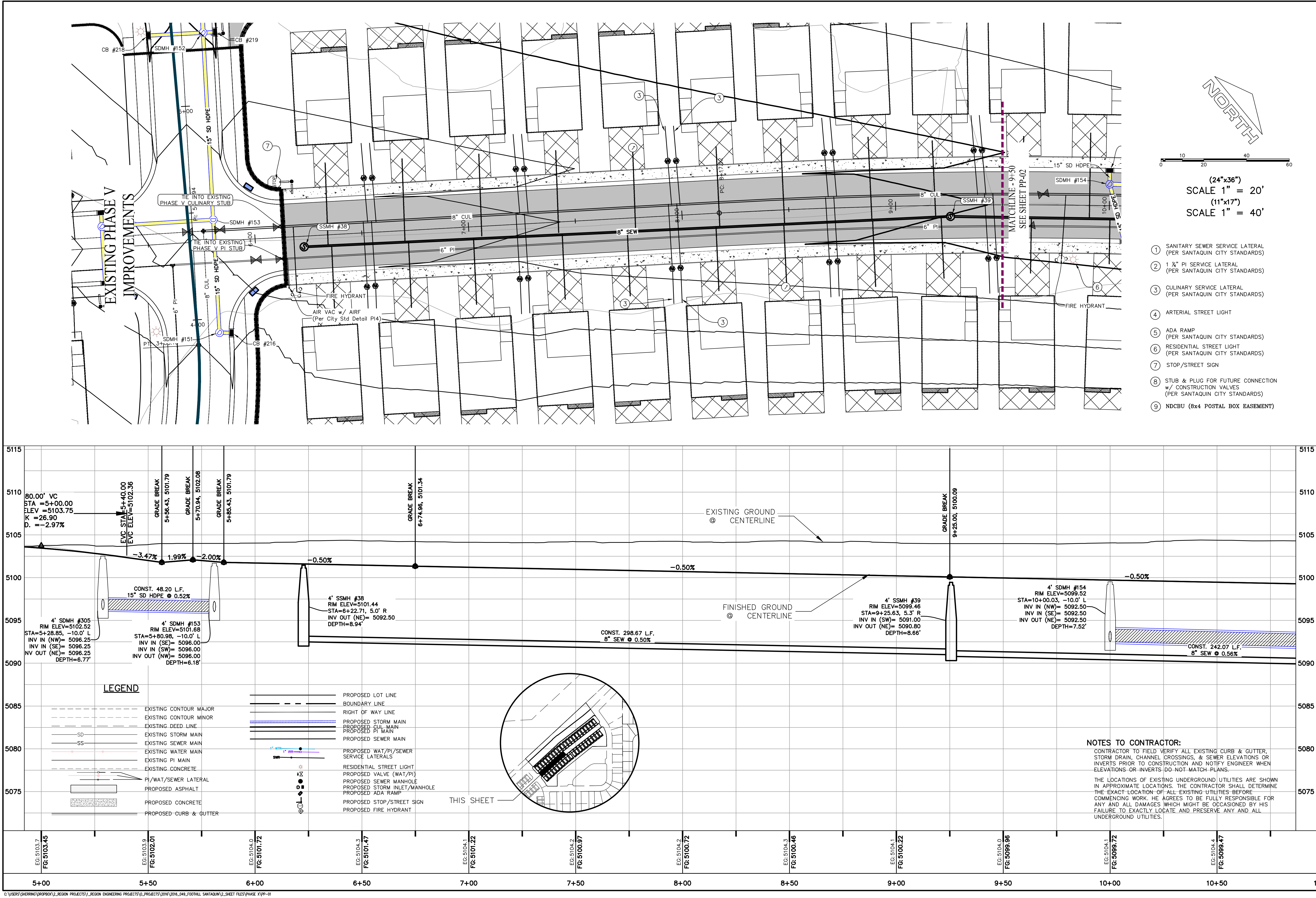
PROJECT #

REVISIONS:	
1	
2	
3	

SHEET NAME:

GRADING PLAN

SHEET: **GR-01**



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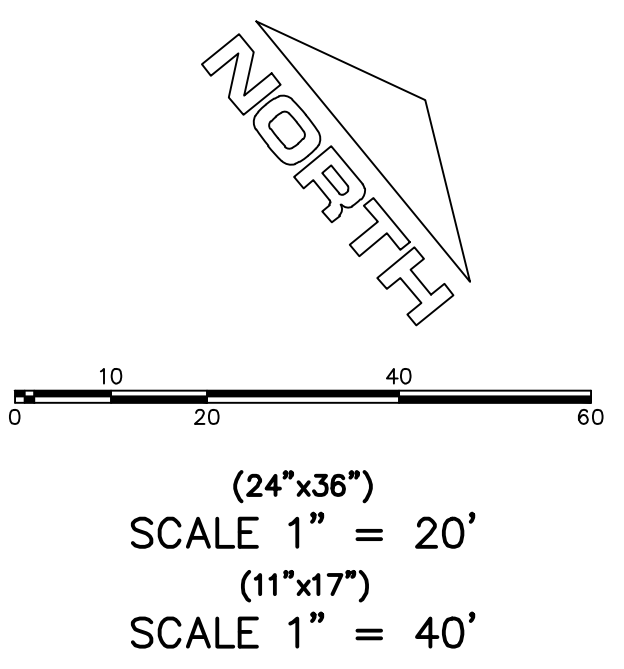
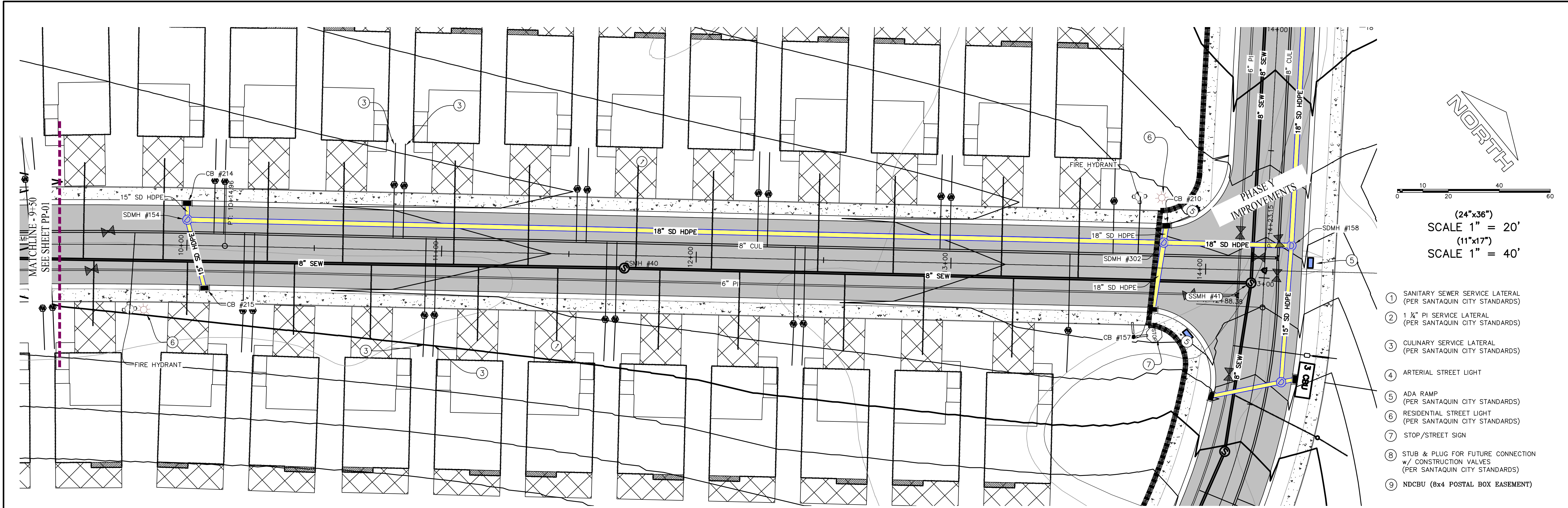


FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

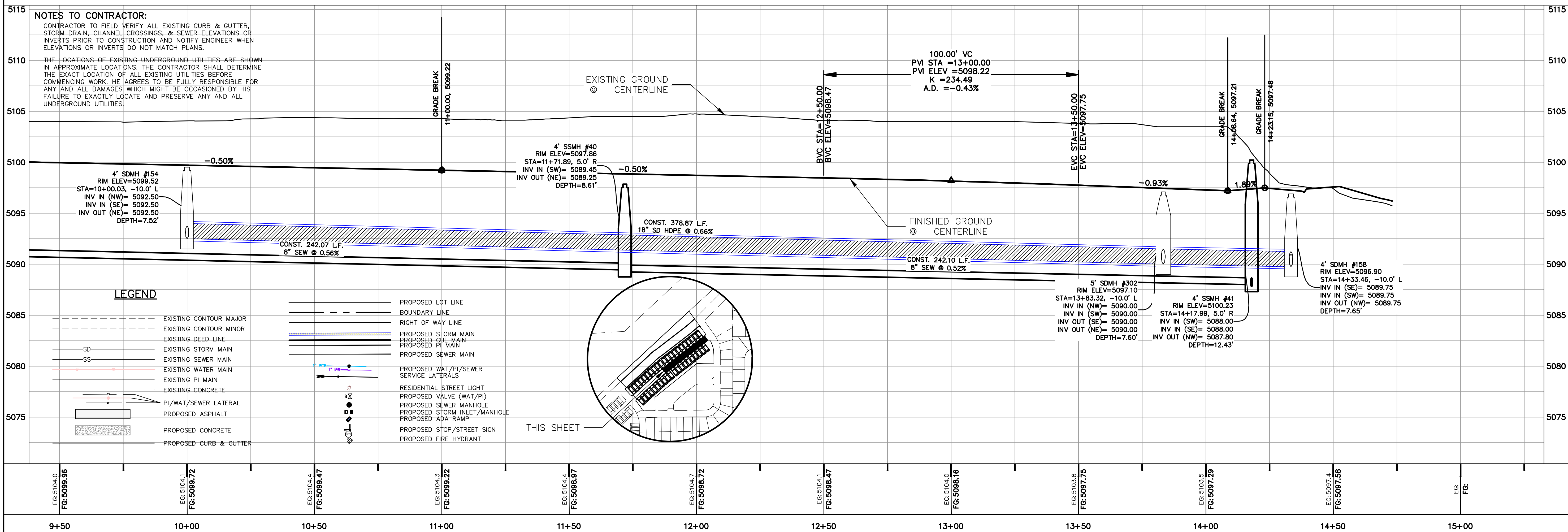
DATE: 7.2.2020	
PROJECT #	
REVISIONS:	
1	
2	
3	

SHEET NAME:
PLAN & PROFILE

SHEET:
PP-01



- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 2 1\"/>
- 3 CULINARY SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 ARTERIAL STREET LIGHT
- 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 7 STOP/STREET SIGN
- 8 STUB & PLUG FOR FUTURE CONNECTION w/ CONSTRUCTION VALVES (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (8x4 POSTAL BOX EASEMENT)



C:\USERS\SHERRING\WORK\PROJECTS\REGION PROJECTS\REGION PROJECTS\2018\2018_049_FOOTHILL_SANTAQUIN\2_SHEET FILES\PHASE 'X'\PP-01

Engineering & Surveying

region

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P: 801.376.2245
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FOOTHILL VILLAGE SUBDIVISION

PLAT 'X'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 7.2.2020

PROJECT #

REVISIONS:

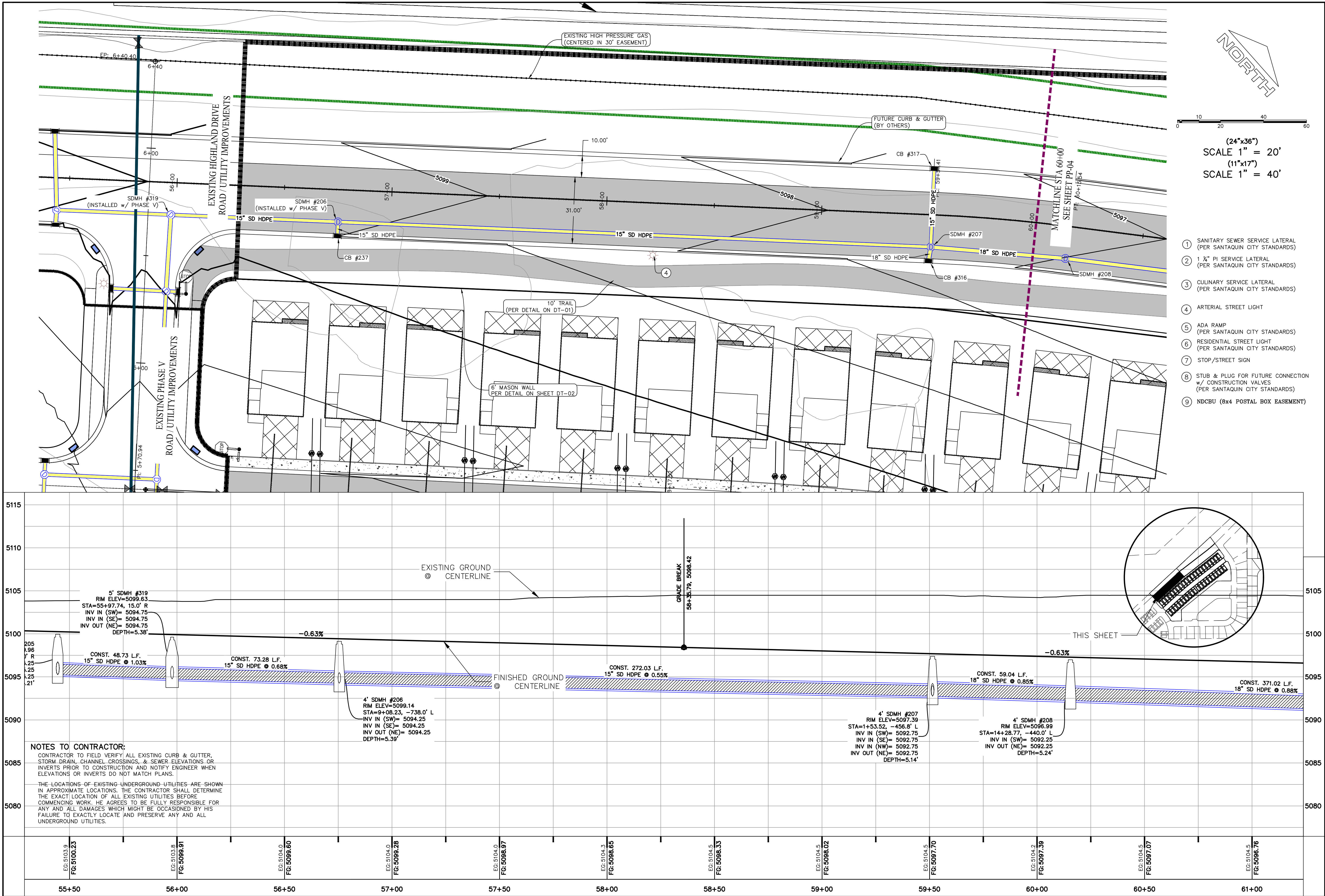
1	
2	
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SHEET NAME:

PLAN & PROFILE

SHEET:

PP-02



FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE:7.2.2020

PROJECT #

REVISIONS:

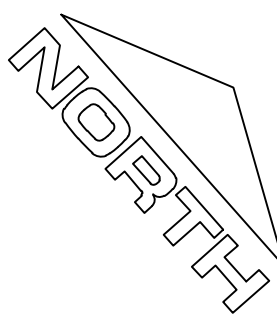
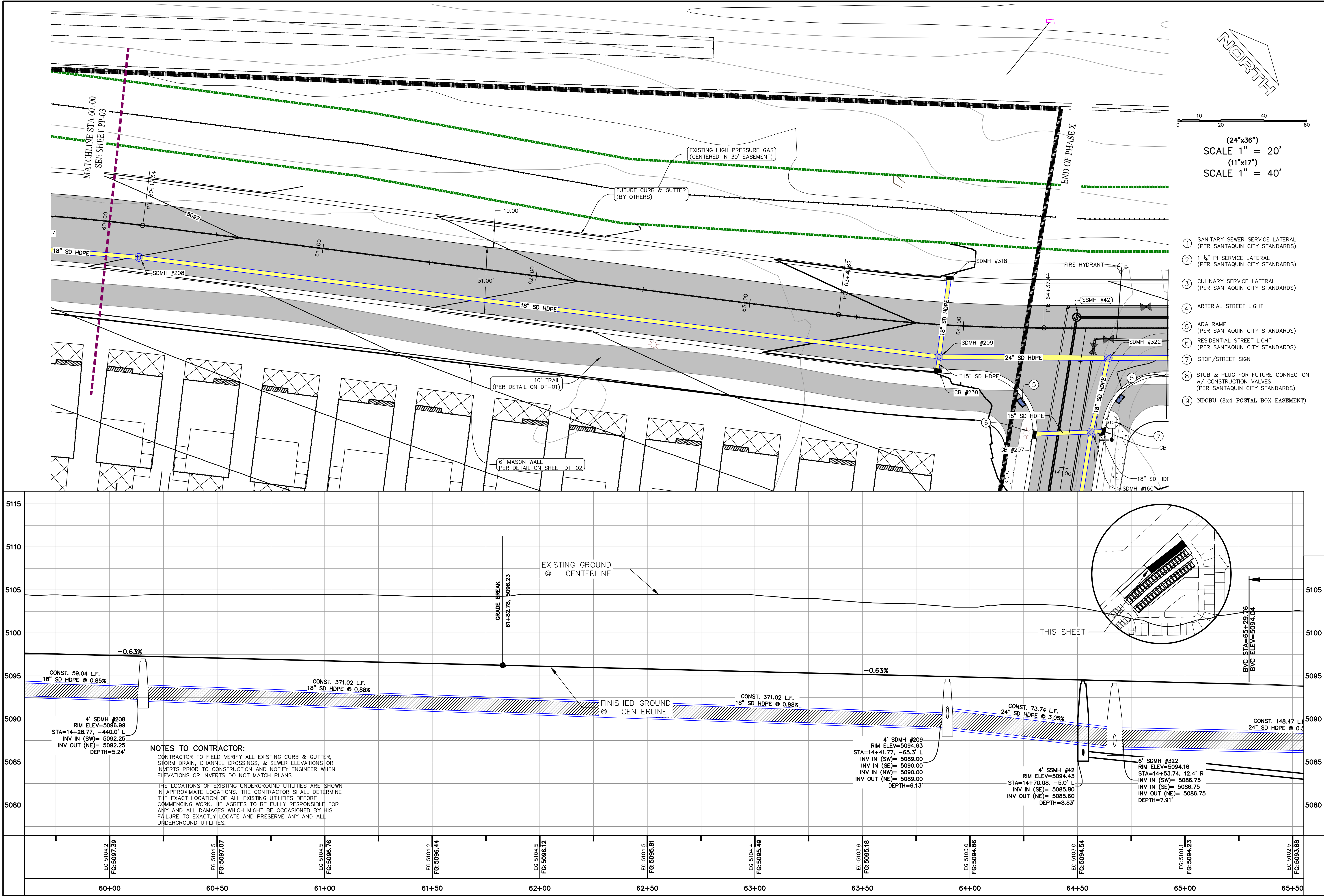
1	
2	
3	

SHEET NAME:

PLAN & PROFILE

SHEET:

PP-03



0 20 40 60

(24"x36")
SCALE 1" = 20'
(11"x17")
SCALE 1" = 40'

- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 2 1 1/2" PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 3 CULINARY SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 ARTERIAL STREET LIGHT
- 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 7 STOP/STREET SIGN
- 8 STUB & PLUG FOR FUTURE CONNECTION w/ CONSTRUCTION VALVES (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (8x4 POSTAL BOX EASEMENT)

NOTES TO CONTRACTOR:
CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
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region
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FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'
LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 7.2.2020	
PROJECT #	
REVISIONS:	
1	
2	
3	

SHEET NAME:
PLAN & PROFILE
SHEET:
PP-04

- LEGEND:
- X — X — PROPOSED SILT FENCE
(SEE SHEET EC-02)
- FLOW ARROW
- 105 PROPOSED VEHICLE TRACKING CONTROL
(SEE SHEET EC-02)
- 220 PROPOSED CURB INLET PROTECTION
(SEE SHEET EC-02)
- PT PORTABLE TOILETS

NOTES:

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER IS TO BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
7. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSED INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
8. THE CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
9. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE ENGINEERING DEPARTMENT. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

PROJECT INFORMATION SIGN

ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS/ EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANGLE CLEARANCES.
3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY.
4. THE SIGN SHALL BE A MINIMUM OF 48" x 48" AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE.

DEVELOPERS NAME
(4" Uppercase Bold Letters)

PROJECT NAME
(4" Uppercase Bold Letters)
PERMIT NUMBER
(4" Bold Numbers)

FOR PROJECT SITE CONCERNS CONTACT

Office Phone Contact ###-###-####
(4" Bold Numbers)

Cell Phone Contact ###-###-####
(4" Bold Numbers)

IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT
505-555-XXXX
(3" Uppercase Bold Letters and 3" Bold Numbers)

5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER IF IT MEETS THESE REQUIREMENTS.



NORTH

0 25 50 100 150

(24"x36")
SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'

CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)

BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	(101)	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	(105)	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	(106)	WHEEL WASH	AS SHOWN	AS NECESSARY
C151	(151)	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	(190)	POTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	(220)	STORM DRAIN INLET PROTECTION	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	(233)	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	(240)	SEDIMENT TRAP	AS SHOWN	BEGINING OF CONSTRUCTION TO PLACEMENT OF ASPHALT

Engineering & Surveying
region
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



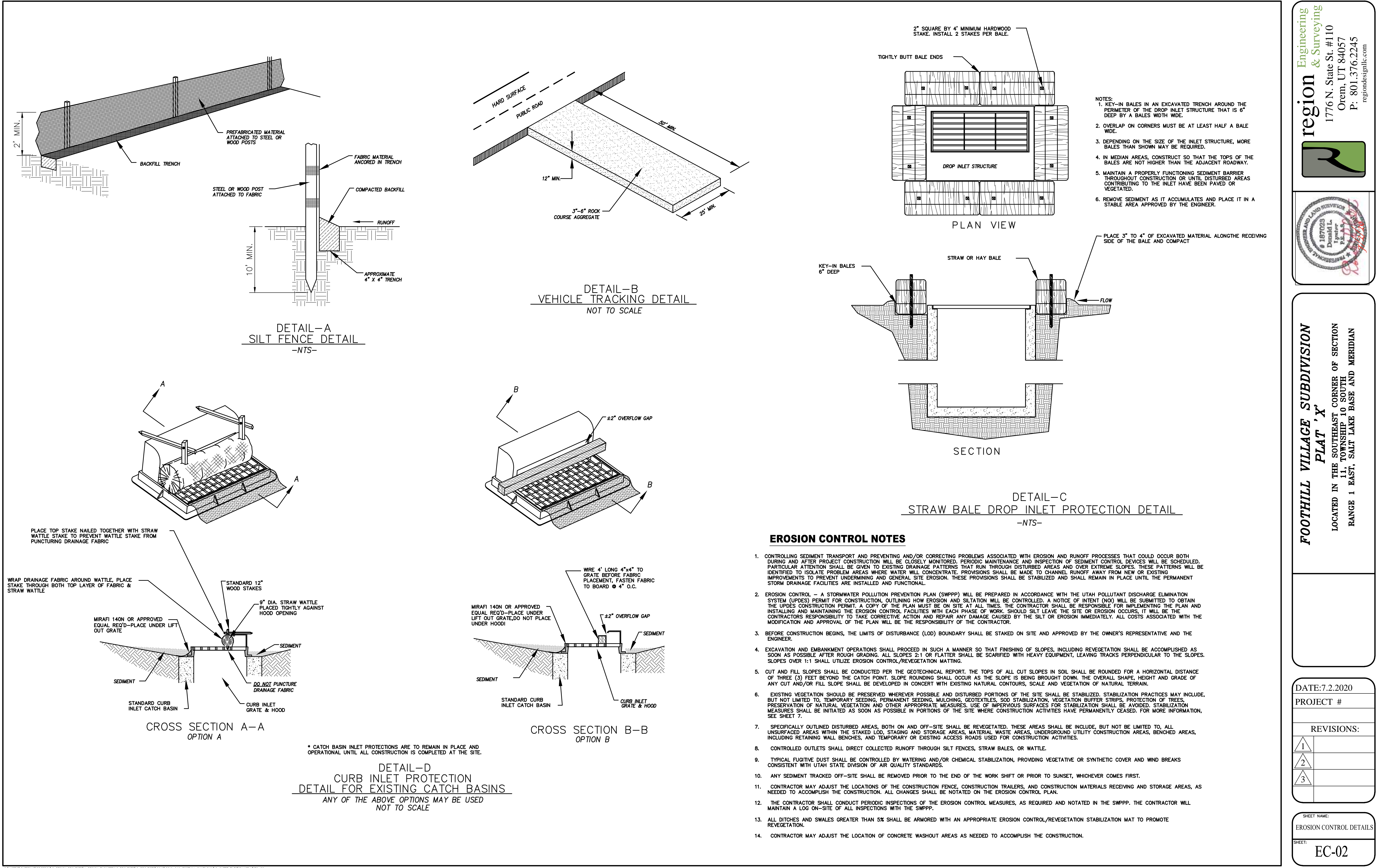
FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 7.2.2020
PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:
EROSION CONTROL PLAN
SHEET:
EC-01



Engineering & Surveying
region
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com

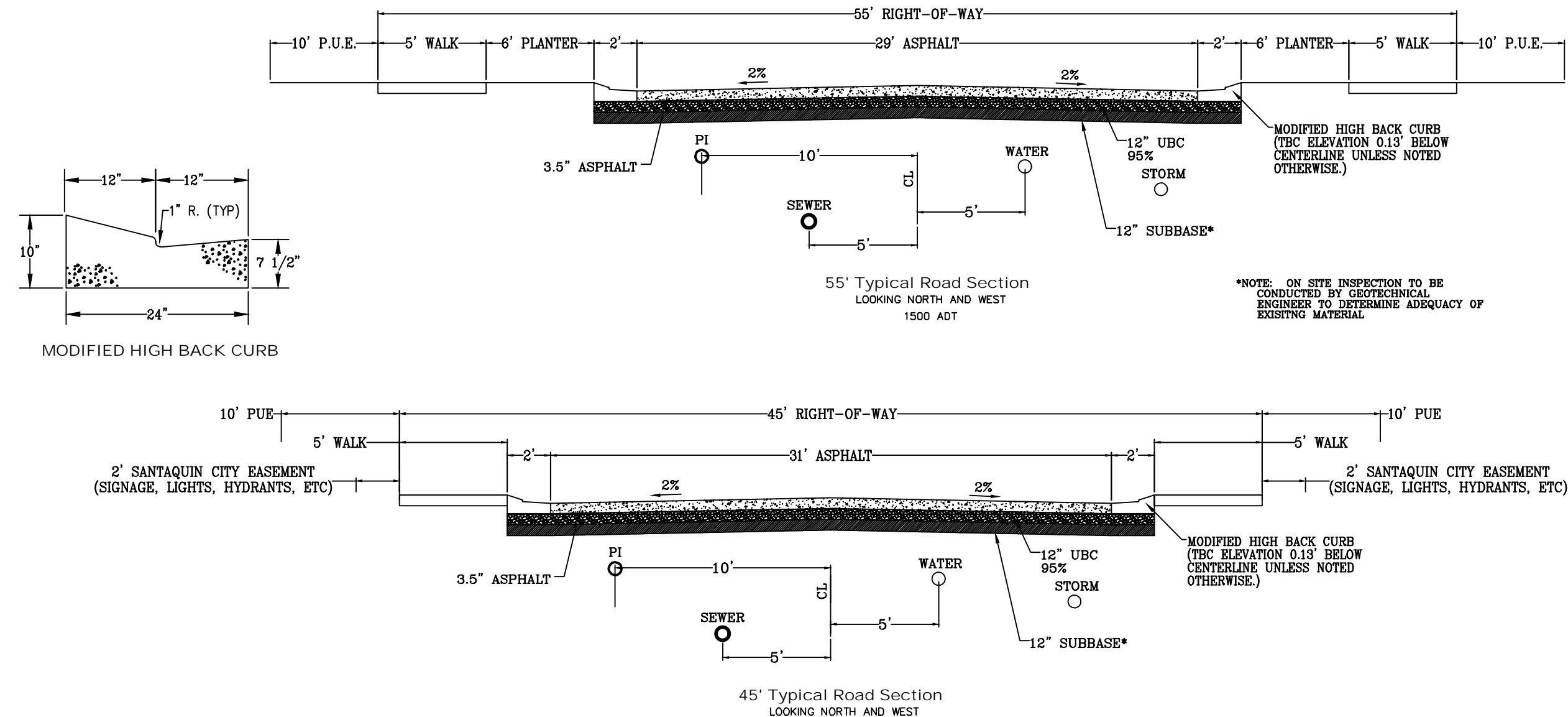
FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'
LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 7.2.2020
PROJECT #

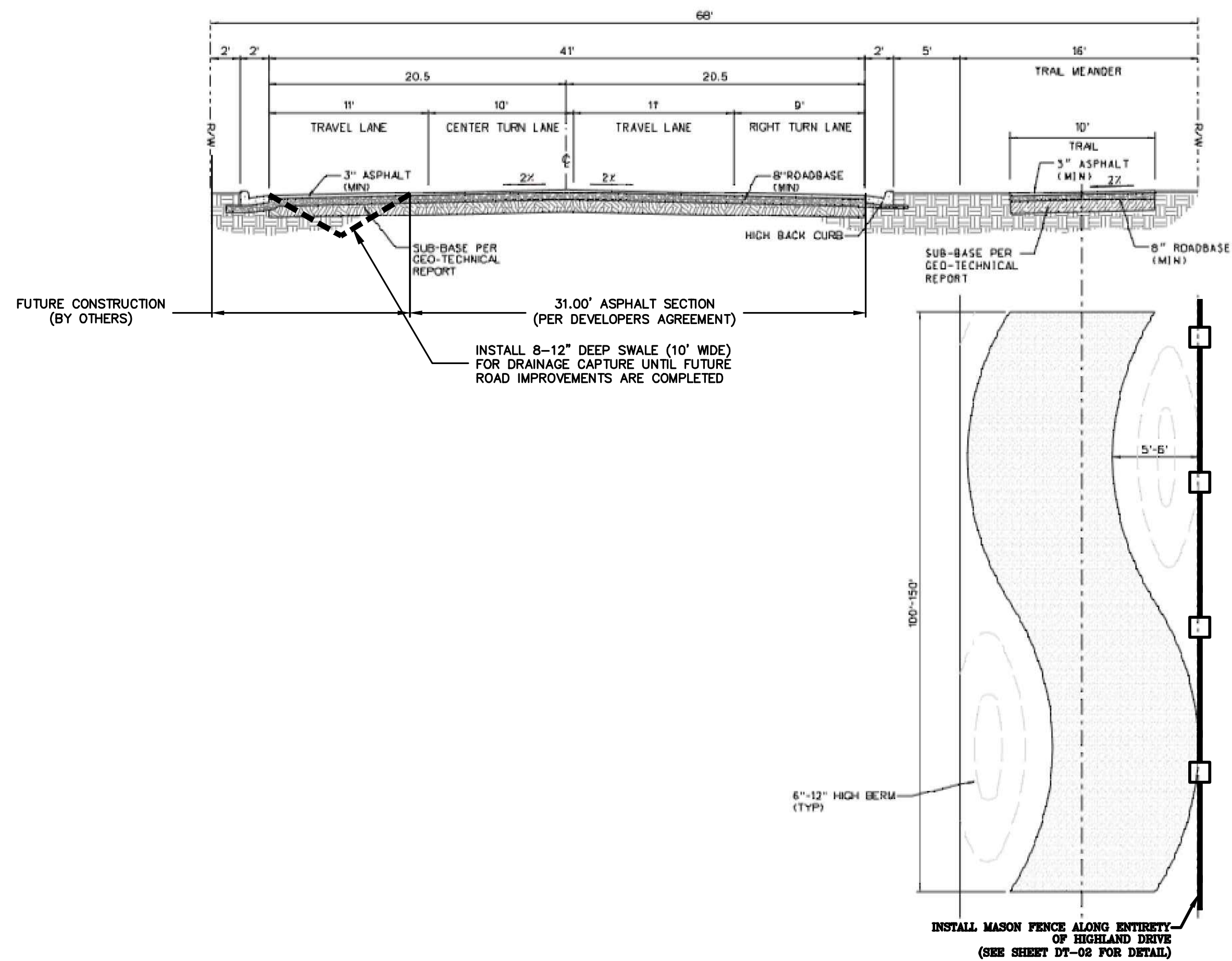
REVISIONS:	
1	
2	
3	

SHEET NAME:
EROSION CONTROL DETAILS

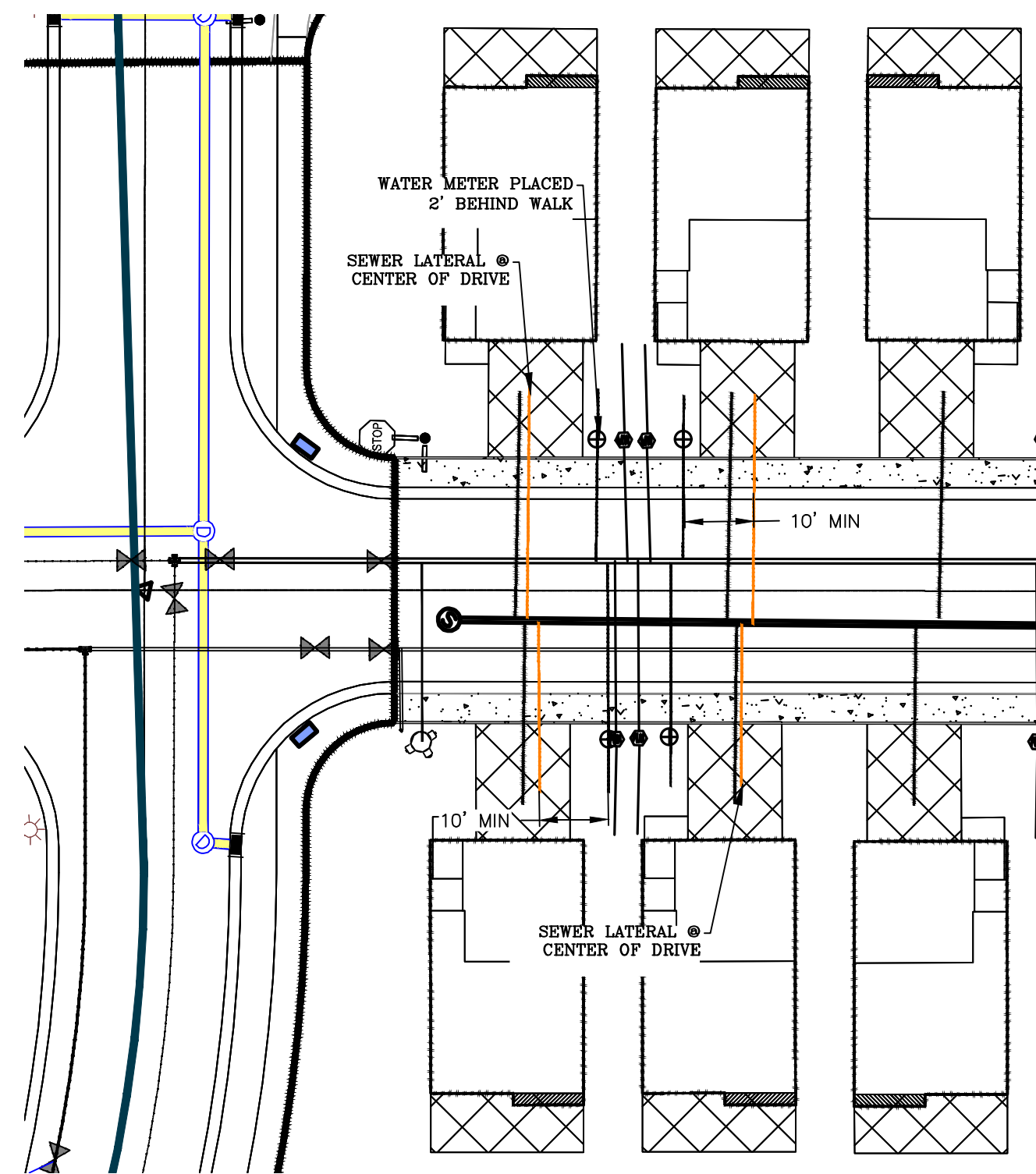
SHEET:
EC-02



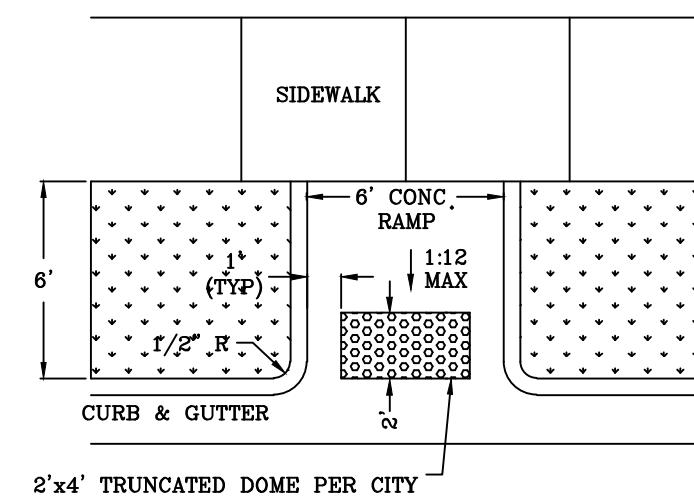
ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



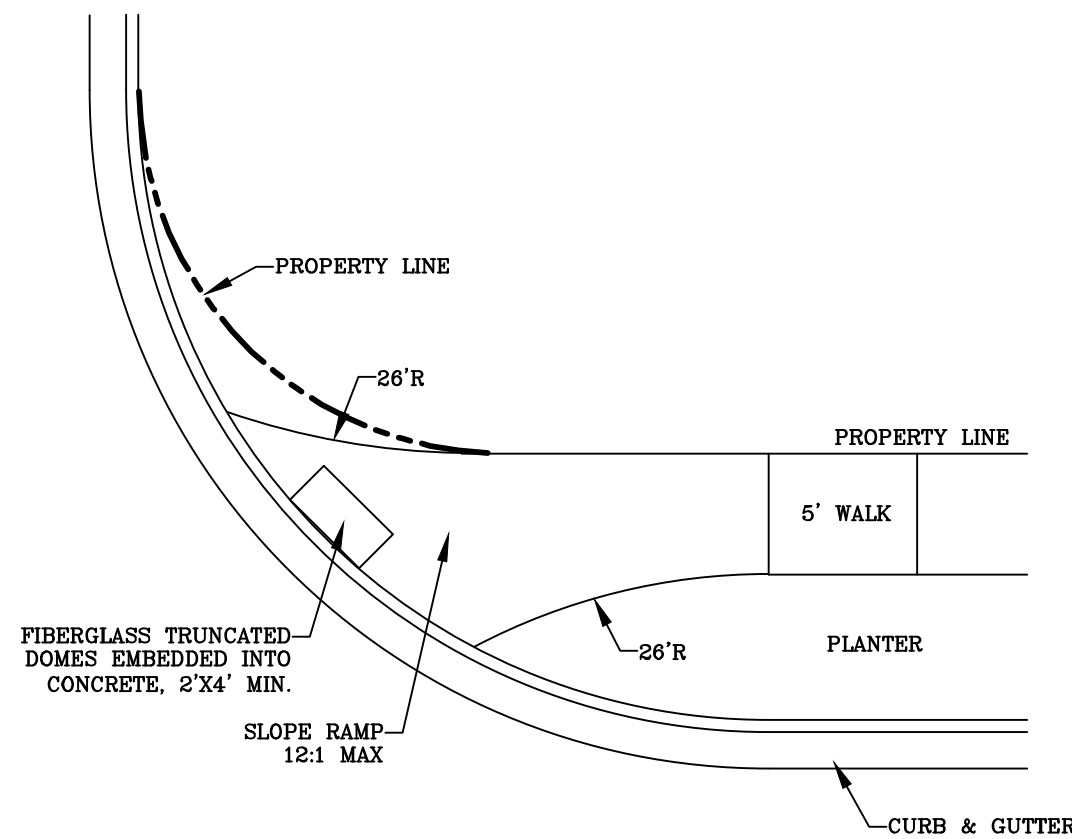
HIGHLAND DRIVE CROSS SECTION
NOT TO SCALE (LOOKING NORTH)



TYPICAL PATIO HOME LOT
SERVICE LATERAL PLACEMENT
(NO INDIVIDUAL PI SERVICE)



MID-BLOCK RAMP DETAIL



RAMP DETAIL

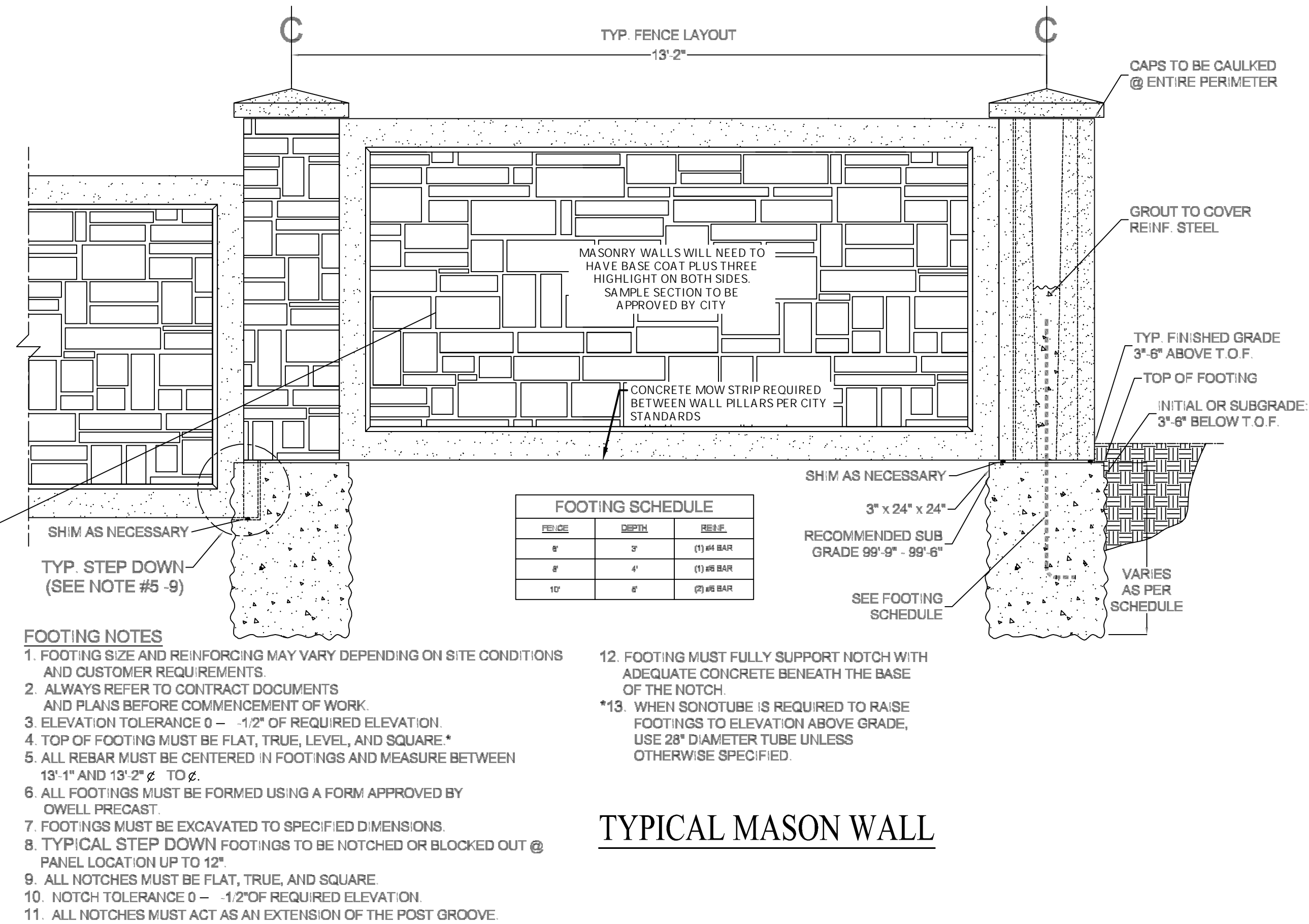
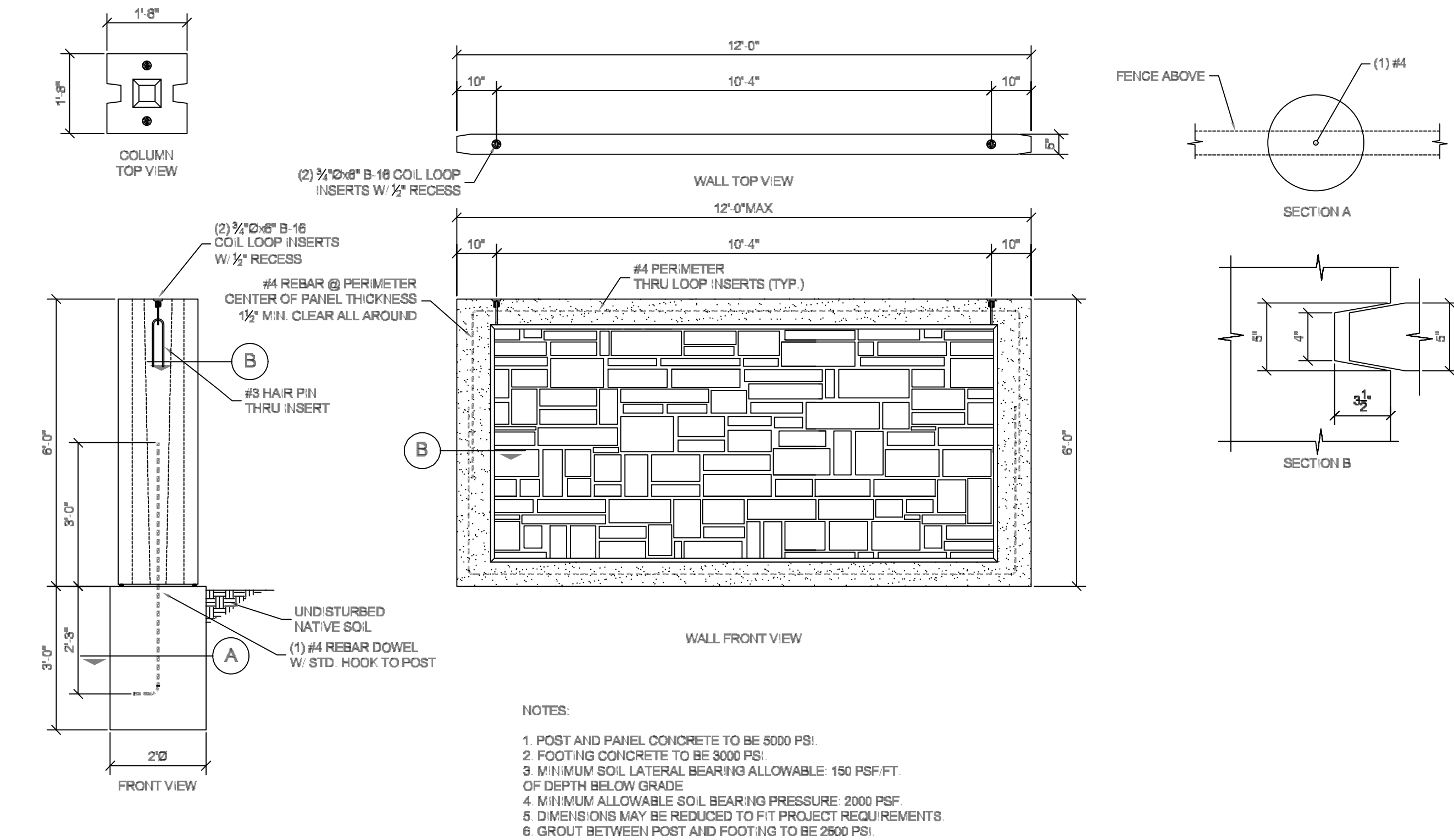
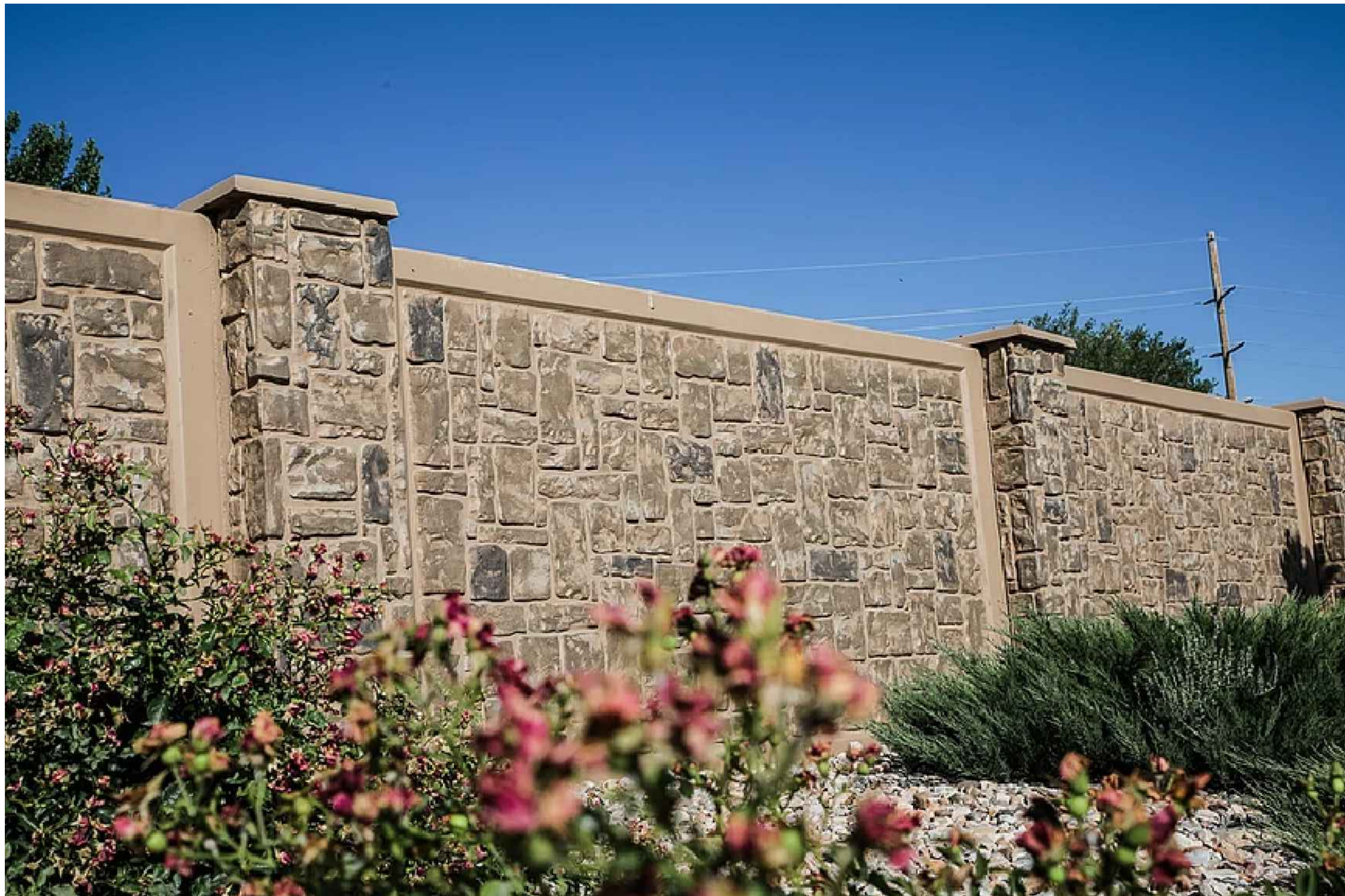
Engineering & Surveying
region
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



FOOTHILL VILLAGE SUBDIVISION
PLAT 'X'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 7.2.2020	
PROJECT #	
REVISIONS:	
1	
2	
3	

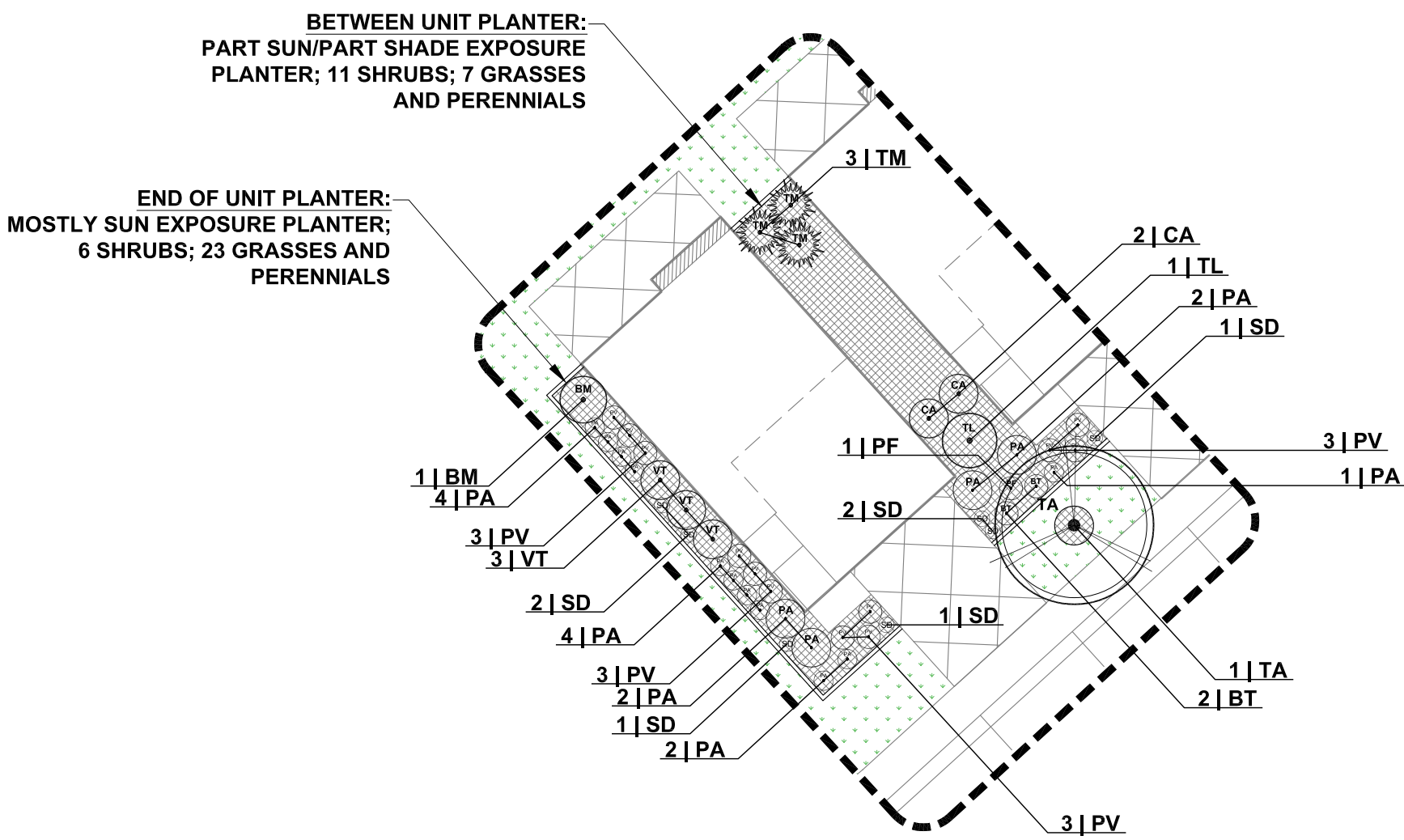
SHEET NAME:
TYPICAL DETAILS
SHEET:
DT-01



PLANT MATERIALS SCHEDULE - TOWNHOME ENLARGEMENTS

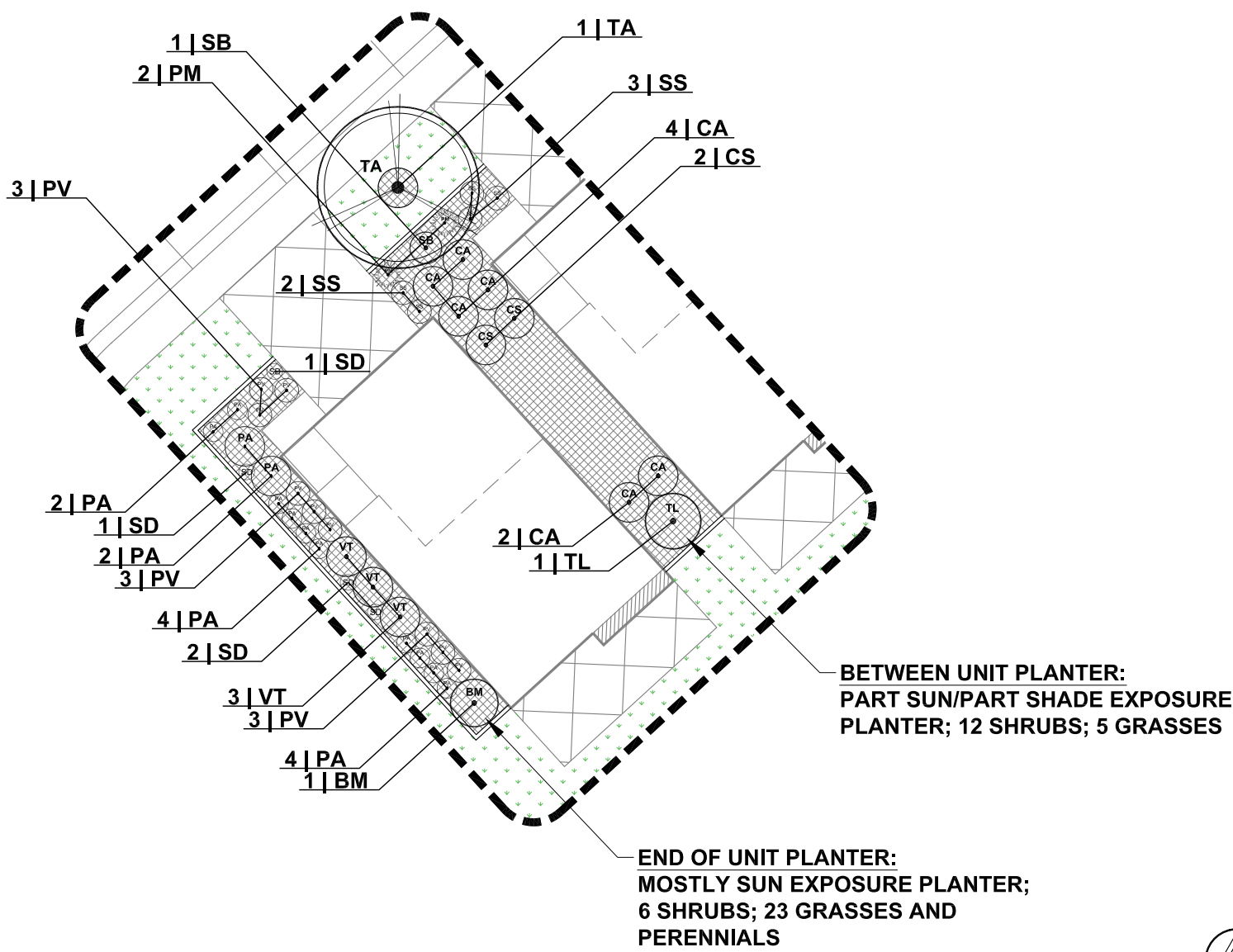
SCIENTIFIC NAME	COMMON NAME	SIZE
SHRUBS		
BT <i>Berberis thunbergii atropurpurea nana</i>	Crimson Pygmy Barberry	#5 gal.
BM <i>Buddleia x 'Miss Molly' ♣</i>	Butterfly Bush	#5 gal.
CA <i>Cornus alba 'Ivory Halo'</i>	Variegated Dogwood	#5 gal.
CS <i>Cornus sericea 'Alleman's Compact'</i>	Redtwig Dogwood	#5 gal.
PA <i>Perovskia atriplicifolia 'Little Spire' ♣</i>	Russian Sage	#5 gal.
PM <i>Pinus mugo 'Slowmound'</i>	Mugo Pine	#5 gal.
PF <i>Potentilla fruticosa 'Jackman'</i>	Shrubby Cinquefoil	#5 gal.
RF <i>Rhamnus frangula columnaris ♣</i>	Tallhedge Buckthorn	#5 gal.
TL <i>Rhus trilobata ♣</i>	Three Leaf Sumac	#5 gal.
SB <i>Spirea bumalda 'Dart's Red'</i>	Spirea	#5 gal.
TM <i>Taxus x media 'Densiformis'</i>	Japanese Yew	#5 gal.
VT <i>Viburnum trilobum 'Bailey Compact' ♣</i>	Cranberry	#5 gal.
GRASSES		
PV <i>Panicum virgatum 'Shenandoah' ♣</i>	Switch Grass	#1 gal.
PA <i>Pennisetum alopecuroides 'Little Bunny' ♣</i>	Dwarf Fountain Grass	#1 gal.
SS <i>Schizachyrium scoparium 'Prairie Blues'</i>	Little Bluestem Grass	#1 gal.
PERENNIALS		
SD <i>Hemerocallis 'Stella D'Oro' ♣</i>	Yellow Daylily	#1 gal.

♣ Indicates water-wise (drought tolerant) species.
Total plant quantities as shown in typical unit layouts.



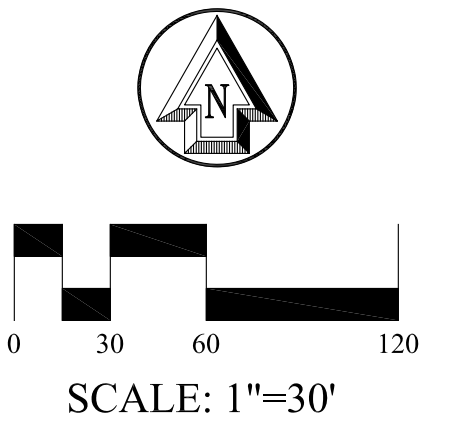
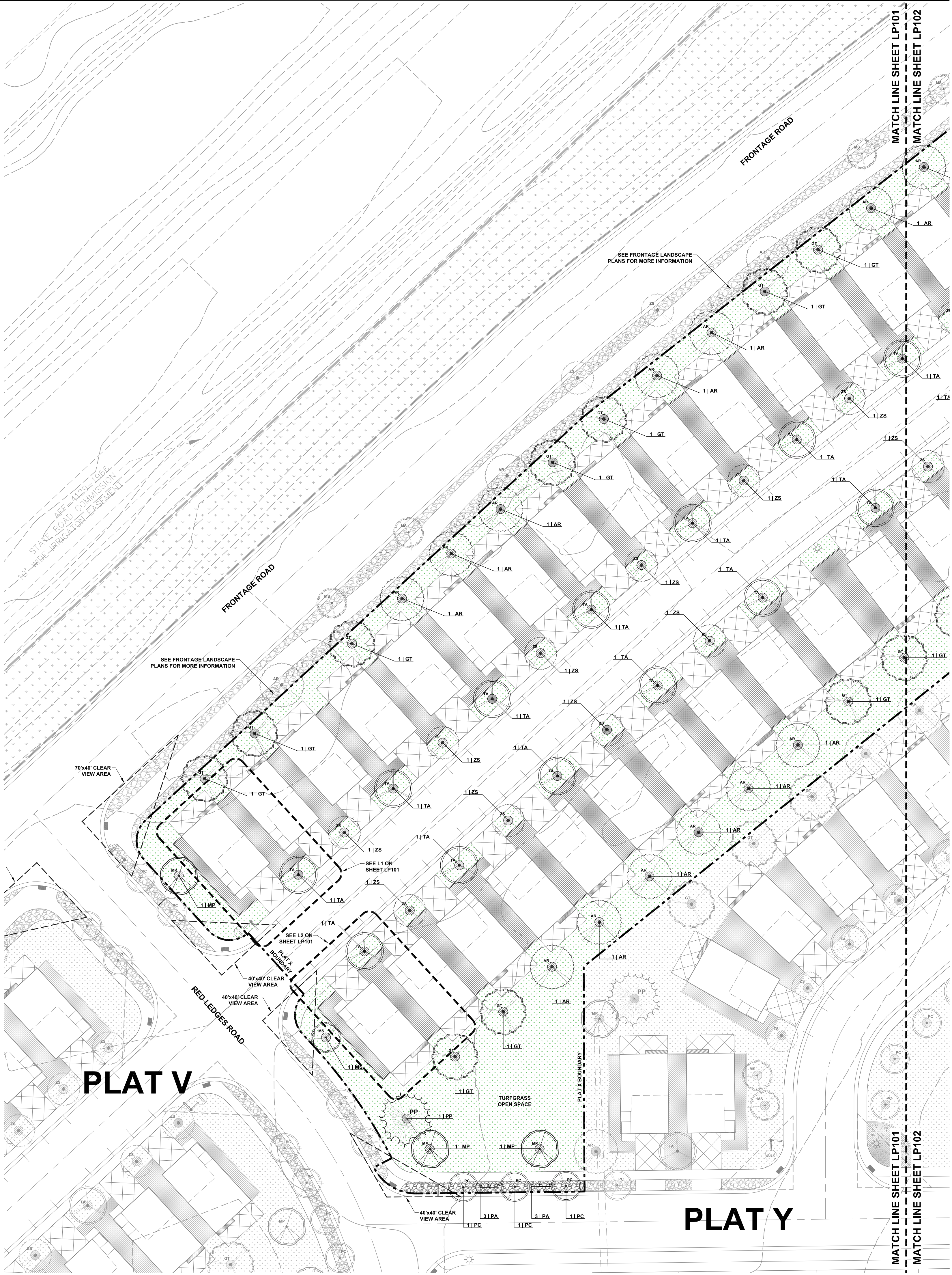
DETAIL
L1

TYPICAL TOWNHOME PLANTING ENLARGEMENT
SCALE: 1"=20'



DETAIL
L2

TYPICAL TOWNHOME PLANTING ENLARGEMENT
SCALE: 1"=20'



No.	Revision/Issue	Date

Designed By: AKC	
Drawn By: AKC	
Reviewed By: AKC	

FOOTHILL VILLAGE
SUBDIVISION
SANTAQUIN, UT

PLAT 'X'

Date: 05/20/2020	Drawing: LANDSCAPE PLAN
Issue: PRELIMINARY	Sheet: LP101
Project: 20-0126	

SCIENTIFIC NAME	COMMON NAME	SIZE
-----------------	-------------	------

SHRUBS		
BT	<i>Barberis thunbergii atropurpurea nana</i>	Crimson Pygmy Barberry #5 ga
GM	<i>Buddleia x Miss Molly</i> *	Butterfly Bush #5 ga
CA	<i>Cornus alba 'Ivory Halo'</i>	Variegated Dogwood #5 ga
CS	<i>Cornus sericea</i> 'Alleman's Compact'	Redtwig Dogwood #5 ga
PA	<i>Perovskia atriplicifolia 'Little Spire'</i> *	Russian Sage #5 ga
PM	<i>Pinus mugo 'Smoilmound'</i>	Mugo Pine #5 ga
PF	<i>Potentilla fruticosa 'Jackman'</i> *	Shrubby Chinesefol #5 ga
RF	<i>Rhamnus frangula columaris</i> *	Tall-edge Buckhorn #5 ga
TL	<i>Rhus trilobata</i> *	Three Leaf Sumac #5 ga
SB	<i>Spiraea bumalda 'Dart's Red'</i>	Spiraea #5 ga
VT	<i>Taxus x media 'Densiformis'</i>	Japanese Yew #5 ga
TM	<i>Viburnum trilobum 'Bailey Compact'</i> *	Cranberry #5 ga

GRASSES

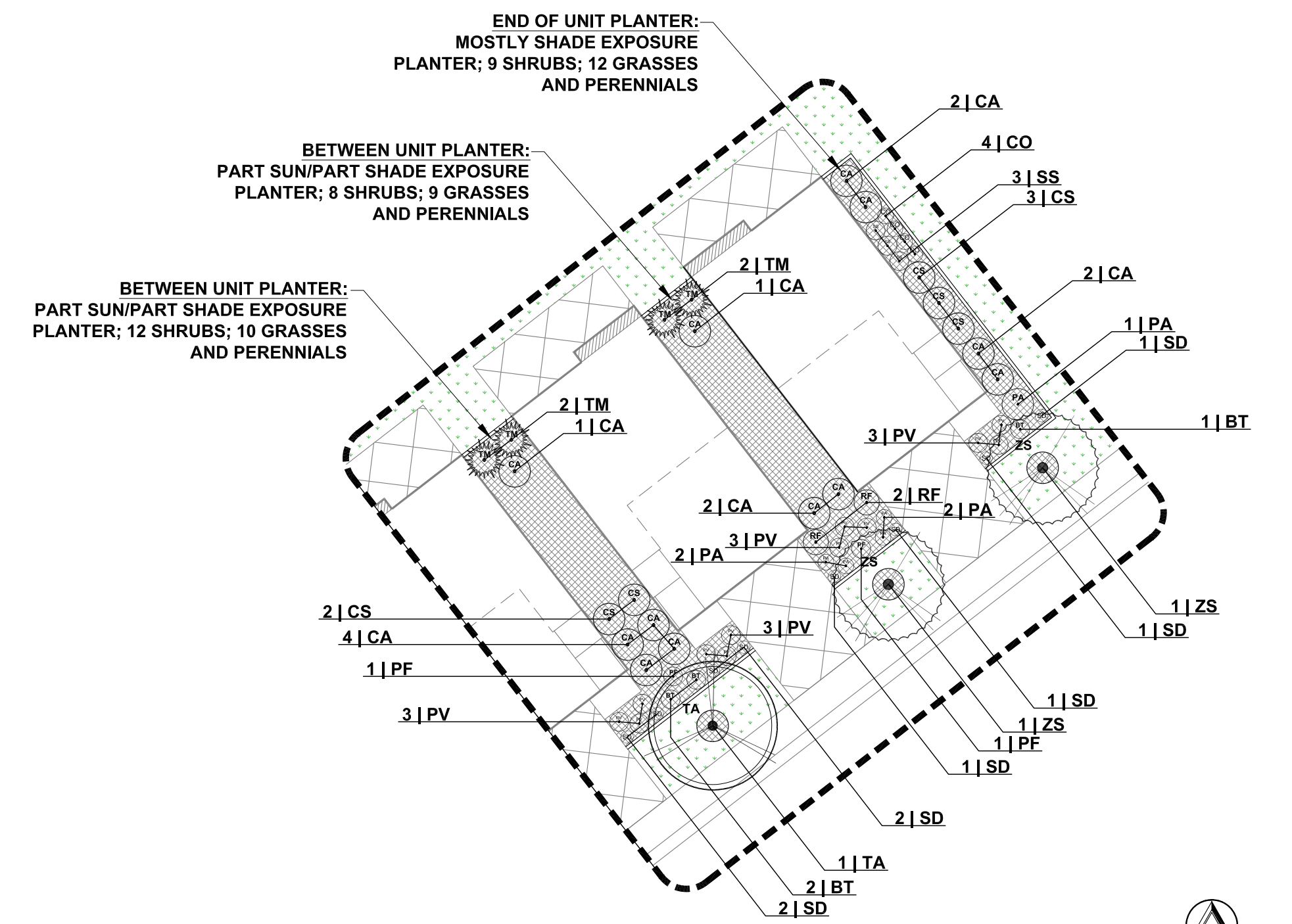
PV	<i>Panicum virgatum</i> 'Shenandoah' ♀	Switch Grass	#1 ga
PA	<i>Pennisetum alopecuroides</i> 'Little Bunny' ♀	Dwarf Fountain Grass	#1 ga
SS	<i>Schizachyrium scoparium</i> 'Prairie Blues'	Little Bluestem Grass	#1 ga

PERENNIALS
 CD *House*

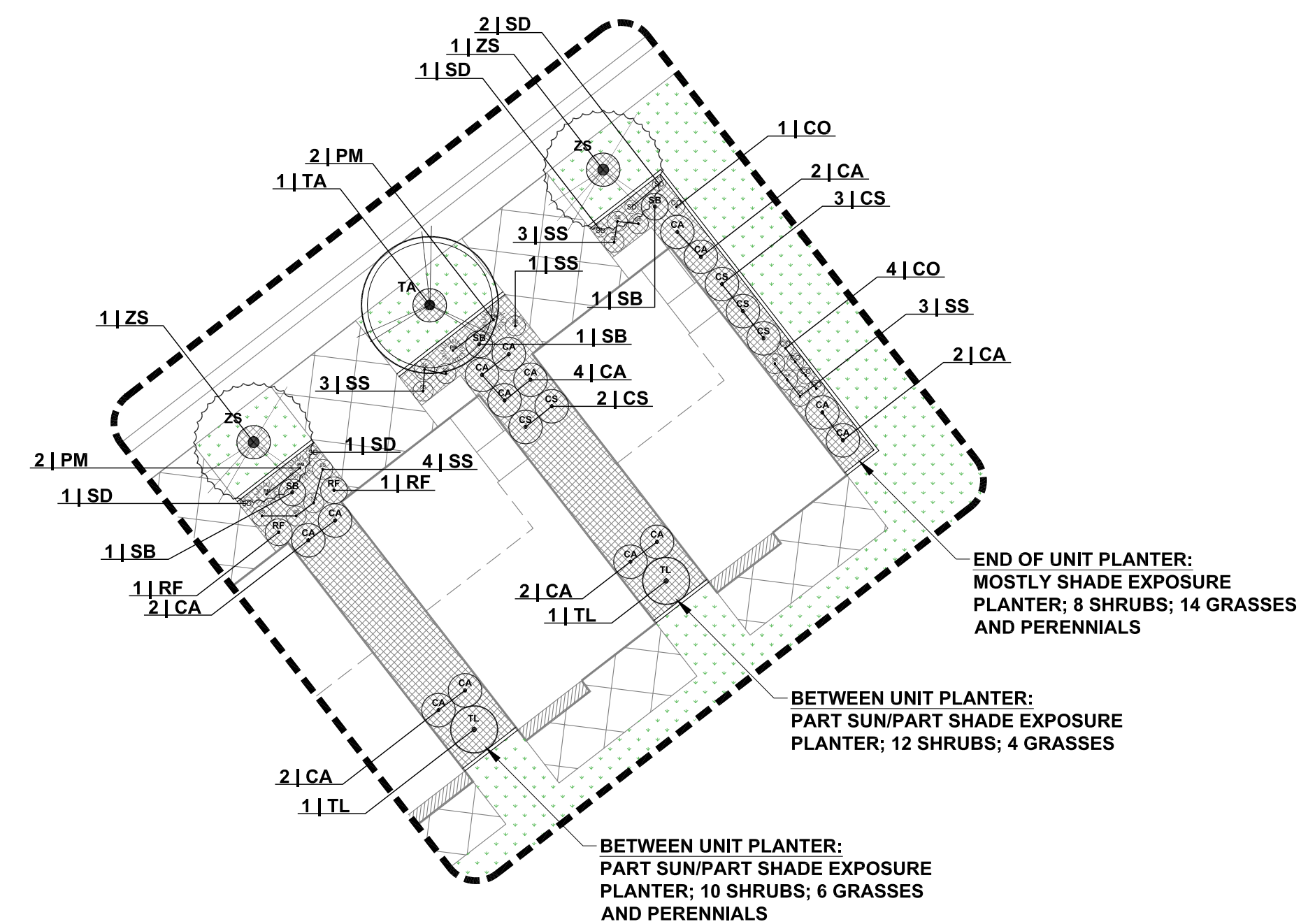
SD *Heimerocallis* Stella D'Oro • Yellow Daylily #1 ga

♣ Indicates water-wise (drought tolerant) species.

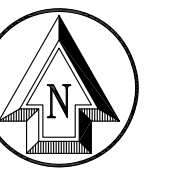
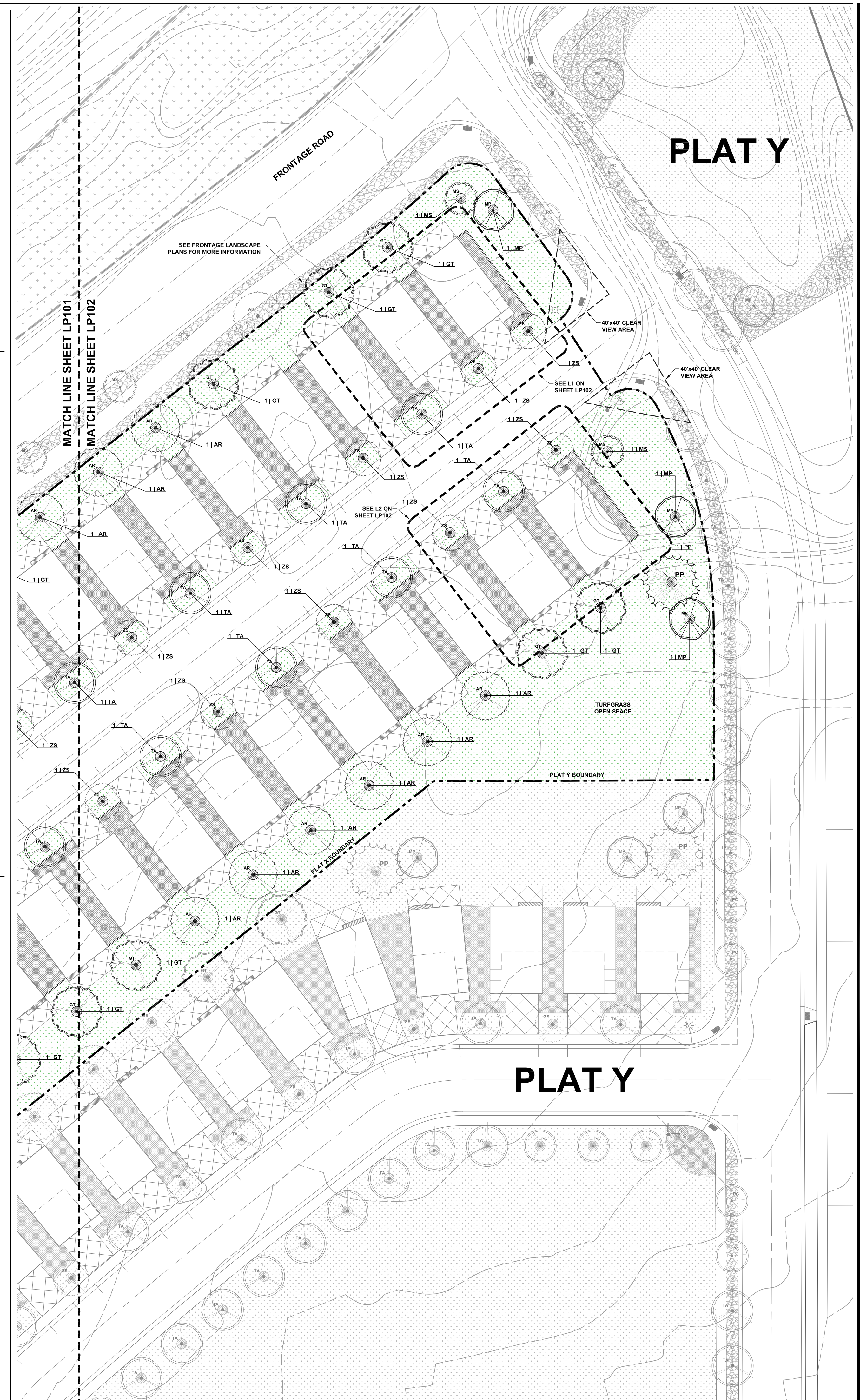
Total plant quantities as shown in typical unit layouts.



DETAIL	TYPICAL TOWNHOME PLANTING ENLARGEMENT
L1	SCALE: 1"=20'



DETAIL	TYPICAL TOWNHOME PLANTING ENLARGEMENT
L2	SCALE: 1"=20'



SCALE: 1"=30'

[illegible]

Designed By:
AKC

Drawn By:
AKC

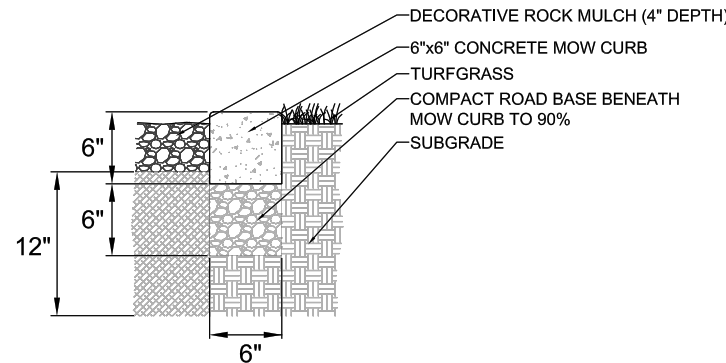
Reviewed By:
AKC

FOOTHILL VILLAGE
SUBDIVISION
SANTAQUIN, UT

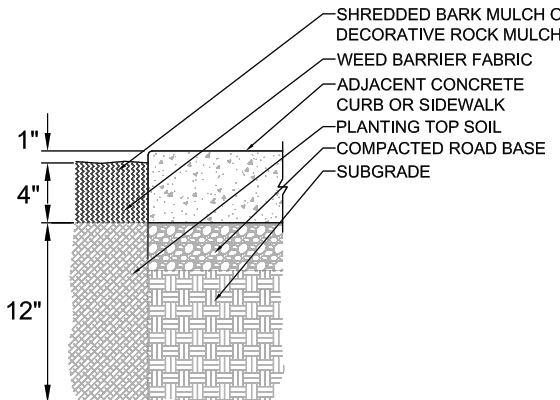
PLAT 'X'

Date: 05/20/2020	Drawing: LEGEND & DETAILS
Issue: PRELIMINARY	Sheet: LP102
Project: 20-0126	

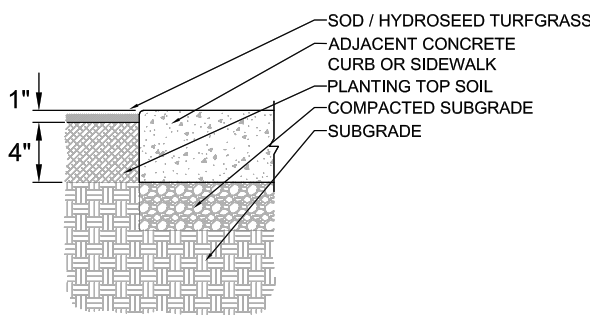
DETAIL L6 CONCRETE MOW CURB NO SCALE



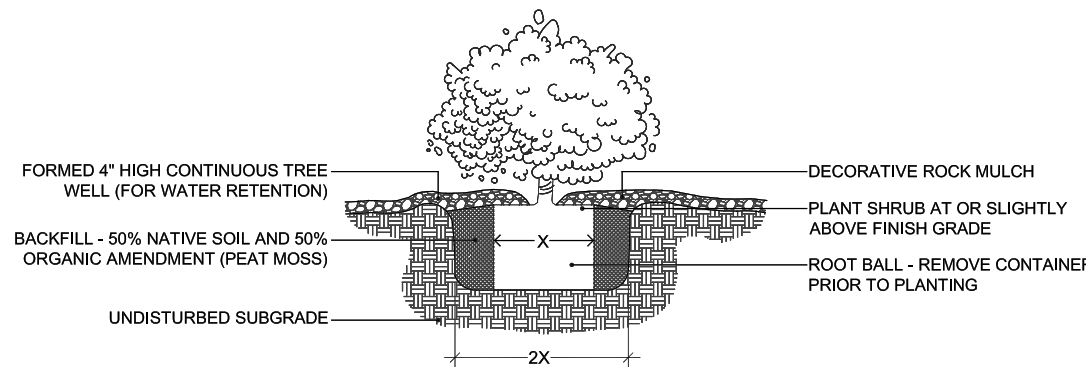
DETAIL L5 PLANTER BED - TOP SOIL and MULCH NO SCALE



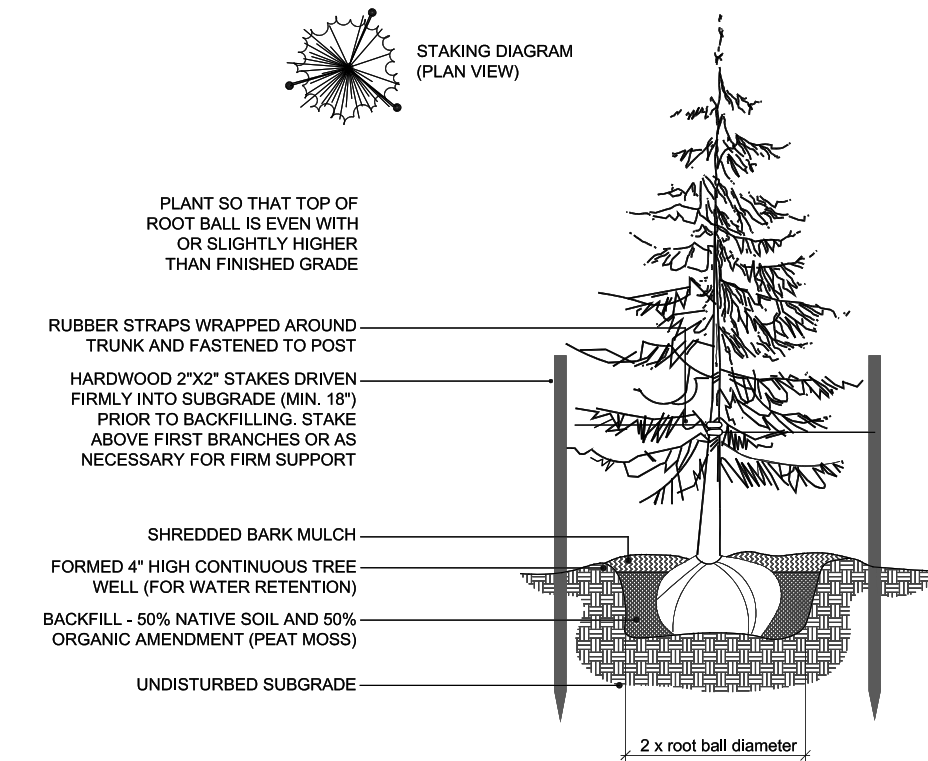
DETAIL L4 TURFGRASS - TOP SOIL NO SCALE



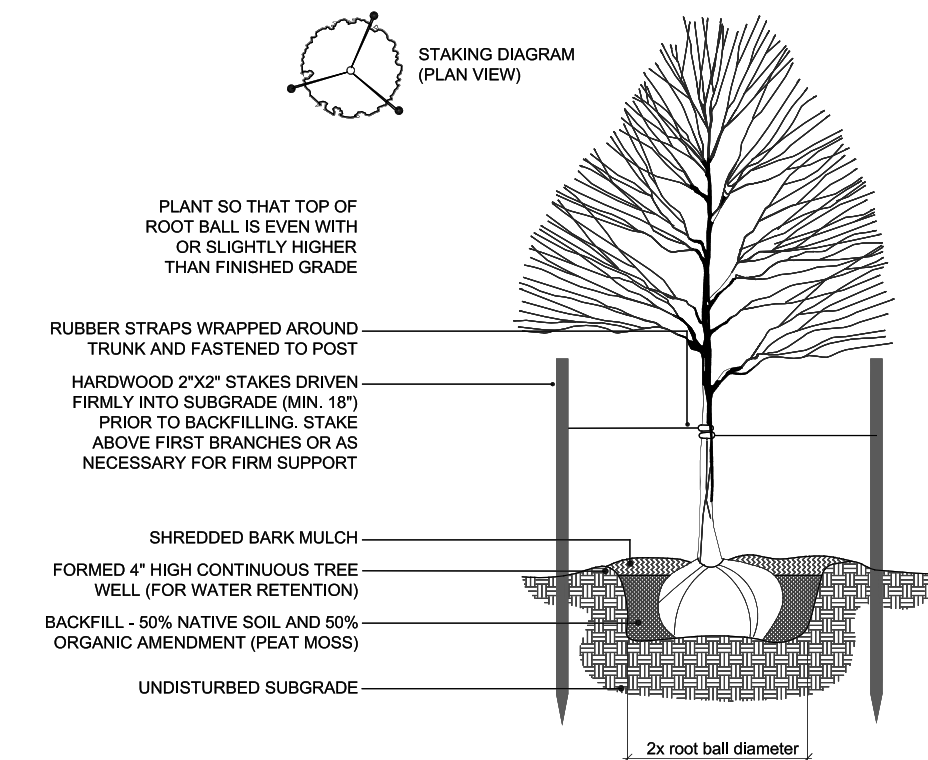
DETAIL L3 SHRUB PLANTING NO SCALE



DETAIL L2 CONIFER TREE PLANTING NO SCALE



DETAIL L1 DECIDUOUS TREE PLANTING NO SCALE



PLANT MATERIALS SCHEDULE - SHEET LP101


SCIENTIFIC NAME	COMMON NAME	SIZE	QTY.
TREES			
AR	<i>Acer rubrum</i> 'October Glory'	Red Maple	2.0" cal. 20
GT	<i>Gleditsia triacanthos</i> 'Skyline' ♣	Honeylocust	2.0" cal. 17
MP	<i>Malus</i> 'Prairie Fire' ♣	Flowering Crabapple	2.0" cal. 6
MS	<i>Malus</i> 'Spring Snow' ♣	Flowering Crabapple	2.0" cal. 3
PP	<i>Picea pungens</i>	Colorado Spruce	6' height 2
TA	<i>Tilia americana</i> 'Redmond'	Linden	2.0" cal. 20
ZS	<i>Zelkova serrata</i> 'Muscashino' ♣	Zelkova	2.0" cal. 20
			Total: 88
SHRUBS			
PA	<i>Perovskia atriplicifolia</i> 'Little Spire' ♣	Russian Sage	#5 gal. 6
			Total: 6


♣ Indicates water-wise (drought tolerant) species. Total percentage of water-wise tree and plant species equals 54.3%


Note: quantities shown in the plant schedule above include only those plants shown on Sheets LP101 and LP102. See enlargements on each sheet for approximate quantities of shrubs, grasses, and perennials around townhome units.


Note: quantities shown in the materials legend below include all of the turfgrass, decorative rock mulch, shredded bark mulch, and concrete edging for this phase. This includes the materials shown in the enlargements on Sheets LP101 and LP102.

LANDSCAPE MATERIALS LEGEND

 **Turfgrass Areas - 60,048.0 sq.ft. (69.1%)**
Turfgrass areas shall be a water-wise 50/50 blend of Kentucky Bluegrass and perennial Rye Grass cut sod and/or hydroseed, installed over a prepared subgrade of four inches (4") of screened and compacted top soil, once irrigation and finish grading has been completed. Install sod within twenty four (24) hours of delivery and do not allow sod to dry out. Lightly wet top soil prior to installation of sod, but avoid creating muddy conditions. All trees within turfgrass areas shall be planted within a five foot (5') diameter tree ring and covered with shredded bark mulch (see Tree Planting note #16).

 **Decorative Rock Mulch Planter Bed Areas - 588.0 sq.ft. (0.6%)**
Planter bed areas shall be constructed with twelve inches (12") of screened, sandy loam top soil installed on top of sub-grade material. Planter bed areas shall be finished with two to four inch (2"-4") decorative cobble rock in natural tan, brown, cream and maroon colors, or as approved by Owner. Cobble rock mulch shall be installed to an average depth of four inches (4") and shall completely cover all planter bed areas. Prior to installation of cobble rock mulch, it is recommended that DeWitt Pro5 weed barrier be applied to the planter bed areas. All trees and plants within decorative rock planter bed areas shall be irrigated with point-source drip emitters.

 **Shredded Bark Mulch Planter Bed Areas - 26,326.0 sq. ft. (30.3%)**
Planter bed areas shall be constructed with twelve inches (12") of screened, sandy loam top soil installed on top of sub-grade material. Planter bed areas shall be finished with brown, shredded hardwood bark mulch, or as approved by Owner. Shredded bark mulch shall be installed to an average depth of four inches (4") and shall completely cover all planter bed areas. Prior to installation of shredded bark mulch, it is recommended that DeWitt Pro5 weed barrier be applied to the planter bed areas. All trees and plants within shredded bark planter bed areas shall be irrigated with point-source drip emitters.

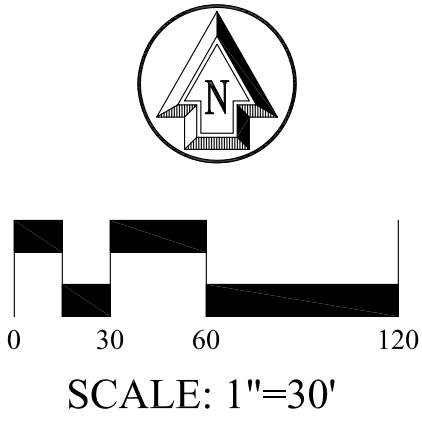
 **Concrete Mow Curb - 1,480.0 lin.ft.**
Concrete mow curbing shall be cast-in-place, slip formed gray concrete, or as approved by Owner. Install concrete mow curbing once rough and finish grading has been completed, but prior to installation of irrigation, plant materials, and sod. Saw cut control joints shall be evenly spaced, at approximately ten feet on center (10' O.C.).

TREE PLANTING NOTES:

- Final plant selections, quantities, and locations shall be approved by the Owner. Variations to this Landscape Plan may be made during construction and installation, per direction from the Owner.
- See typical unit landscape enlargements for more information on plant layout and quantities.
- All deciduous trees shown on this Landscape Plan shall be a minimum of two inch caliper (2.0" cal.) balled and burlapped nursery stock, or as otherwise required.
- All conifer trees shown on this Landscape Plan shall be a minimum of six feet (6') in height, unless otherwise required.
- Balled and burlapped trees showing obvious signs of damage to the root ball and/or trunk shall not be acceptable.
- Tree holes shall be dug two times (2x) the diameter of the root ball and only as deep as the root ball.
- Tree root ball shall be at least twelve (12") inches in diameter per each one (1") inch of tree caliper and at least eighteen (18") inches deep. Root ball shall be wrapped tightly with no loose parts.
- Tree should be set in the center of the hole and stood upright. The root flare should be visible and located at, or slightly above, finished ground level. The root flare should never be below finished ground level.
- Trees shall only be lifted by the wire basket. Never lift trees by grasping trunk or limbs, or by attaching any type of sling or choker.
- Do not remove the wire basket from balled and burlapped trees during planting. Bend the top wire loops down into hole after cutting wire or rope from around the tree trunk.
- Cut and remove the top third of the burlap after hole has been backfilled two thirds of its depth.
- Remove all strings, rope, stakes, taping, tags, flagging, and any other such items.
- Backfill hole with excavated material and compact only enough to hold tree in place. Never use mechanical compaction. Top soil or soil pep may be added to excavated material if high quantities of clay soils are present, but shall not replace excavated material. Backfill material should cover root flare slightly, but should not be piled against trunk.
- Water generously to soak entire root ball and backfill material. A soil water ring should be formed at the edge of the root ball. Backfill material may need to be added as soil settles below root flare.
- During backfill of trees, shrubs and plants place 21-gram fertilizer tablets in hole according to manufacturer's written instructions.
- Trees within lawn areas shall be planted within a five foot (5') diameter tree ring and finished with shredded bark mulch. Install mulch to an average depth of three to four inches (3"-4") deep. Do not pile excessive mulch around tree trunks.

SHRUB and PLANTS PLANTING NOTES:

- All shrubs shown on this Landscape Plan shall be a minimum five gallon (#5 gal.) containerized nursery stock.
- All ornamental grasses shown on this Landscape Plan shall be a minimum one gallon (#1 gal.) containerized nursery stock.
- Hole should be dug at least two times (2x) the diameter of the root ball and only as deep as the root ball.
- Gently remove plant from the container, lightly rub all sides of the root ball to expose ends of roots, and place in the center of the hole. The top of the root ball should be at finished ground level.
- Backfill the hole with excavated material. Top soil or soil pep may be added to excavated material if high quantities of clay soils are present, but shall not replace excavated material.
- Compact soil enough to hold plant in place. Never use mechanical compaction.
- Generously water to soak entire root ball and backfill. A soil water ring should be formed around the outside of the root ball. Backfill material may need to be added after material has settled.
- Mulch shall be added to a depth of three (3") to four (4") inches and at least twice the width of the root ball.
- For weed barrier cut a hole for the plant at least one and a half times (1.5X) times the diameter of the root ball to allow room for the plant to expand and grow naturally.



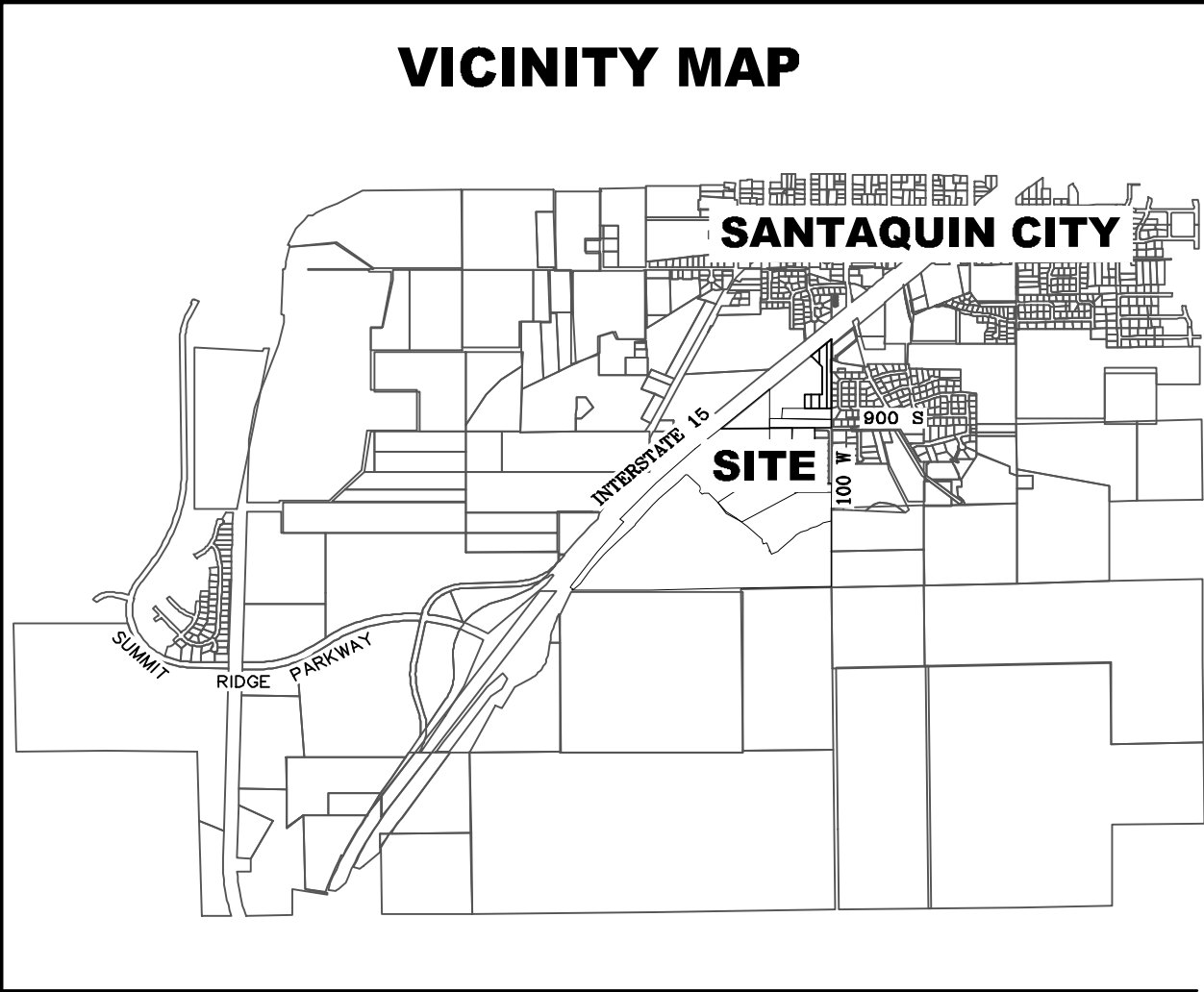
No.	Revision/Issue	Date

Designed By: AKC	
Drawn By: AKC	
Reviewed By: AKC	

FOOTHILL VILLAGE
SUBDIVISION
SANTAQUIN, UT

PLAT 'X'

Date: 05/20/2020	Drawing: LEGEND & DETAILS
Issue: PRELIMINARY	Sheet:
Project: 20-0126	LP103



ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

FOOTHILL VILLAGE SUBDIVISION PLAT 'Y'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11,
TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
Santaquin, Utah County, Utah

PROJECT STATISTICS

LOTS 10 LOTS
TOTAL ACREAGE 6.43 ACRES
TOTAL ACREAGE IN LOTS 1.67 ACRES
TOTAL ACREAGE OPEN SPACE 3.15 ACRES
TOTAL ACREAGE IN STREETS 1.61 ACRES
DENSITY 1.55 UNITS PER ACRE
ZONE R10 PUD

PROJECT DEVELOPER

DR HORTON
12351 So. Gateway Park Place
Suite D-100
Draper UT 84020
Office: (801) 571-7101
CKLeavitt@drhorton.com

PROJECT ENGINEER & SURVEYOR

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245

INDEX OF PLAN SHEETS

SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PLAT	PLAT SHEETS
SP-01	SITE & UTILITY PLAN
GR-01	GRADING PLAN
PP-01 - PP-03	PLAN & PROFILES
EC-01	EROSION CONTROL PLAN
EC-02	EROSION CONTROL DETAILS
DT-01 - DT-02	TYPICAL DETAILS

NOTES:

- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
- ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
- 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PL STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
- A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
- SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED.
- ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
- ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.

NORTH

0 40 80 160 240

(24"x36")
SCALE 1" = 80'
(11"x17")
SCALE 1" = 160'

ACCEPTANCE	
SIGNATURE: DEVELOPER	DATE: _____
SIGNATURE: CITY ENGINEER	DATE: _____
SIGNATURE: COMMUNITY DEV. DIRECTOR	DATE: _____
SIGNATURE: PUBLIC WORKS	DATE: _____
SIGNATURE: BUILDING DEPARTMENT	DATE: _____
SIGNATURE: POLICE DEPARTMENT	DATE: _____
SIGNATURE: FIRE DEPARTMENT	DATE: _____

Engineering & Surveying
region
187023
Donald L. Leavitt
P.E.
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com

FOOTHILL VILLAGE SUBDIVISION
PLAT 'Y'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.26.2020

PROJECT #

REVISIONS:

1
2
3

SHEET NAME:

COVER SHEET & NOTES

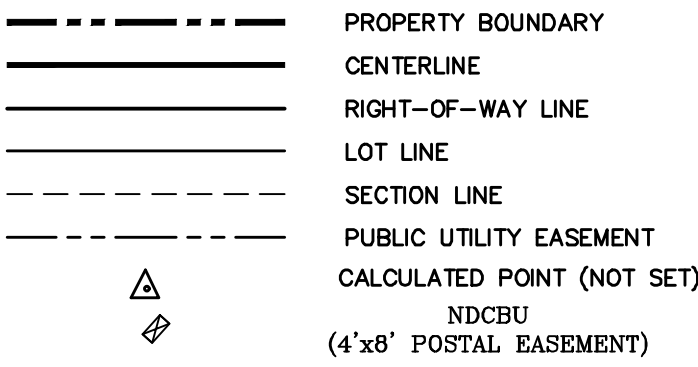
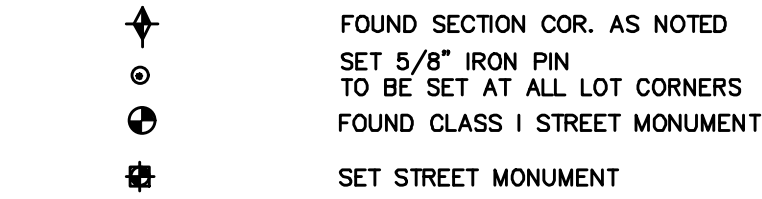
SHEET:

CS-01

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	73.03'	72.50'	69.98'	S60°28'09"W	57°43'01"
C2	23.74'	15.00'	21.34'	N45°20'10"W	90°40'20"
C3	46.42'	55.00'	45.05'	N24°10'42"E	48°21'24"
C4	152.26'	2241.50'	152.23'	N50°18'10"E	3°53'31"
C5	36.24'	55.00'	35.59'	N71°07'28"E	37°45'05"
C6	23.61'	15.00'	21.25'	N44°54'01"E	90°11'58"
C7	112.91'	222.50'	111.70'	N14°44'12"W	29°04'27"
C8	25.78'	15.00'	22.72'	N78°30'45"W	98°28'39"
C9	23.10'	15.00'	20.89'	N80°7'23"E	88°15'05"
C10	55.52'	100.00'	54.81'	N15°42'20"E	31°48'37"
C13	156.22'	250.00'	153.69'	N18°06'04"W	35°48'12"
C16	8.37'	750.00'	8.37'	N45°14'53"E	0°38'21"
C19	53.39'	750.00'	53.38'	N46°58'04"E	4°04'42"
C21	73.03'	72.50'	69.98'	S60°28'09"W	57°43'01"
C22	55.13'	774.50'	55.12'	N46°58'04"E	4°04'42"
C23	4.46'	725.50'	4.46'	N45°06'17"E	0°21'08"
C24	23.51'	15.00'	21.18'	N45°05'59"W	89°48'02"
C25	40.25'	72.50'	39.74'	N15°42'20"E	31°48'37"
C26	45.08'	127.50'	44.84'	S21°28'58"W	201°5'21"
C27	25.71'	127.50'	25.67'	S5°34'40"W	11°33'16"
C28	28.71'	277.50'	28.69'	S3°09'47"E	5°55'37"
C29	56.30'	277.50'	56.20'	S11°56'17"E	11°37'24"
C30	60.27'	277.50'	60.15'	S23°58'19"E	12°26'40"
C31	28.13'	277.50'	28.12'	S33°05'54"E	5°48'31"
C32	21.19'	15.00'	19.47'	S4°27'47"W	80°55'54"
C33	50.29'	706.50'	50.28'	S46°58'04"W	4°04'42"

LINE TABLE		
LINE	LENGTH	DIRECTION
L1	42.50'	N90°00'00"W
L2	43.23'	N52°14'55"E
L3	14.54'	N36°00'10"W
L4	52.19'	N49°00'25"E

LEGEND



UTILITIES APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER _____
CENTRACOM _____

DOMINION ENERGY ACCEPTANCE

DOMINION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION'S RIGHT OF WAY DEPARTMENT AT 1-800-368-8532.

APPROVED THIS _____ DAY OF _____, 20 _____

DOMINION ENERGY COMPANY

BY- _____

TITLE- _____

FOOTHILL VILLAGE SUBDIVISION PLAT 'Y'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11,
TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
Santaquin, Utah County, Utah

UDOT - I-15

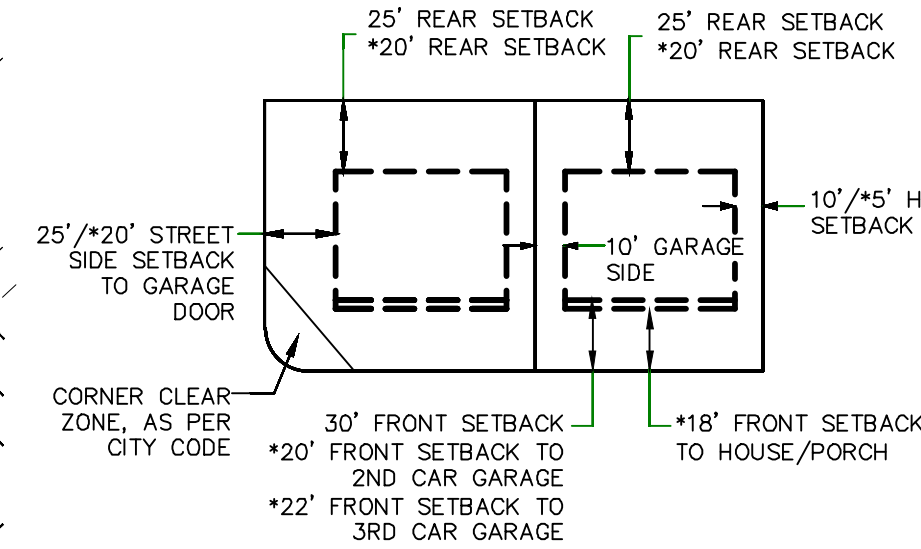
OPEN SPACE/DETENTION AREAS
TO BE LANDSCAPED w/ NATIVE GRASSES
(DEDICATED TO SANTAQUIN CITY)
32558 sf (0.75 ACRES)

OPEN SPACE/DETENTION AREAS
TO BE LANDSCAPED BY THE DEVELOPER
(DEDICATED TO SANTAQUIN CITY)
47452 sf (1.09 ACRES)

32-017:0220
FORESTAR (USA)
REAL ESTATE GROUP INC
FOOTHILL PLAT X

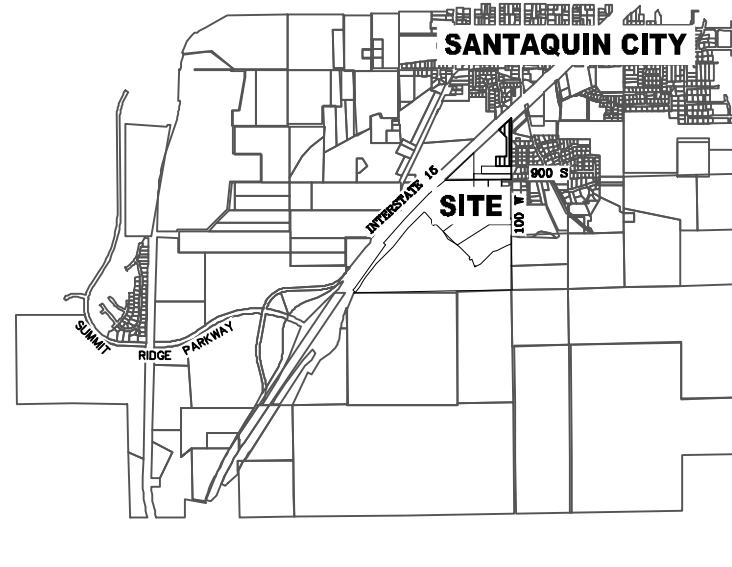
32-017:0220
FORESTAR (USA)
REAL ESTATE GROUP INC

BUILDING SETBACKS (MINIMUM)



*FOR LOTS LESS THAN 110' IN DEPTH

VICINITY MAP



** SHALLOW SEWER MAY EXIST
THROUGHOUT THIS PHASE. INJECTOR
PUMPS MAY BE NEEDED IF BASEMENTS
ARE INSTALLED **

PROJECT STATISTICS

LOTS 10 LOTS
TOTAL ACREAGE 6.43 ACRES
TOTAL ACREAGE IN LOTS 1.67 ACRES
TOTAL ACREAGE OPEN SPACE 3.15 ACRES
TOTAL ACREAGE IN STREETS 1.61 ACRES
DENSITY 1.55 UNITS PER ACRE
ZONE R10 PUD

PROJECT DEVELOPER

DR HORTON
12351 So. Gateway Park Place
Suite D-100
Draper UT 84020
Office: (801) 571-7101
ckagovitt@drhorton.com

PROJECT ENGINEER & SURVEYOR

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245



(24"x36")
SCALE 1" = 60'
(11"x17")
SCALE 1" = 120'

BASIS OF BEARING

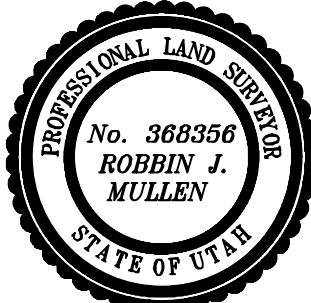
THE BASIS OF BEARING FOR THE FOOTHILL VILLAGES PLAT 'X' IS ON THE SECTION LINE BETWEEN THE EAST 1/4 CORNER AND THE NORTHEAST CORNER OF SECTION 11, T10S, R1E, S1&2M WITH THE BEARING BEING N00°41'12"W ALONG SAID LINE.

NOTES:

1. @ ... TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
2. [XXXX] - PROPOSED RESIDENTIAL ADDRESS
3. (XXXX S.F.) AREA IN PARENTHESES DENOTES BUILDABLE AREA

CENTURYLINK ACCEPTANCE

CENTURYLINK SHALL HAVE THE RIGHT TO A FIVE FOOT NON-EXCLUSIVE UTILITY EASEMENT TO INSTALL, MAINTAIN AND OPERATE ITS EQUIPMENT ABOVE AND BELOW GROUND AS IDENTIFIED ON THE PLAT MAP AND AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES. UPON RECORDING OF THE PLAT MAP, CENTURYLINK VACATES, TERMINATES, RELEASES AND DISCLAIMS ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, AND ANY OTHER PROPERTY RIGHTS AND INTERESTS CENTURYLINK MAY OWN, HOLD, BENEFIT FROM, OR POSSESS IN RELATION TO THAT CERTAIN RIGHT OF WAY EASEMENT IN FAVOR OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY DATED JANUARY 8, 1929, AND RECORDED ON JANUARY 9, 1929, AS ENTRY NO. 215, IN BOOK 269, AT PAGE 468, TO THE EXTENT THAT SUCH RIGHT OF WAY EASEMENT PERTAINS TO OR EFFECTS ANY OF THE REAL PROPERTY THAT IS DESCRIBED ON AND IS SUBJECT TO THIS PLAT.



DATE _____ SURVEYOR _____

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20 _____

LIMITED COMPANY ACKNOWLEDGEMENT

STATE OF UTAH

S.S.

COUNTY OF UTAH

ON THIS _____ DAY OF _____, A.D. 20 _____ PERSONALLY APPEARED BEFORE ME _____ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE _____ OF _____ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS _____

PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20 _____

APPROVED MAYOR OF SANTAQUIN _____

ATTEST _____

ENGINEER
(See Seal Below)

CLERK-RECORDER
(See Seal Below)

FOOTHILL VILLAGE SUBDIVISION PLAT 'Y'

UTAH COUNTY, UTAH

SCALE 1" = 60 FEET

NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAL

COUNTY-RECORDER SEAL

This form approved by Utah County and the municipalities therein.

NOTES TO CONTRACTOR:

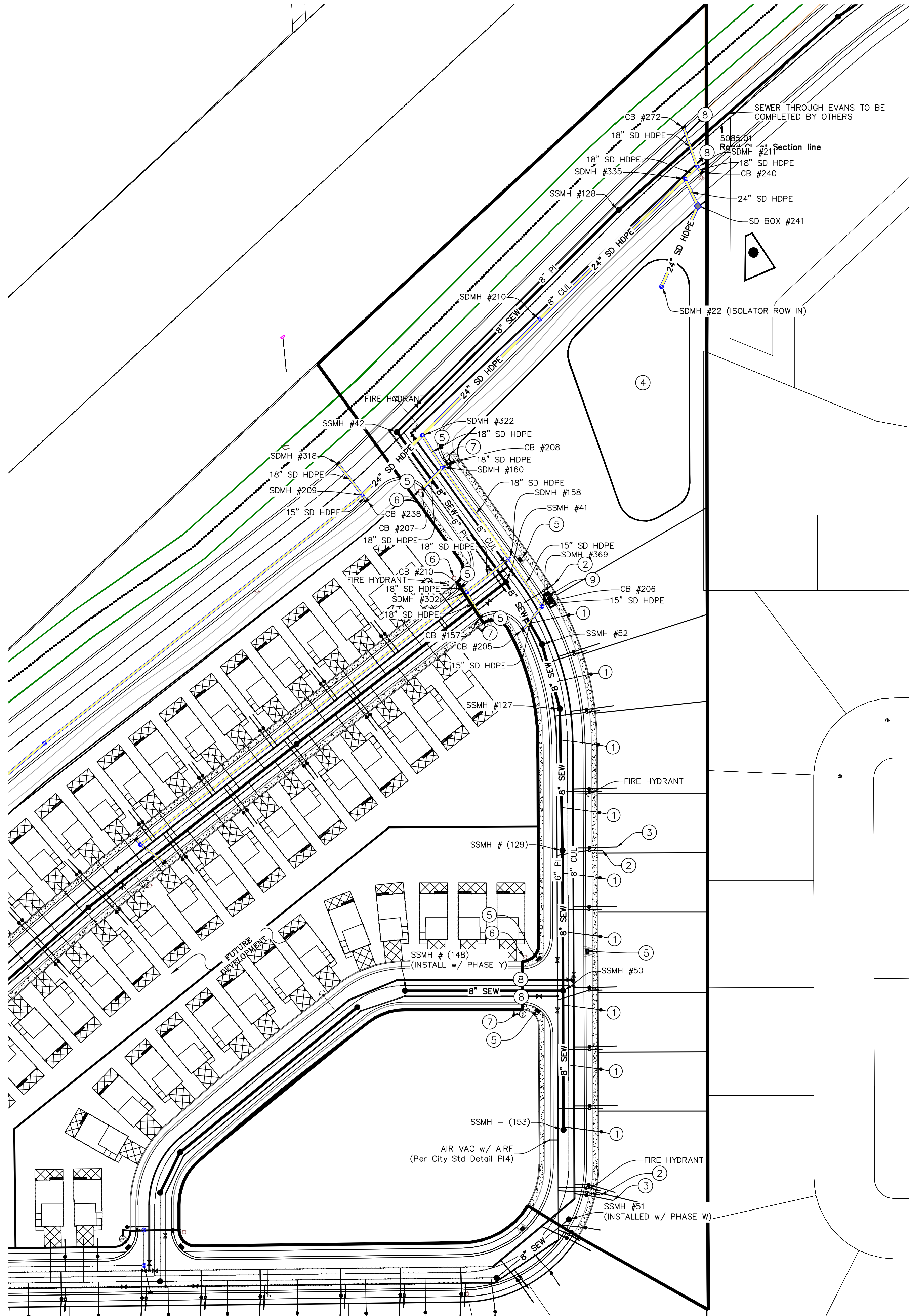
CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTES:

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED.
7. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
8. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



LEGEND

- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING DEED LINE
- EXISTING STORM MAIN
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING PI MAIN
- EXISTING CONCRETE
- PI/WAT/SEWER LATERAL
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED CURB & GUTTER
- PROPOSED LOT LINE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- PROPOSED STORM MAIN
- PROPOSED CUL MAIN
- PROPOSED PI MAIN
- PROPOSED SEWER MAIN
- PROPOSED WAT/PI/SEWER SERVICE LATERALS
- RESIDENTIAL STREET LIGHT
- PROPOSED VALVE (WAT/PI)
- PROPOSED SEWER MANHOLE
- PROPOSED STORM INLET/MANHOLE
- PROPOSED ADA RAMP
- PROPOSED STOP/STREET SIGN
- PROPOSED FIRE HYDRANT

- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 2 1 1/4" PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 3 CULINARY SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 STORM DRAIN LID #3 (SEE DETAILS)
- 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 7 STOP/STREET SIGN
- 8 STUB & PLUG FOR FUTURE CONNECTION w/ CONSTRUCTION VALVES (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (8x4 POSTAL BOX EASEMENT) 3 CBU



(24"x36")
SCALE 1" = 60'
(11"x17")
SCALE 1" = 120'

region
Engineering
& Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com

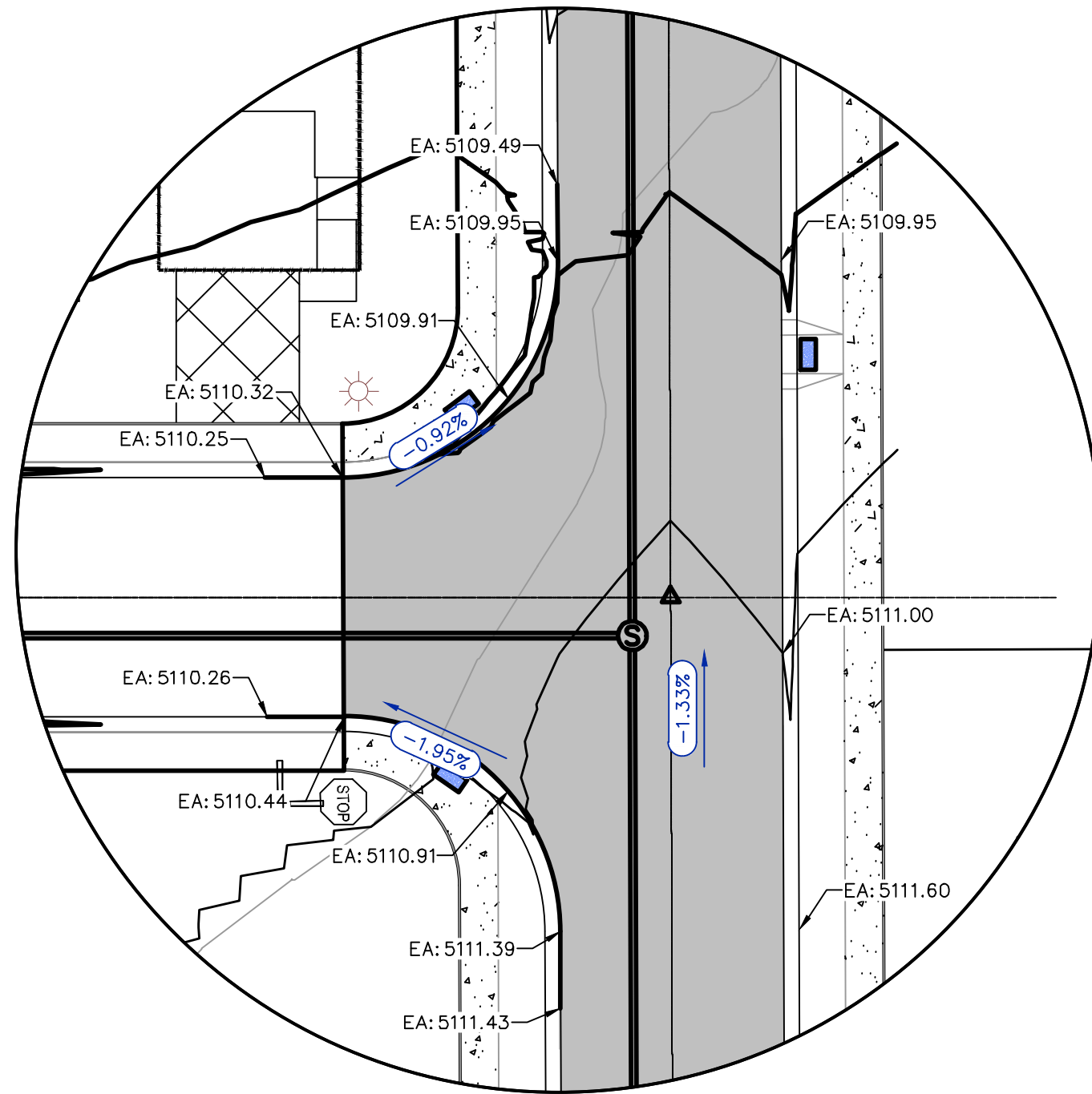


FOOTHILL VILLAGE SUBDIVISION
PLAT 'Y'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

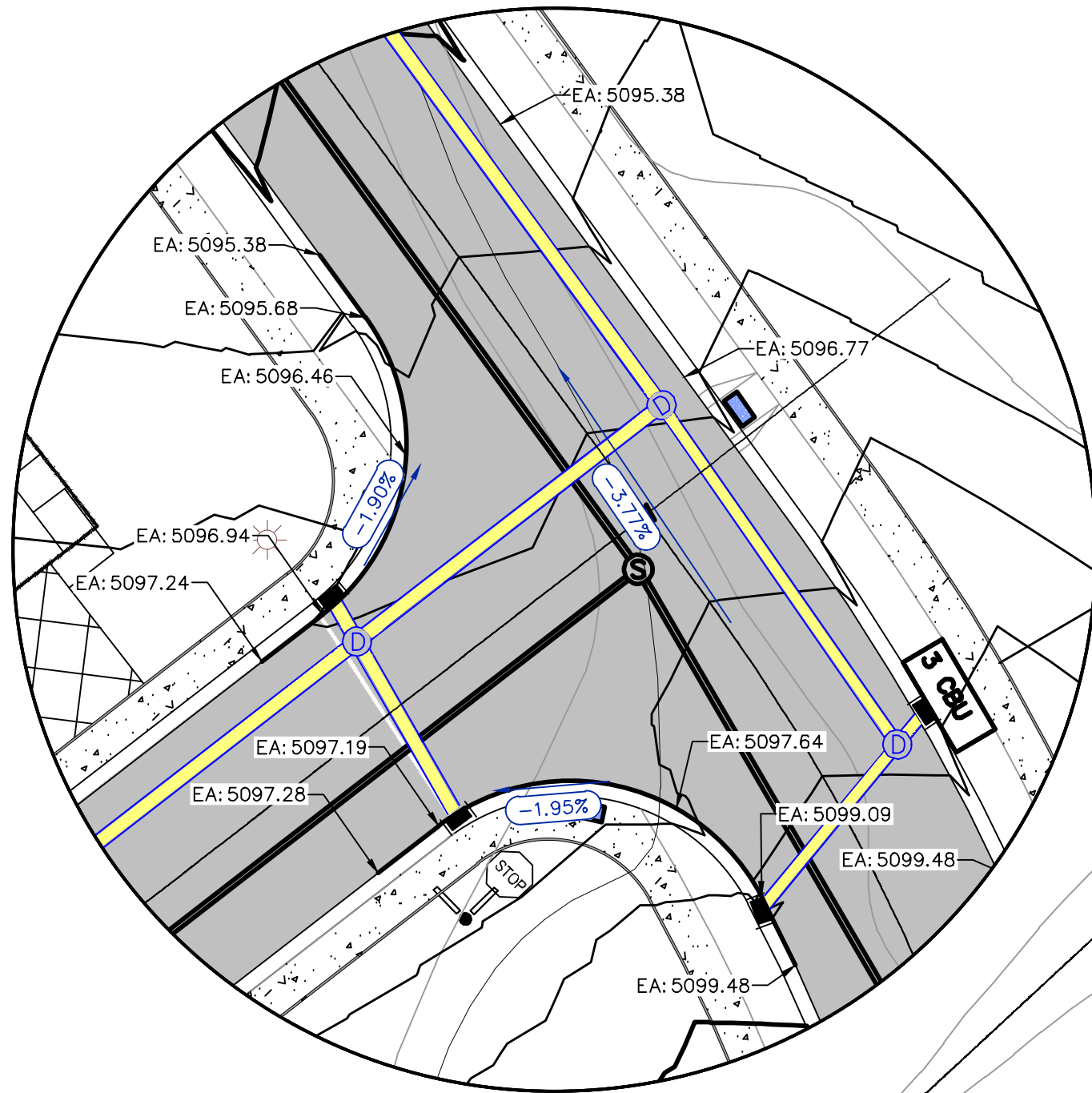
DATE: 6.26.2020
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REVISIONS:	
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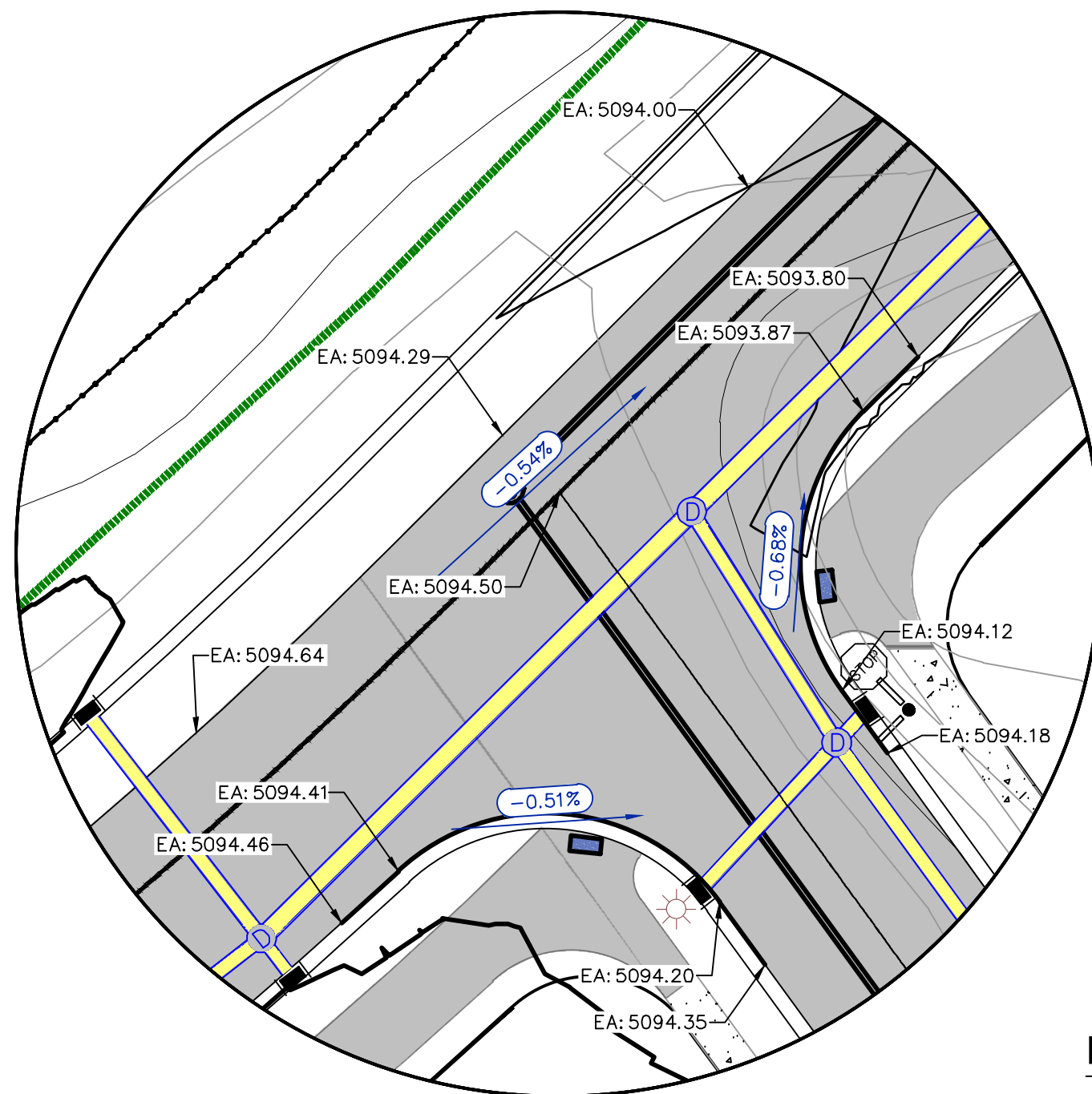
SHEET NAME:
SITE/UTILITY PLAN
SHEET:
SP-01



INTERSECTION 'A'



INTERSECTION 'B'



INTERSECTION 'C'

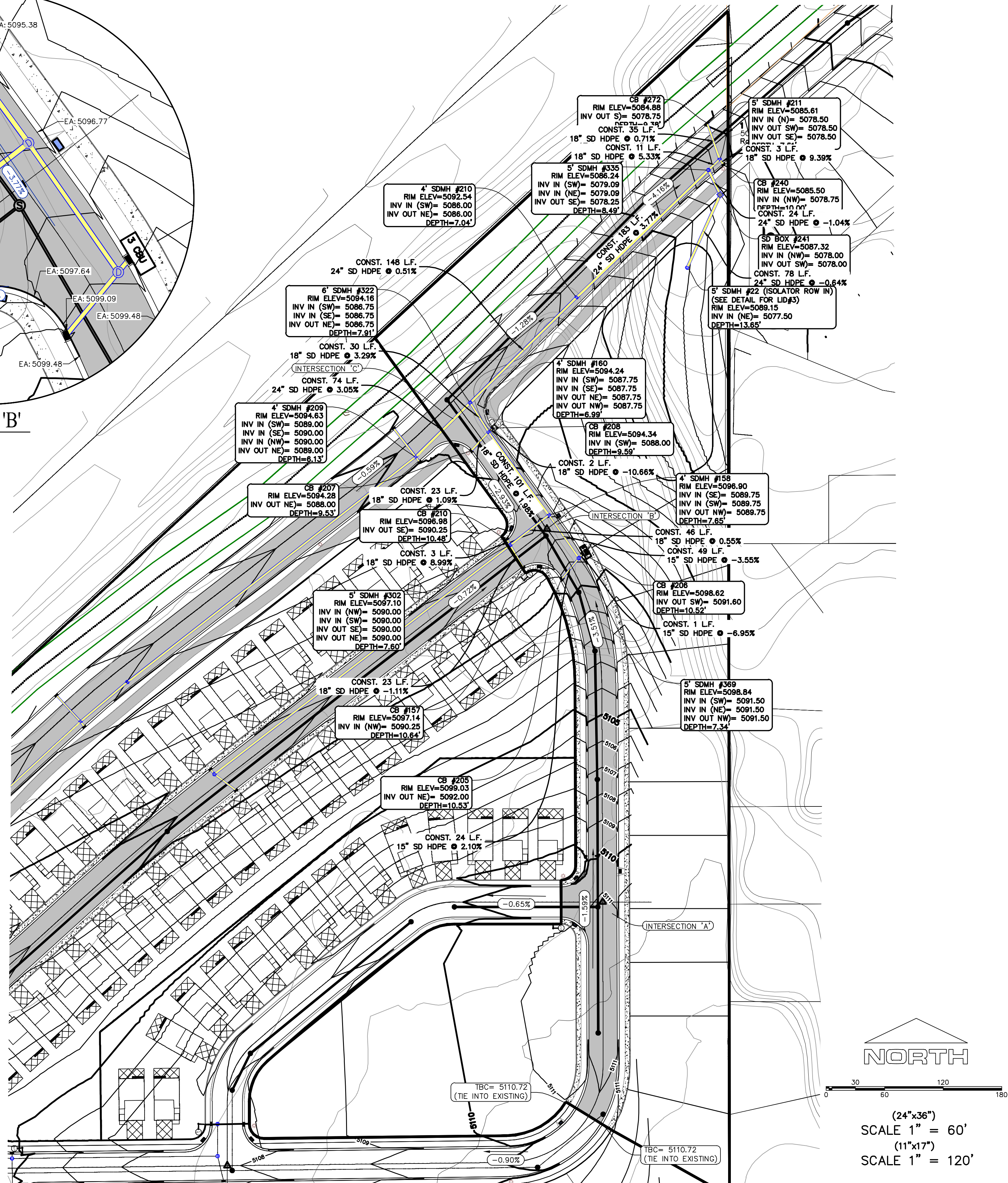
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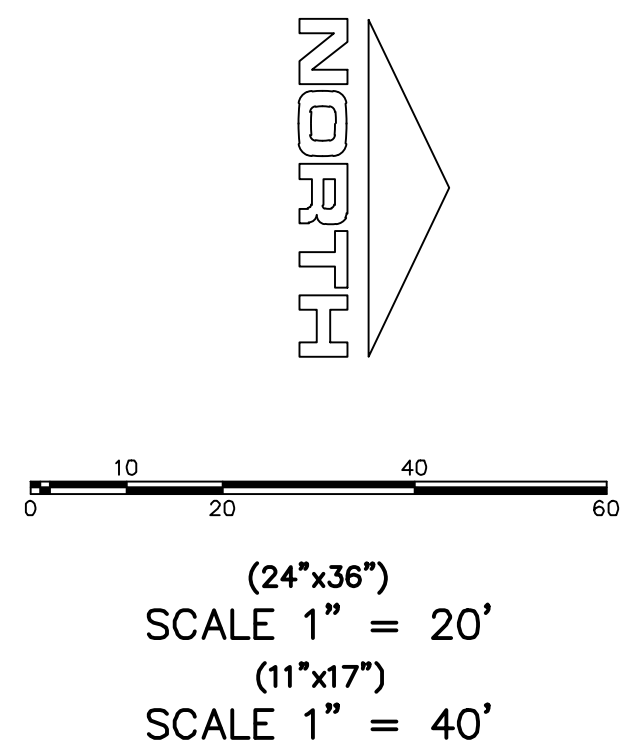
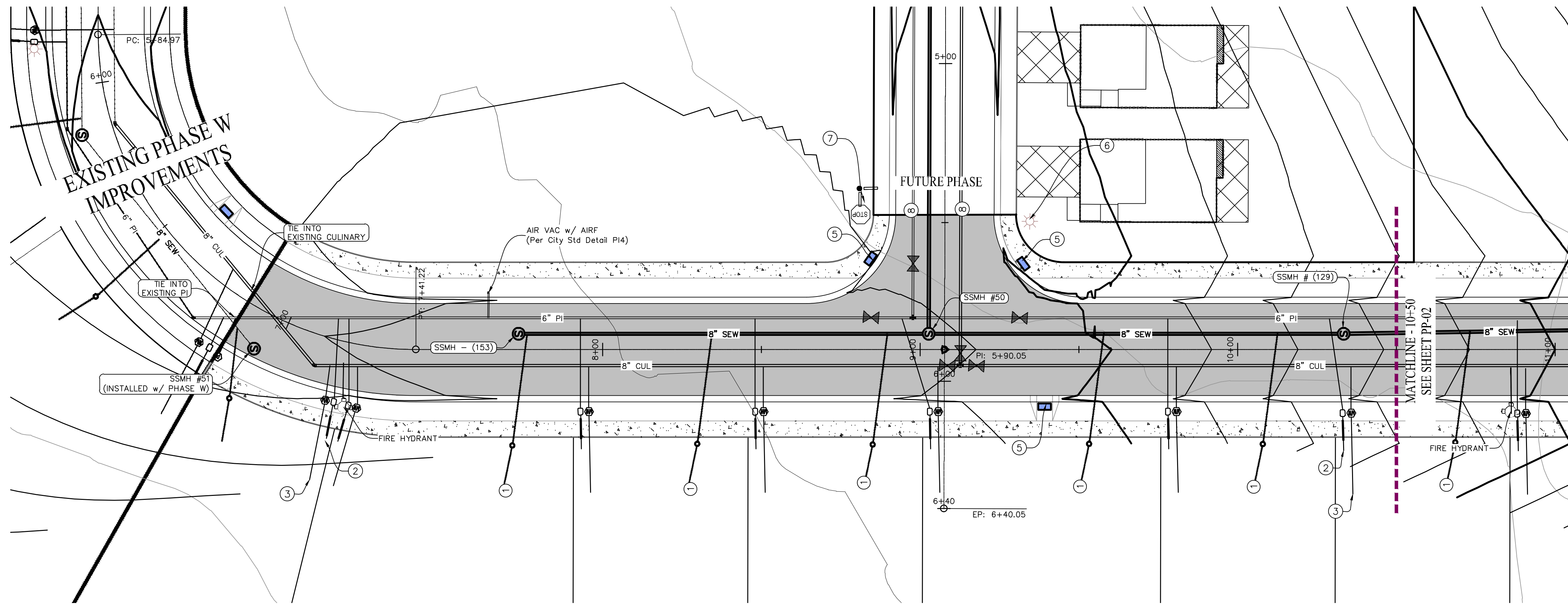
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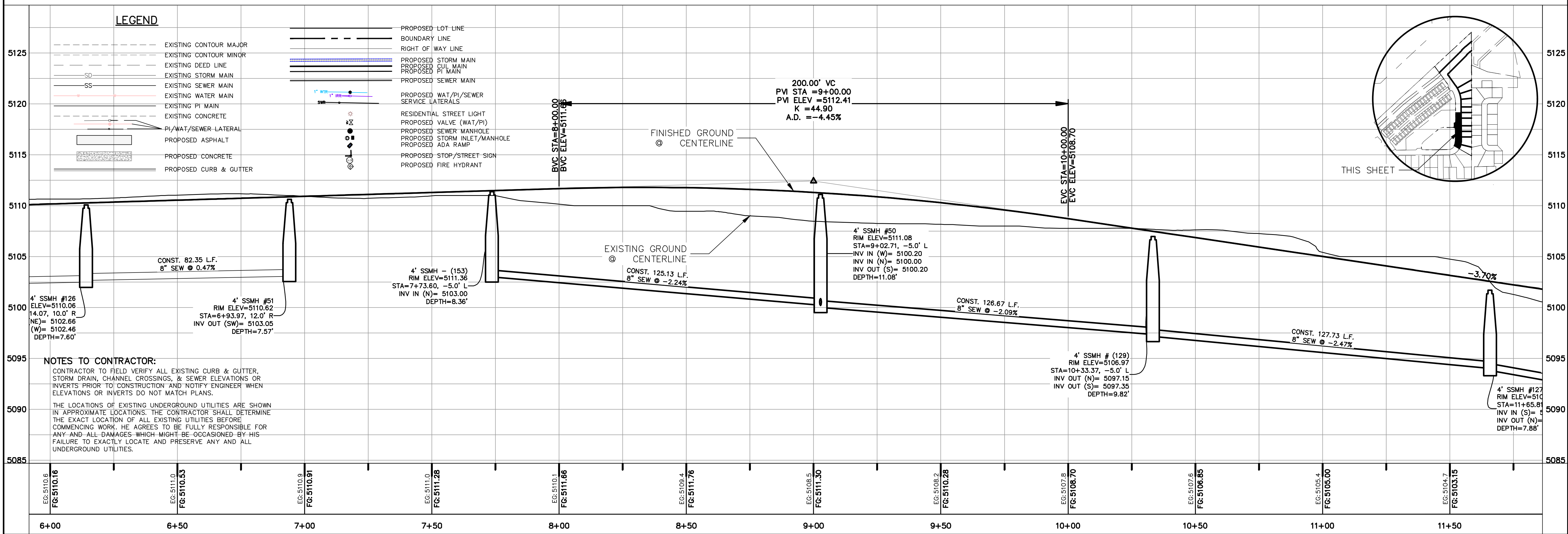
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3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
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5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
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8. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX.





- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 2 1 1/4\"/>
- 3 CULINARY SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 STORM DRAIN LID #3 (SEE DETAILS)
- 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 7 STOP/STREET SIGN
- 8 STUB & PLUG FOR FUTURE CONNECTION w/ CONSTRUCTION VALVES (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (8x4 POSTAL BOX EASEMENT) 3 CBU



FOOTHILL VILLAGE SUBDIVISION
PLAT 'Y'
LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.26.2020
PROJECT #

REVISIONS:	
1	
2	
3	

SHEET NAME:
PLAN & PROFILE
SHEET:
PP-01

- LEGEND:
- X — X — PROPOSED SILT FENCE
(SEE SHEET EC-02)
- FLOW ARROW
- 105 PROPOSED VEHICLE TRACKING CONTROL
(SEE SHEET EC-02)
- 220 PROPOSED CURB INLET PROTECTION
(SEE SHEET EC-02)
- PT PORTABLE TOILETS

NOTES:

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER IS TO BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
7. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSED INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
8. THE CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
9. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE ENGINEERING DEPARTMENT. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

PROJECT INFORMATION SIGN

ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS/ EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANGLE CLEARANCES.
3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY.
4. THE SIGN SHALL BE A MINIMUM OF 48" x 48" AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE.

DEVELOPERS NAME
(4" Uppercase Bold Letters)

PROJECT NAME
(4" Uppercase Bold Letters)
PERMIT NUMBER
(4" Bold Numbers)

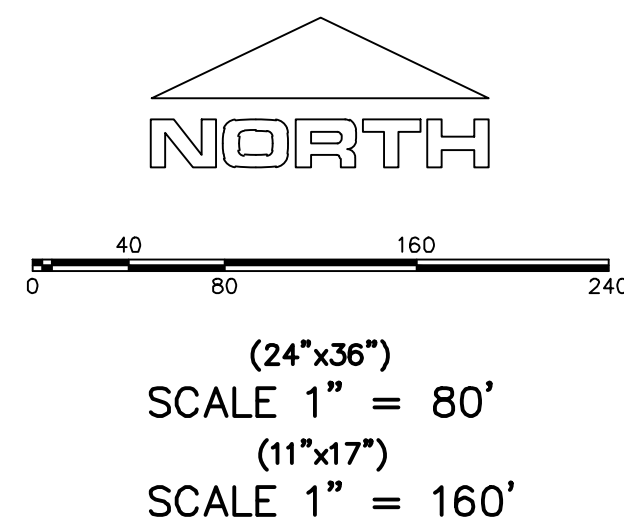
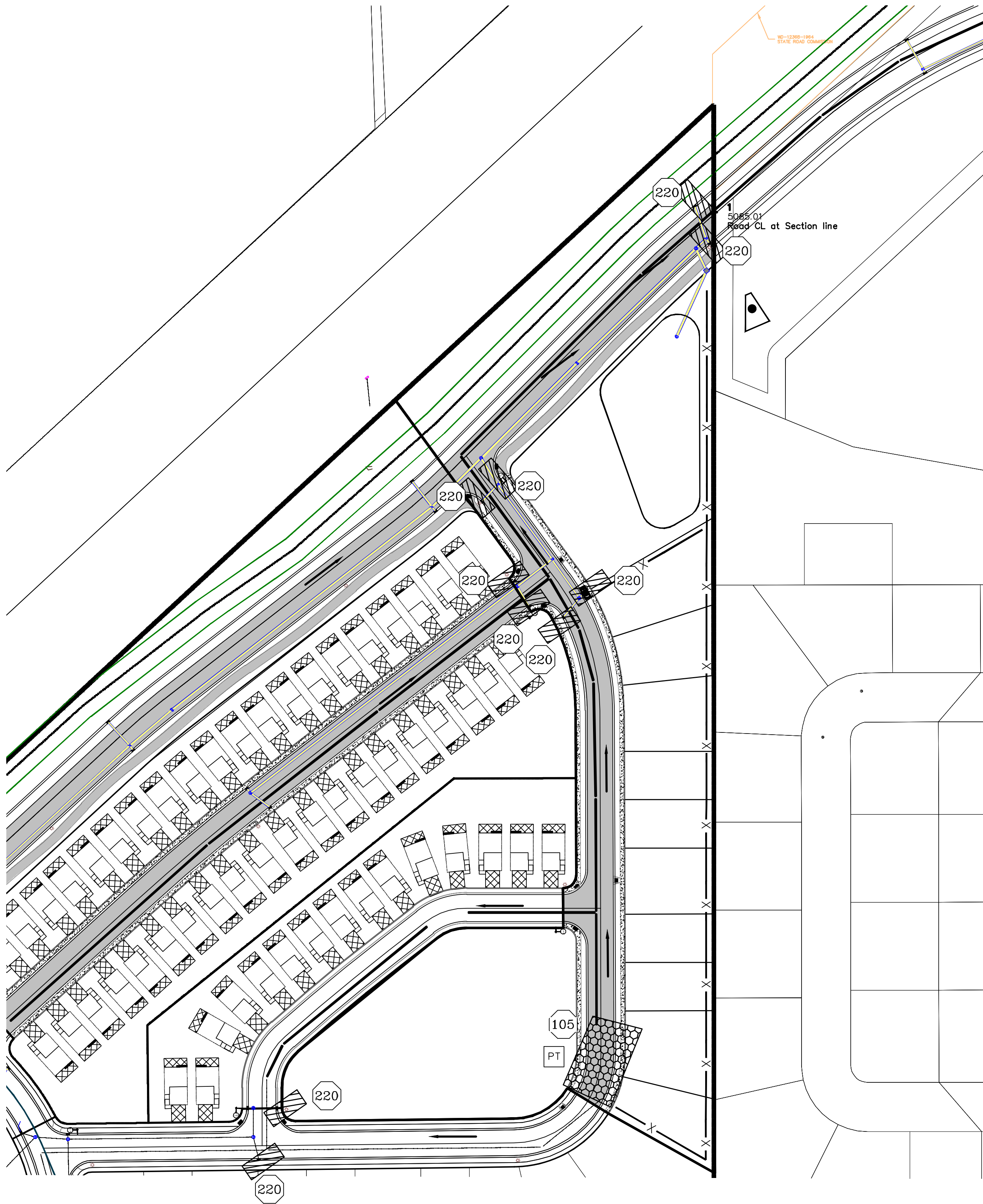
FOR PROJECT SITE CONCERNS CONTACT

Office Phone Contact ###-###-####
(4" Bold Numbers)

Cell Phone Contact ###-###-####
(4" Bold Numbers)

IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT
505.355.5000
(3" Uppercase Bold Letters and 3" Bold Numbers)

5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER IF IT MEETS THESE REQUIREMENTS..



CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)

BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN	AS NECESSARY
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	PORTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	240	SEDIMENT TRAP	AS SHOWN	BEGINING OF CONSTRUCTION TO PLACEMENT OF ASPHALT

region
Engineering
& Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



FOOTHILL VILLAGE SUBDIVISION
PLAT 'Y'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

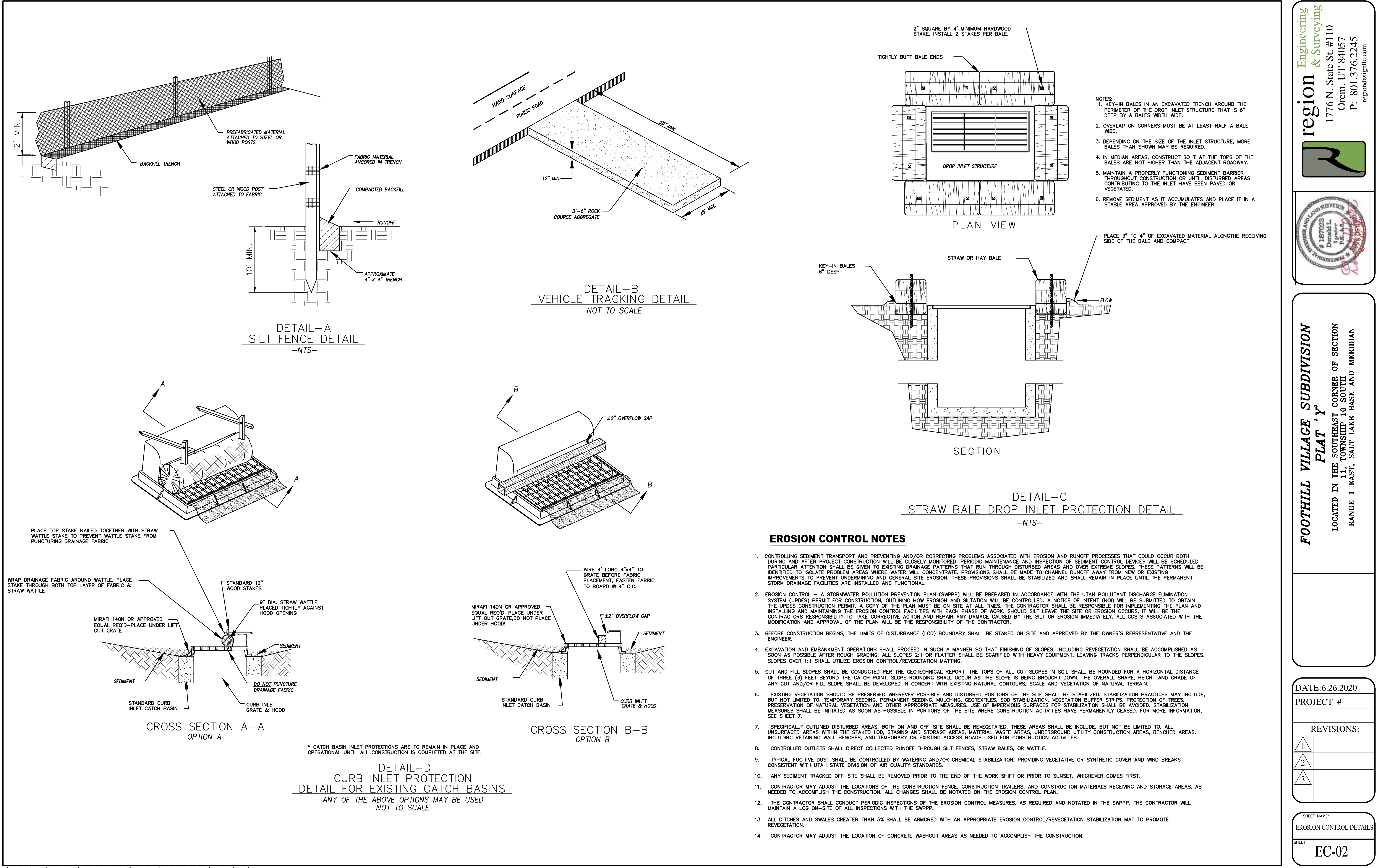
DATE:6.26.2020

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:
EROSION CONTROL PLAN
SHEET:
EC-01



Engineering
& Surveying

region

187023
Professional Engineer
Donald L. Evans
P.E.

1776 N. State St. #110
Orem, UT 84057
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regiondesignllc.com

FOOTHILL VILLAGE SUBDIVISION

PLAT 'Y'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.26.2020

PROJECT #

REVISIONS:

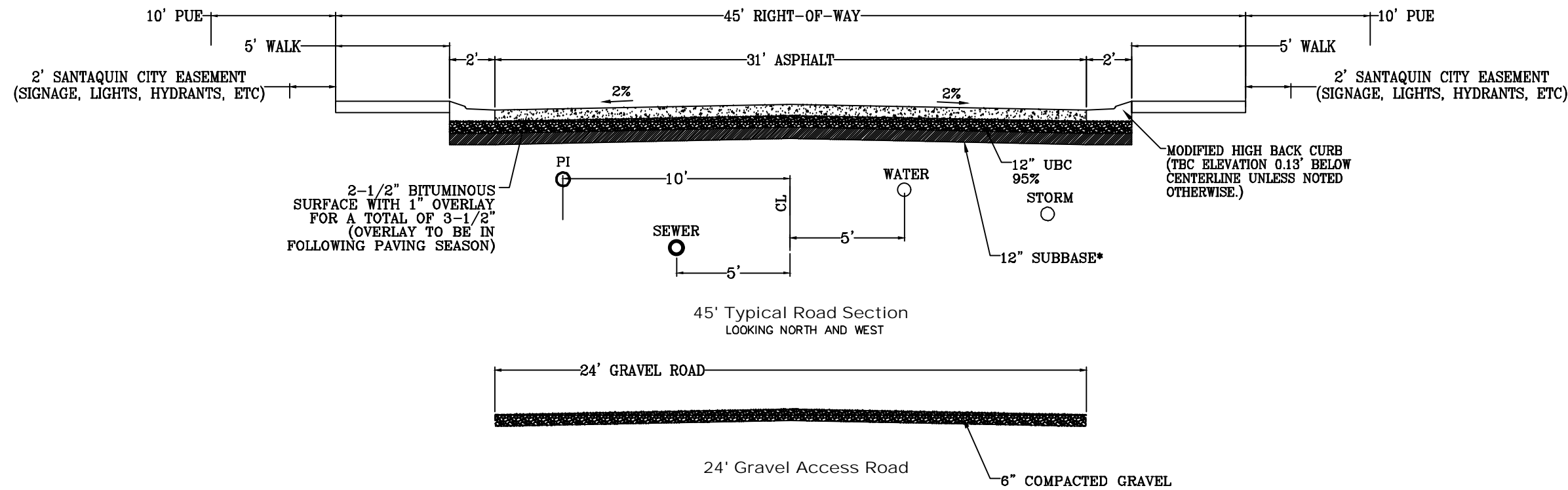
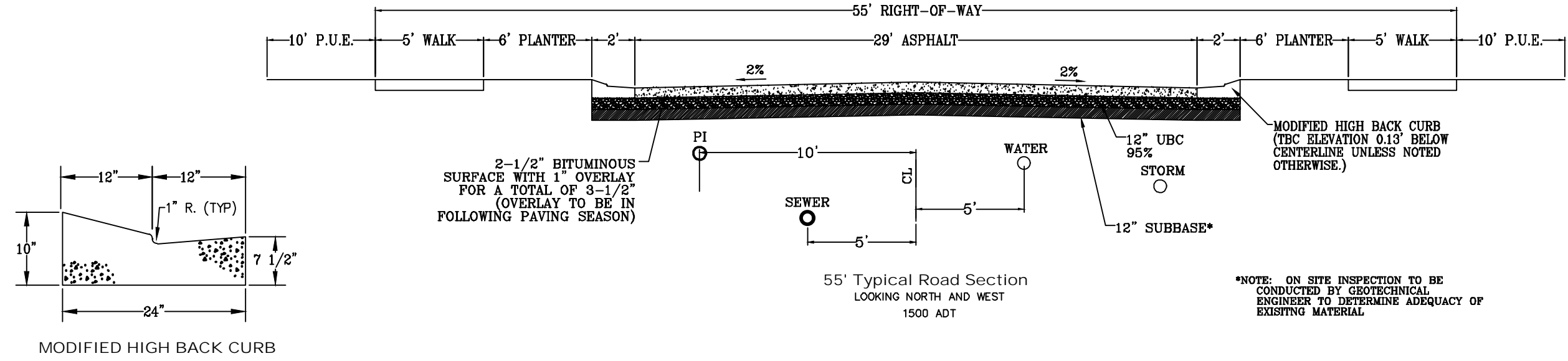
1	
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SHEET NAME:

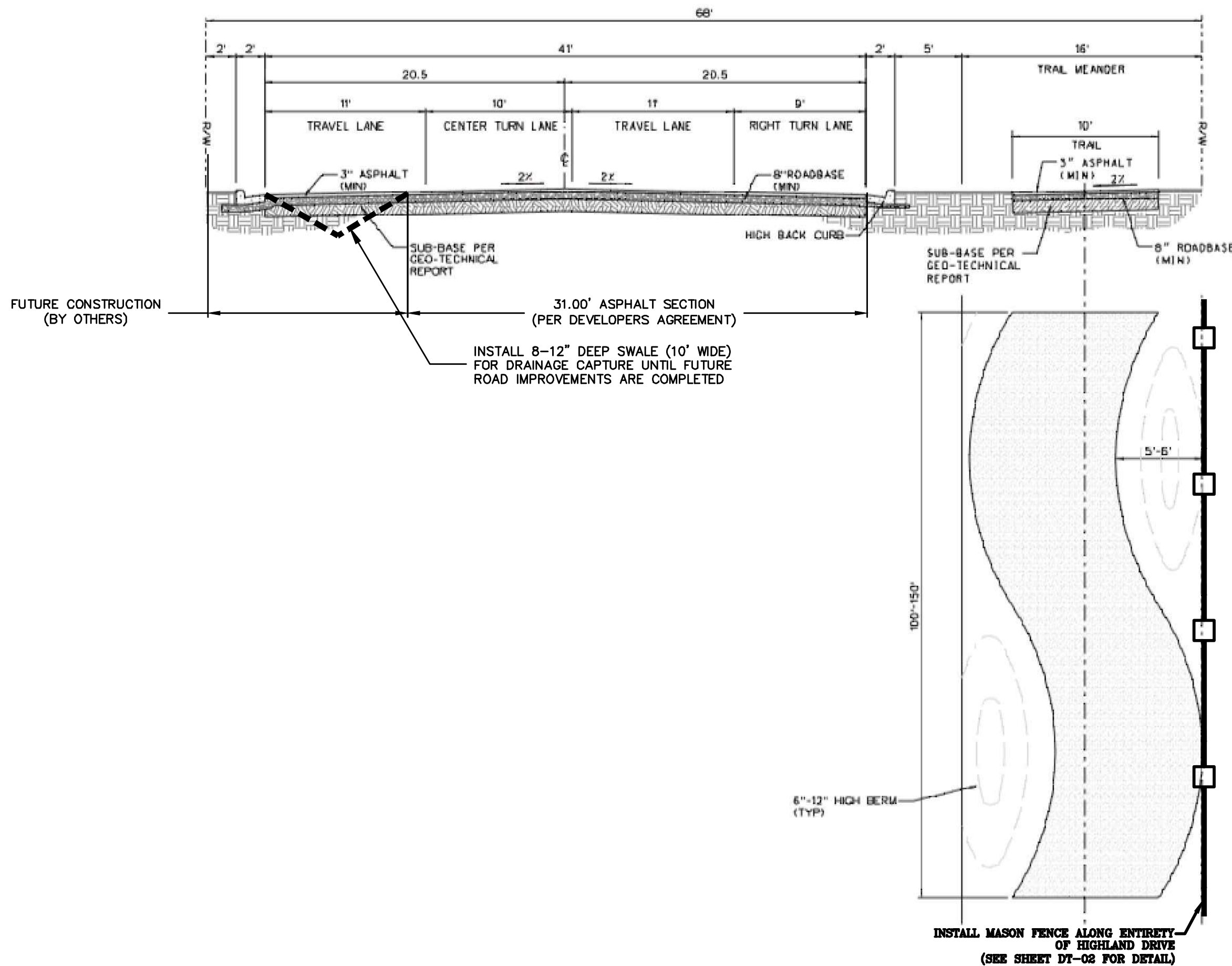
EROSION CONTROL DETAILS

SHEET:

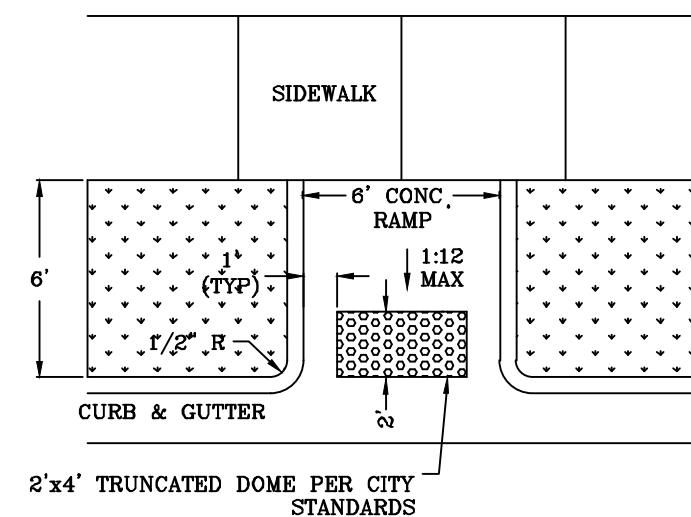
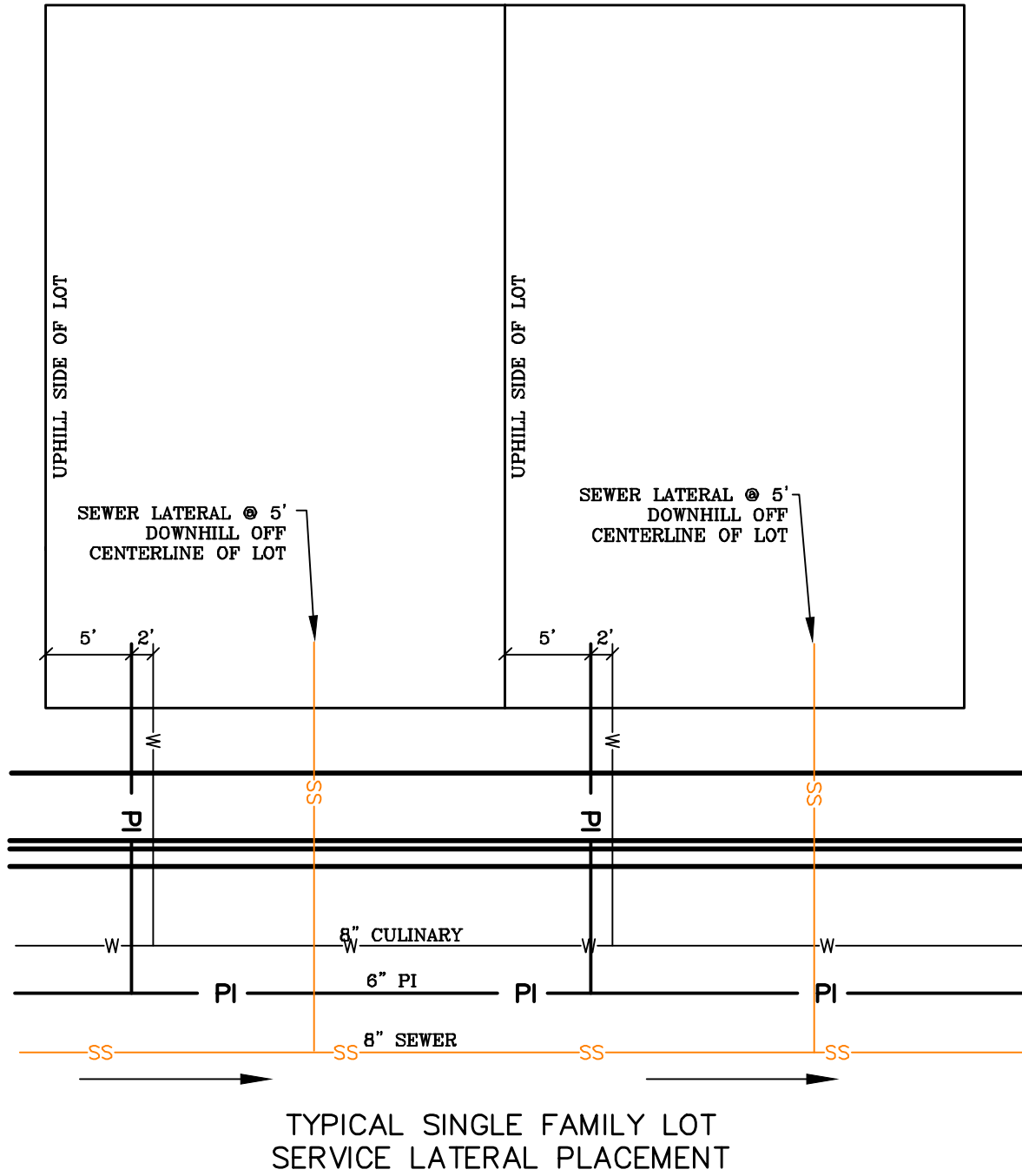
EC-02



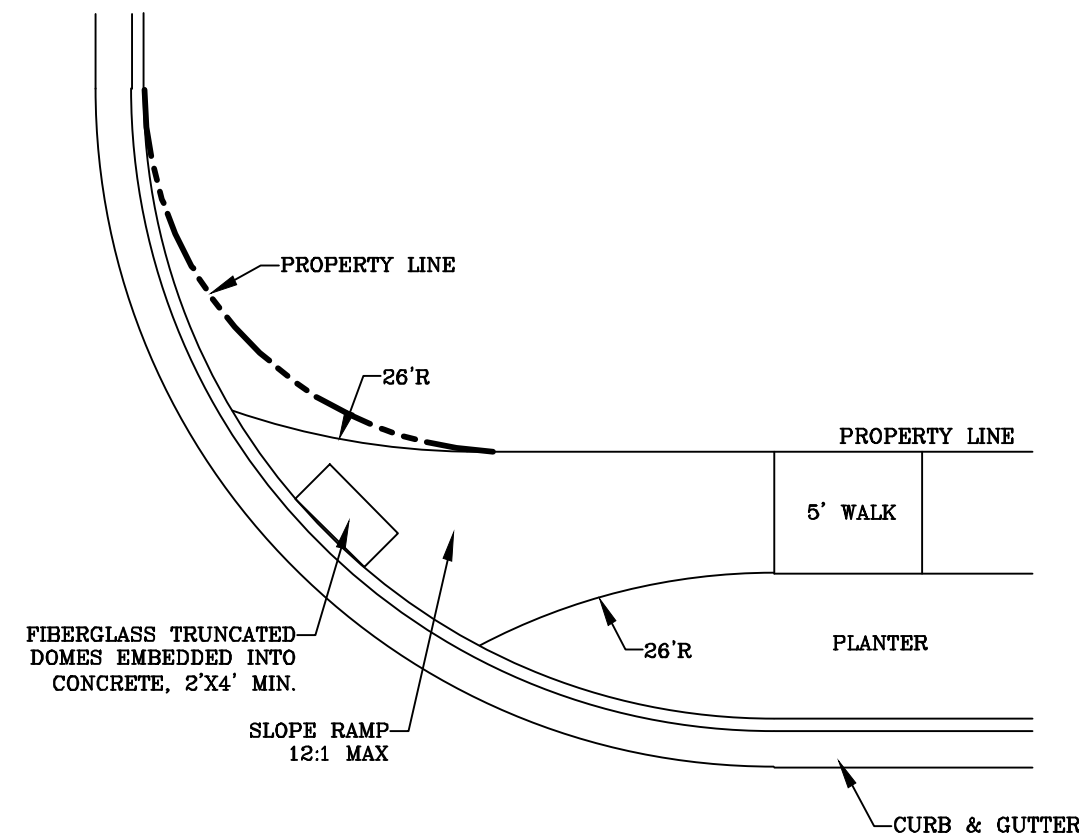
ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



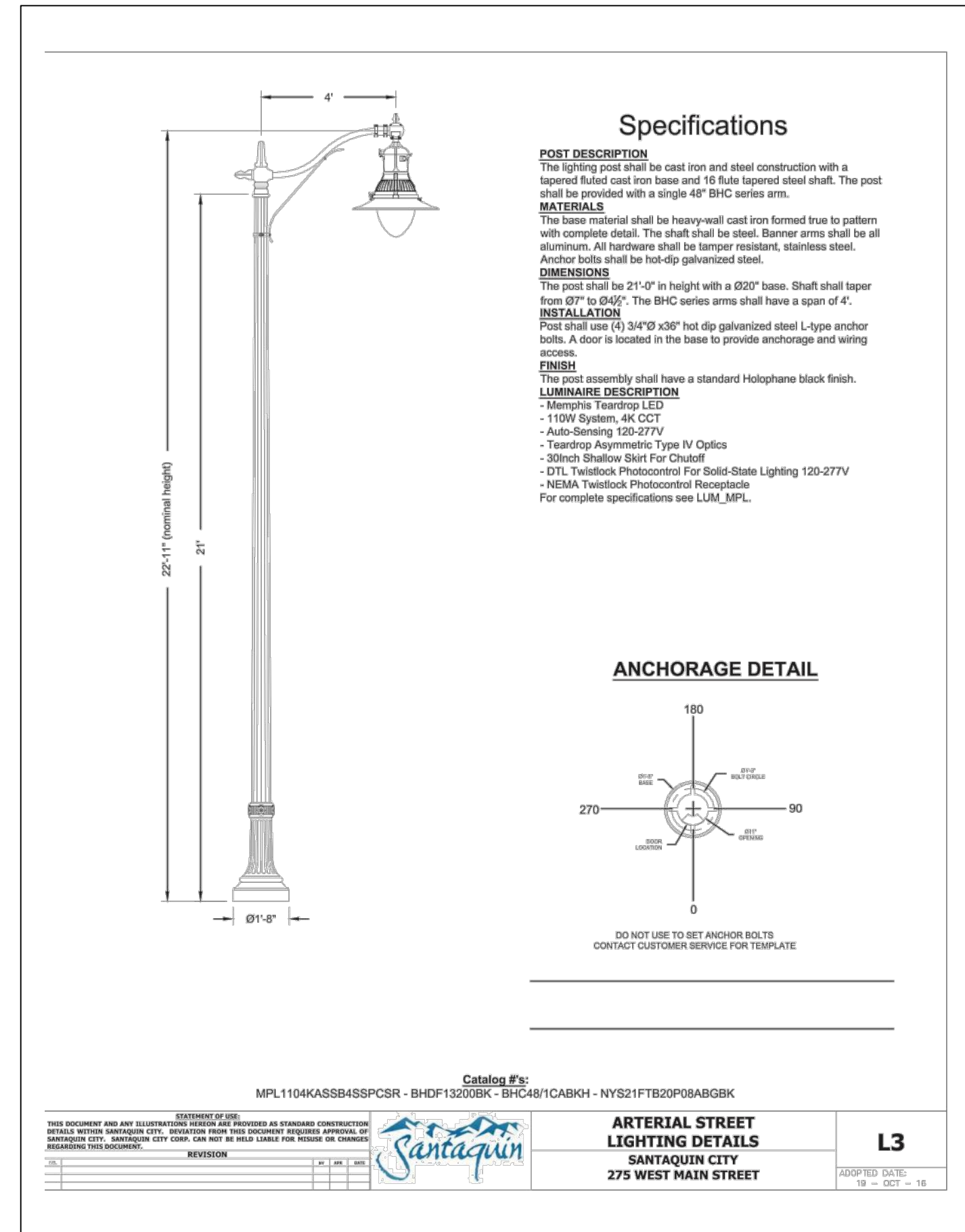
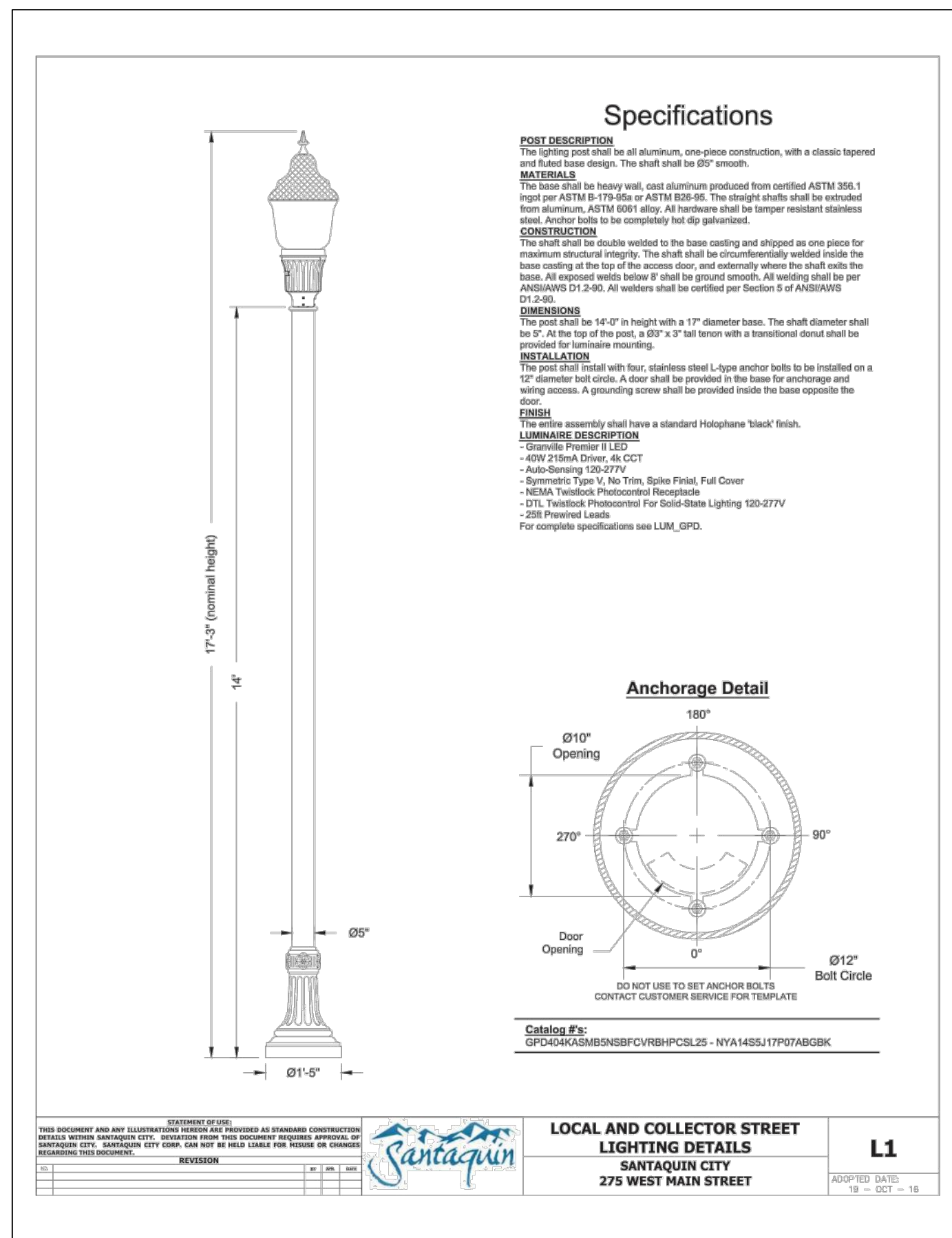
HIGHLAND DRIVE CROSS SECTION
NOT TO SCALE (LOOKING NORTH)



MID-BLOCK RAMP DETAIL



RAMP DETAIL



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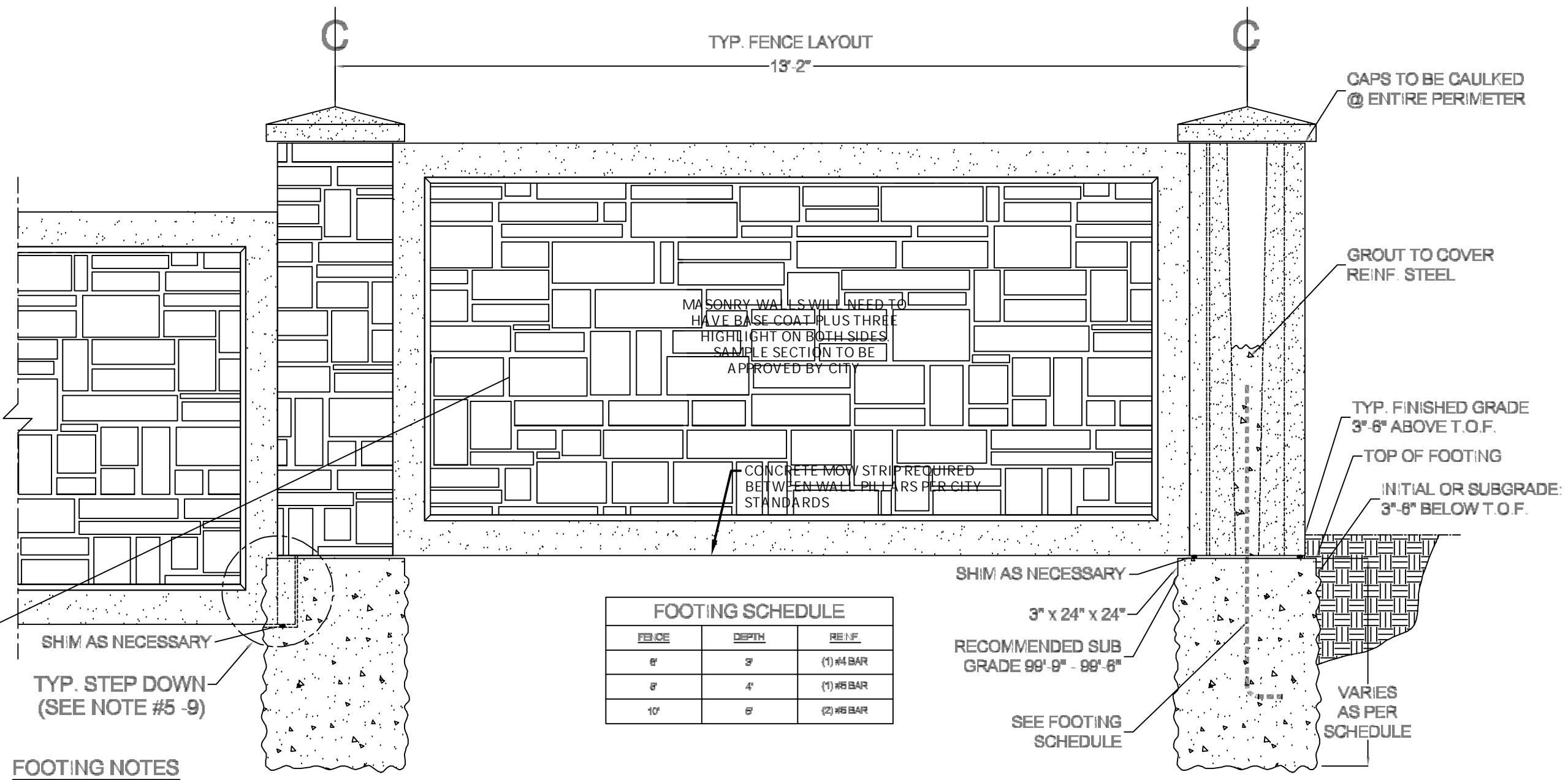
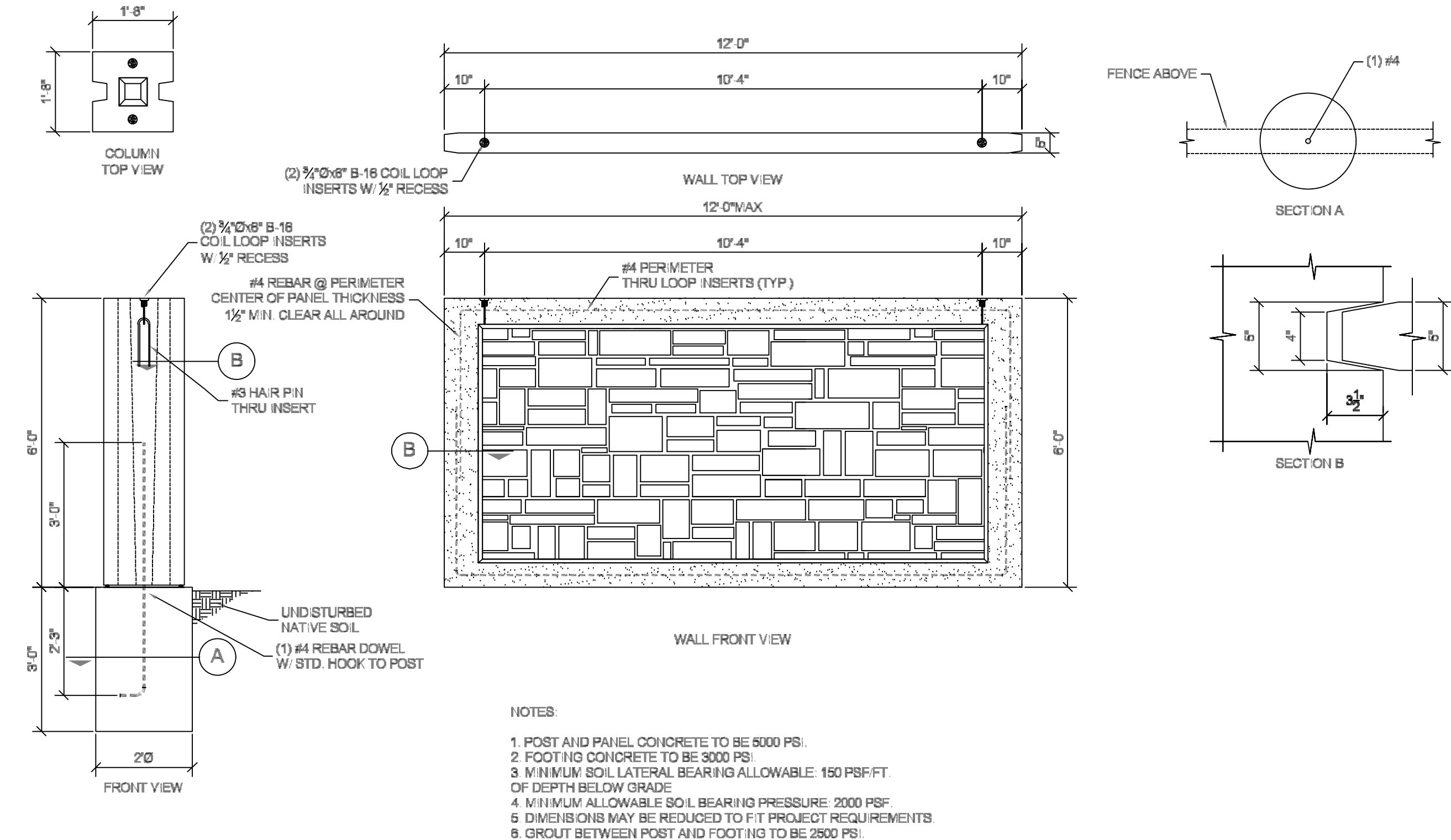
FOOTHILL VILLAGE SUBDIVISION
PLAT 'Y'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.26.2020
PROJECT #

REVISIONS:

1	
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SHEET NAME:
TYPICAL DETAILS
SHEET:
DT-01



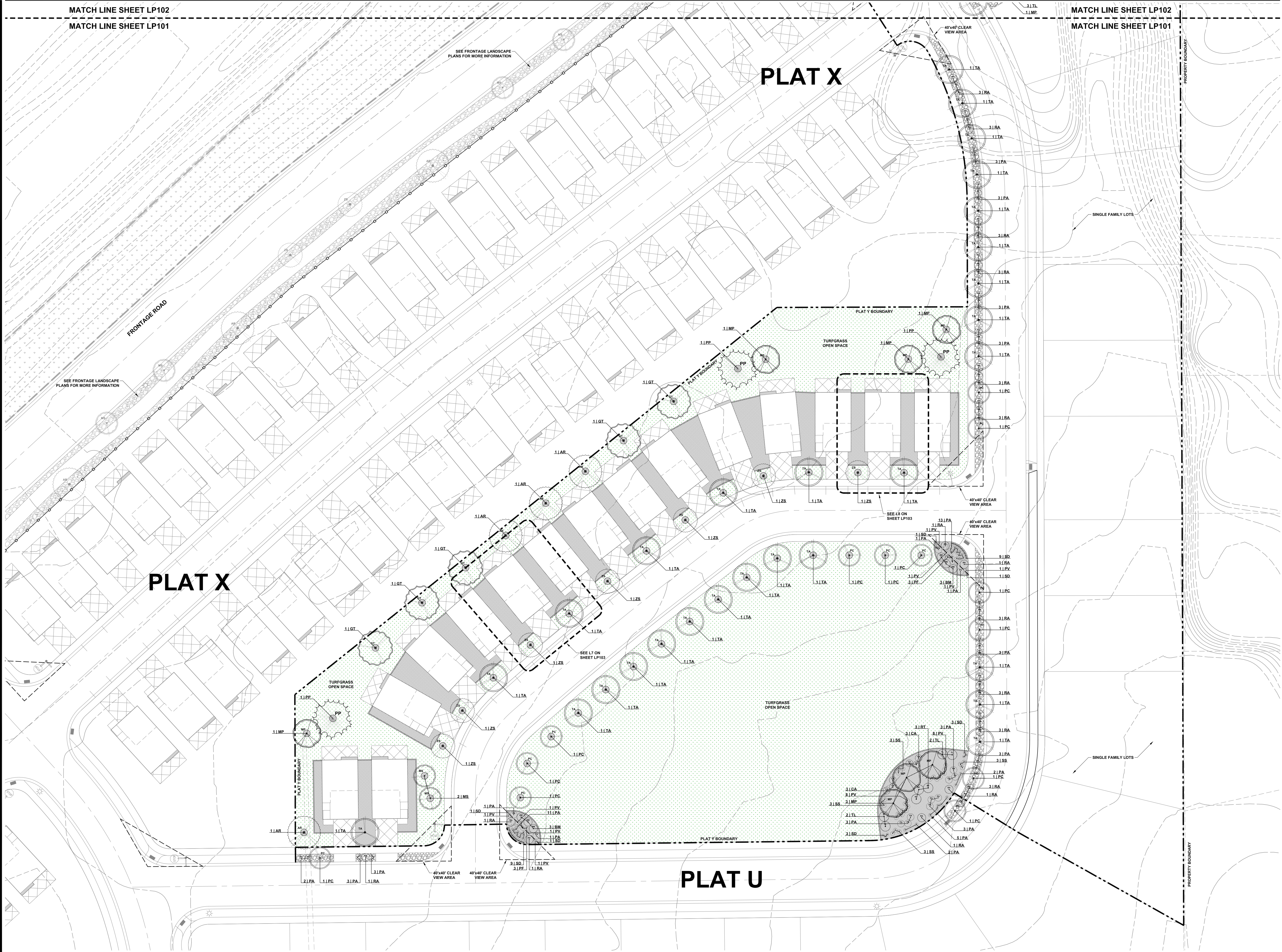
TYPICAL MASON WALL

region
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FOOTHILL VILLAGE SUBDIVISION
PLAT 'Y'
LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 6.26.2020
PROJECT #
REVISIONS:
1
2
3

SHEET NAME:
TYPICAL DETAILS
SHEET:
DT-02



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SCALE: 1"=30'

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PLAT 'Y'

Designed By:
AKC

Drawn By:
AKC

Reviewed By:
AKC

FOOTHILL VILLAGE
SUBDIVISION

SANTAQUIN, UT

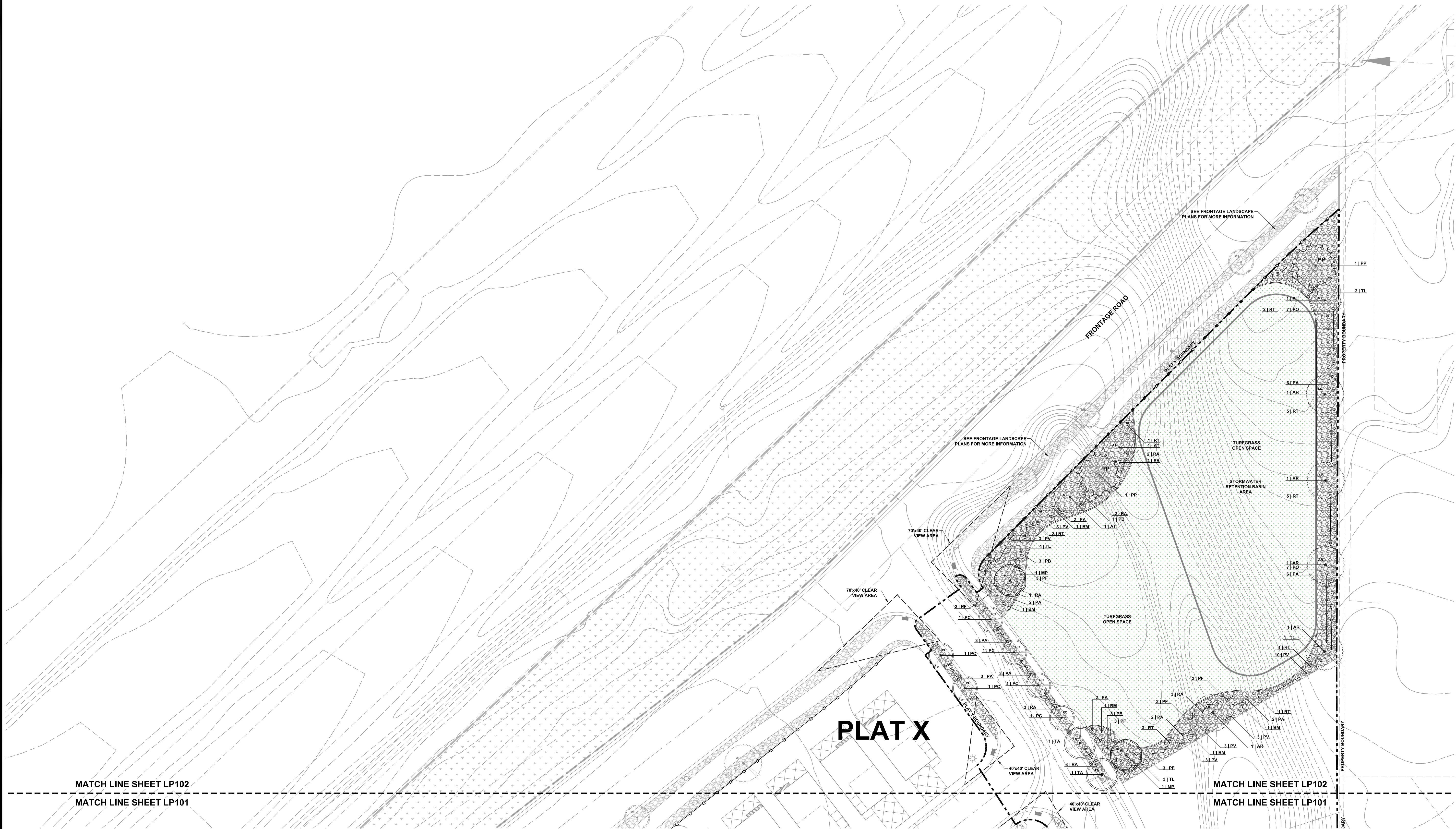
Date:
05/18/2020

Issue:
PRELIMINARY

Project:
19-0125

Drawing:
LANDSCAPE PLAN

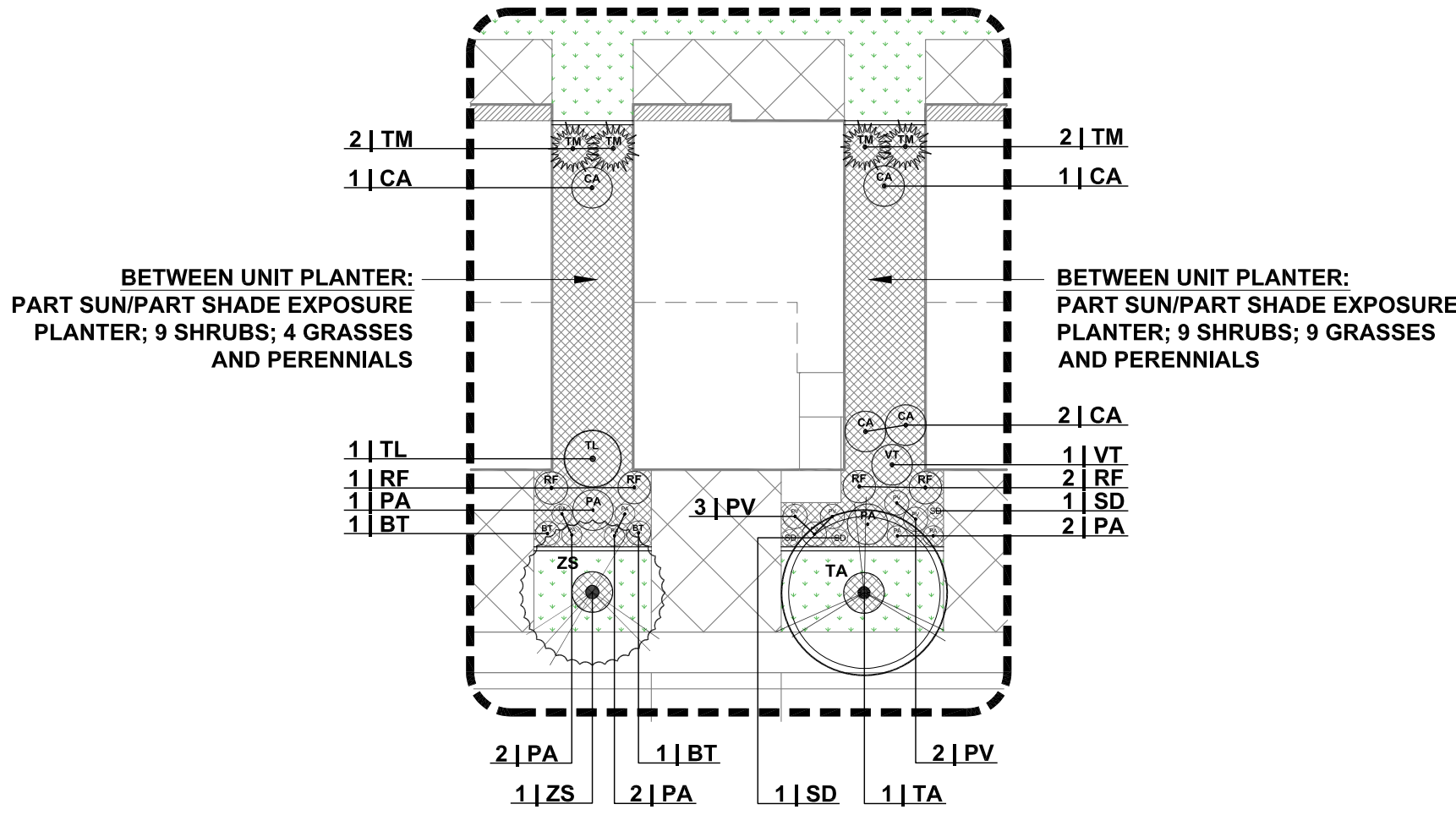
Sheet:
LP101



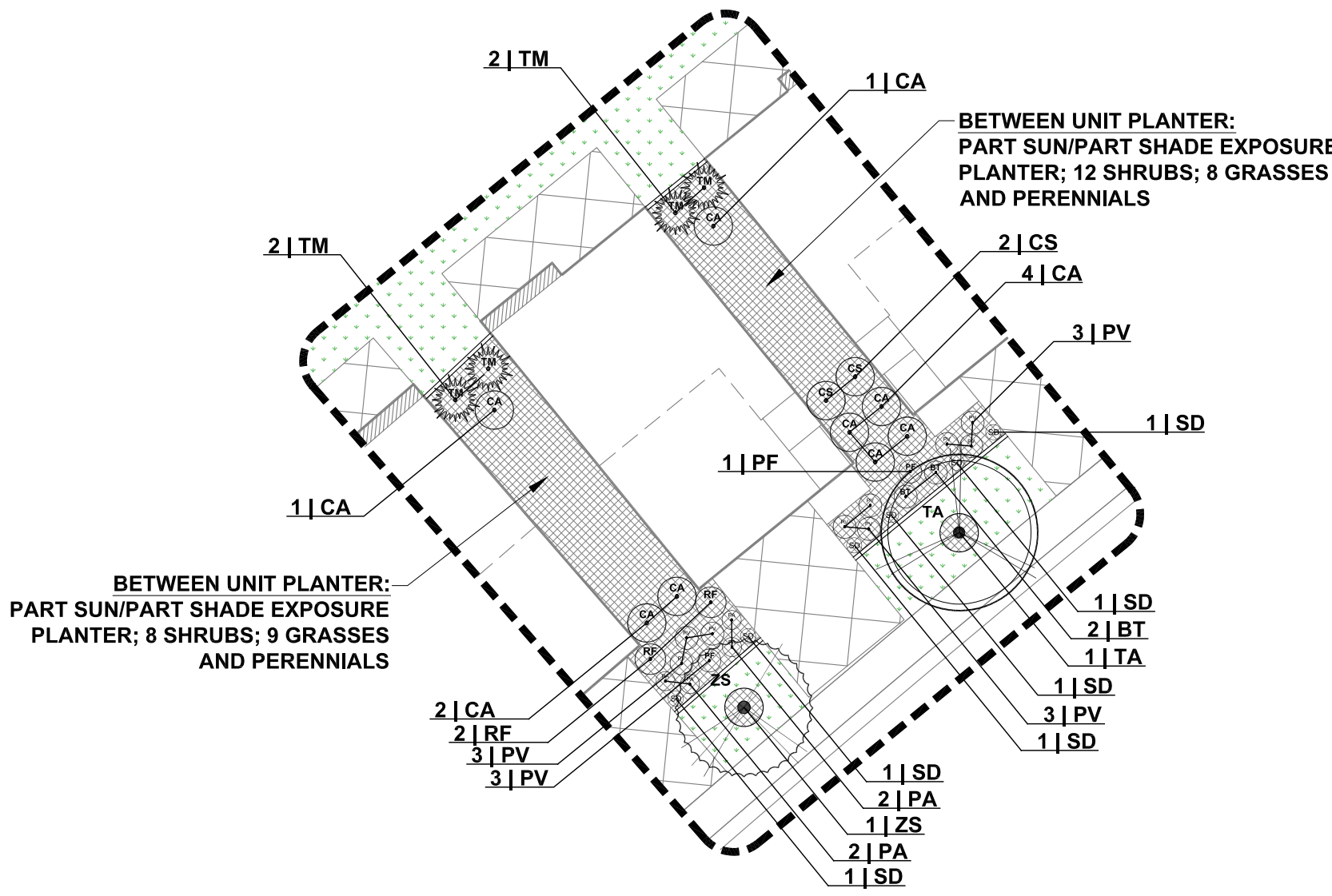
MATCH LINE SHEET LP101

MATCH LINE SHEET LP101

<h1 style="text-align: center;">FOOTHILL VILLAGE SUBDIVISION</h1> <h2 style="text-align: center;">SANTAQUIN, UT</h2> <h3 style="text-align: center;">PLAT 'Y'</h3>	
Date: <div>05/18/2020</div>	Drawing: LEGEND & DETAILS
Issue: PRELIMINARY	Sheet: <div>LP102</div>
Project: 19-0125	



DETAIL L8
TYPICAL TOWNHOME PLANTING ENLARGEMENT
SCALE: 1"=20'

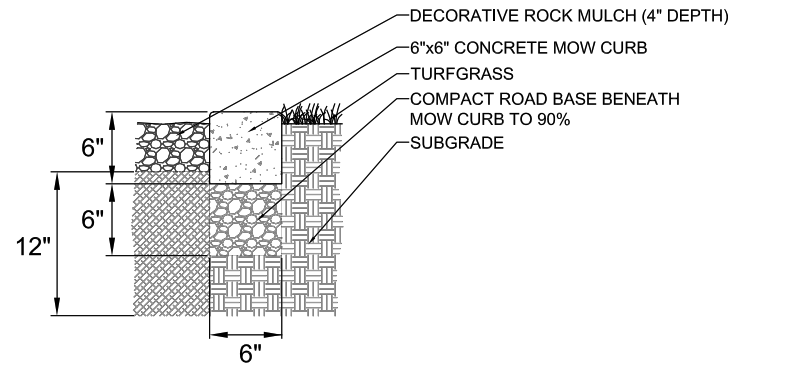


DETAIL L7
TYPICAL TOWNHOME PLANTING ENLARGEMENT
SCALE: 1"=20'

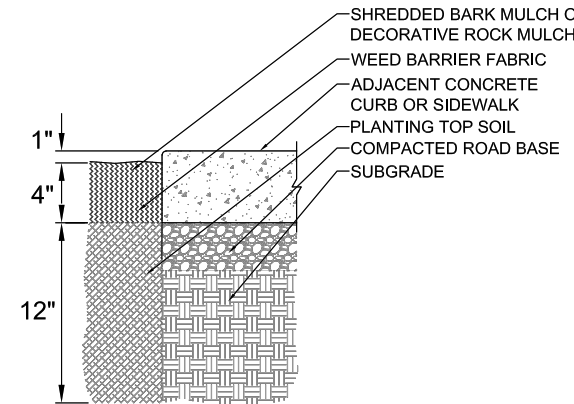
PLANT MATERIALS SCHEDULE - SHEET LP103

SCIENTIFIC NAME	COMMON NAME	SIZE
SHRUBS		
BT <i>Berberis thunbergii</i> 'atropurpurea nana'	Crimson Pygmy Barberry	#5 gal.
CA <i>Cornus alba</i> 'Ivory Halo'	Variegated Dogwood	#5 gal.
CS <i>Cornus sericea</i> 'Alemans Compact'	Redtwig Dogwood	#5 gal.
PA <i>Perovskia atriplicifolia</i> 'Little Spire' ▲	Russian Sage	#5 gal.
PF <i>Potentilla fruticosa</i> 'Jackman' ▲	Shrubby Cinquefoil	#5 gal.
RF <i>Rhamnus frangula</i> 'columnaris' ▲	Tallhedge Buckthorn	#5 gal.
TL <i>Rhus trilobata</i> ▲	Three Leaf Sumac	#5 gal.
TM <i>Taxus x media</i> 'Densiformis'	Japanese Yew	#5 gal.
VT <i>Viburnum trilobum</i> 'Bailey Compact' ▲	Cranberry	#5 gal.
GRASSES		
PV <i>Panicum virgatum</i> 'Shenandoah' ▲	Switch Grass	#1 gal.
PA <i>Pennisetum alopecuroides</i> 'Little Bunny' ▲	Dwarf Fountain Grass	#1 gal.
PERENNIALS		
SD <i>Hemerocallis</i> 'Stella D'Oro' ▲	Yellow Daylily	#1 gal.

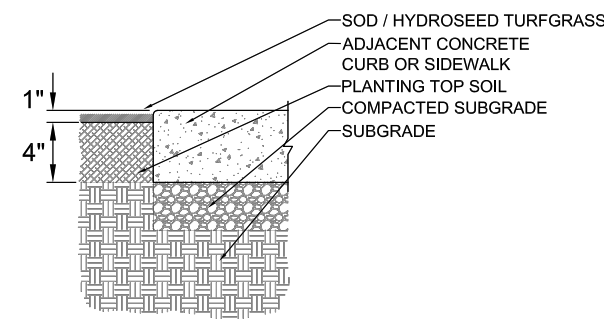
▲ Indicates water-wise (drought tolerant) species.
Total plant quantities as shown in typical unit layouts.



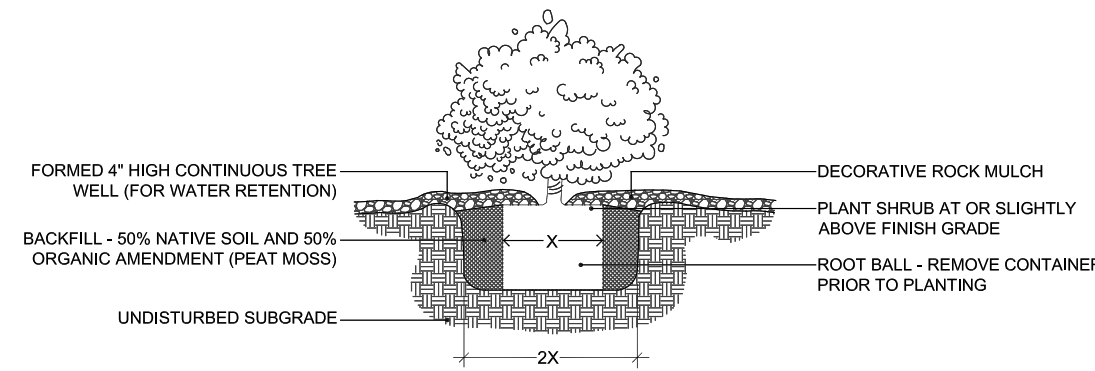
DETAIL L6
CONCRETE MOW CURB
NO SCALE



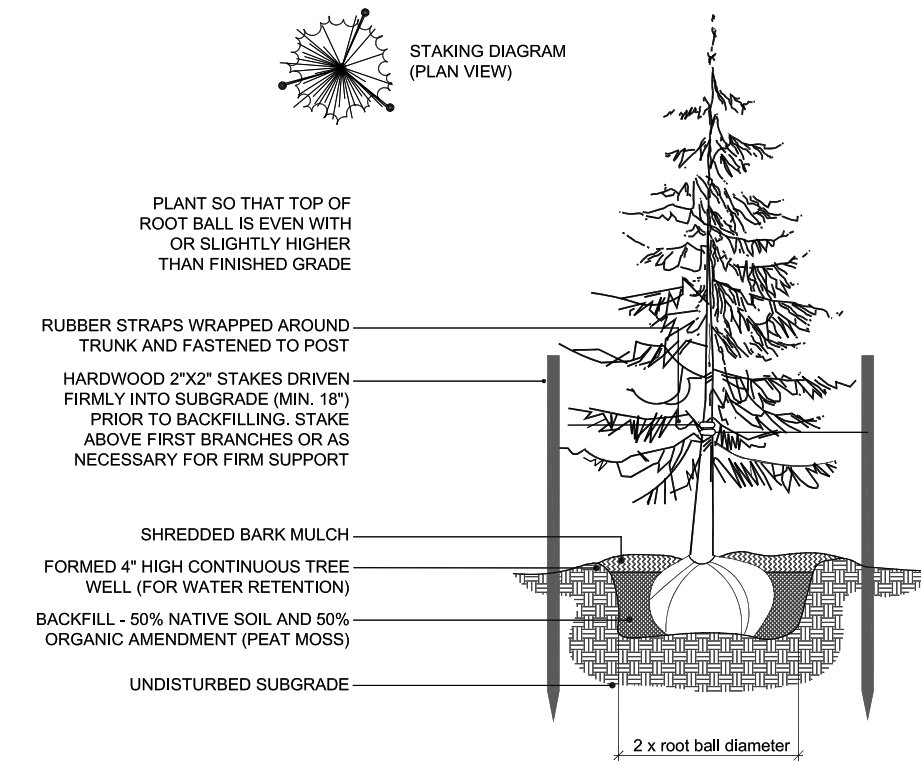
DETAIL L5
PLANTER BED - TOP SOIL and MULCH
NO SCALE



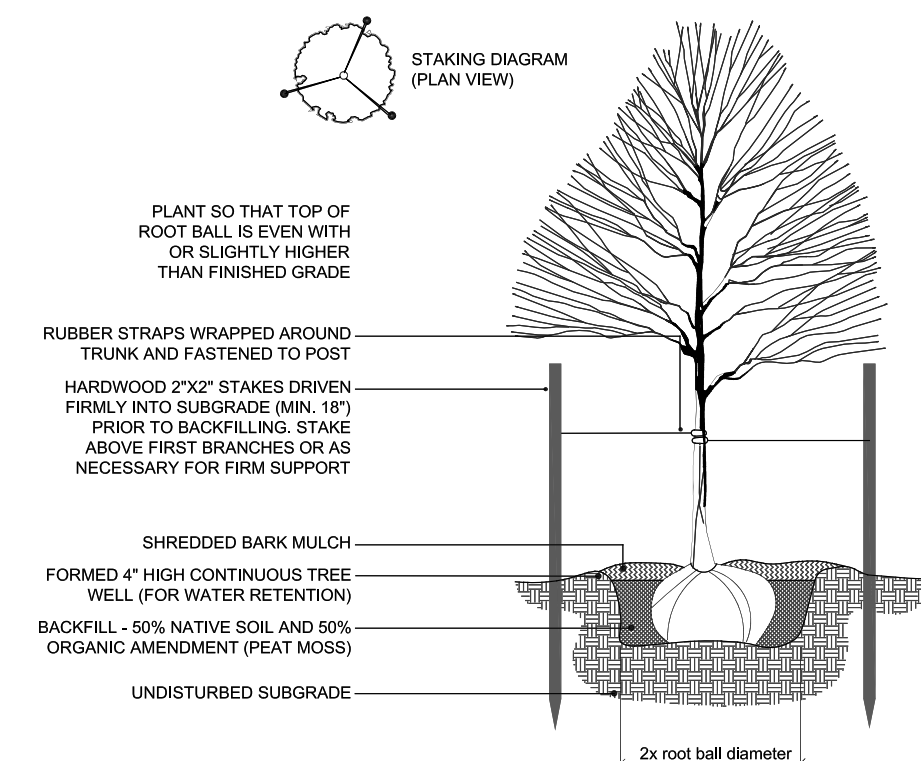
DETAIL L4
TURFGRASS - TOP SOIL
NO SCALE



DETAIL L3
SHRUB PLANTING
NO SCALE



DETAIL L2
CONIFER TREE PLANTING
NO SCALE



DETAIL L1
DECIDUOUS TREE PLANTING
NO SCALE

PLANT MATERIALS SCHEDULE - SHEETS LP101 and LP102

SCIENTIFIC NAME	COMMON NAME	SIZE	QTY.
TREES			
AR <i>Acer rubrum</i> 'October Glory'	Red Maple	2.0" cal.	9
AT <i>Acer tatarica</i> ▲	Tatarian Maple	2.0" cal.	3
GT <i>Gleditsia triacanthos</i> 'Skyline' ▲	Honeylocust	2.0" cal.	5
MF <i>Malus</i> 'Prairie Fire' ▲	Flowering Crabapple	2.0" cal.	9
MS <i>Malus</i> 'Spring Snow' ▲	Flowering Crabapple	2.0" cal.	2
PP <i>Picea pungens</i>	Colorado Spruce	6" height	5
PC <i>Pyrus calleryana</i> 'Cleveland Select'	Flowering Pear	2.0" cal.	19
TA <i>Tilia americana</i> 'Redmond'	Linden	2.0" cal.	30
ZS <i>Zelkova serrata</i> 'Muscashino' ▲	Zelkova	2.0" cal.	7
Total:			89
SHRUBS			
BM <i>Buddleia x</i> 'Miss Molly' ▲	Butterfly Bush	#5 gal.	11
PA <i>Perovskia atriplicifolia</i> 'Little Spire' ▲	Russian Sage	#5 gal.	64
PF <i>Potentilla fruticosa</i> 'Jackman' ▲	Shrubby Cinquefoil	#5 gal.	23
PB <i>Prunus besseyi</i> ▲	Western Sandcherry	#5 gal.	8
RA <i>Rhus aromatica</i> 'Grow Low' ▲	Fragrant Sumac	#5 gal.	51
TL <i>Rhus trilobata</i> ▲	Three Leaf Sumac	#5 gal.	14
RT <i>Rhus typhina</i> 'Tiger Eyes' ▲	Yellow Sumac	#5 gal.	24
Total:			195
GRASSES			
PV <i>Panicum virgatum</i> 'Shenandoah' ▲	Switch Grass	#1 gal.	49
PA <i>Pennisetum alopecuroides</i> 'Little Bunny' ▲	Dwarf Fountain Grass	#1 gal.	39
SS <i>Schizachyrium scoparium</i> 'Prairie Blues' ▲	Little Bluestem Grass	#1 gal.	12
Total:			100
PERENNIALS			
SD <i>Hemerocallis</i> 'Stella D'Oro' ▲	Yellow Daylily	#1 gal.	28

▲ Indicates water-wise (drought tolerant) species. Total percentage of water-wise tree and plant species equals 84.7%.

Note: quantities shown in the plant schedule above include only those plants shown on Sheet LP101. See enlargements on Sheet LP103 for approximate quantities of trees and plants around townhome units.

Note: quantities shown in the materials legend below include all of the turfgrass, decorative rock mulch, shredded bark mulch, and concrete edging for this phase. This includes the materials shown in the enlargements on Sheet LP103.

LANDSCAPE MATERIALS LEGEND

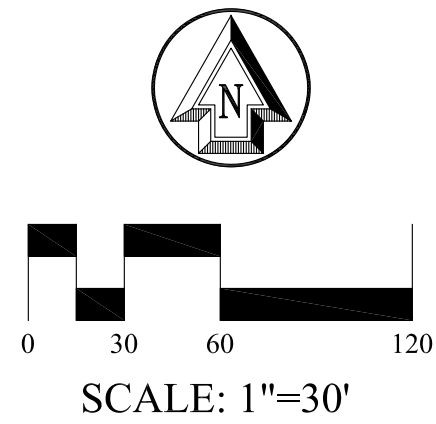
- Turfgrass Areas - 112,875.0 sq.ft. (79.2%)**
Turfgrass areas shall be a water-wise 50/50 blend of Kentucky Bluegrass and perennial Ryegrass cut sod and/or hydroseed, installed over a prepared subgrade of four inches (4") of screened and compacted top soil, once irrigation and finish grading has been completed. Install sod within twenty four (24) hours of delivery and do not allow sod to dry out. Lightly wet top soil prior to installation of sod, but avoid creating muddy conditions. All trees within turfgrass areas shall be planted within a five foot (5') diameter tree ring and covered with shredded bark mulch (see Tree Planting note #16).
- Decorative Rock Mulch Planter Bed Areas - 14,830.0 sq.ft. (10.4%)**
Planter bed areas shall be constructed with twelve inches (12") of screened, sandy loam top soil installed on top of sub-grade material. Planter bed areas shall be finished with two to four inch (2"-4") decorative cobble rock in natural tan, brown, cream and maroon colors, or as approved by Owner. Cobble rock mulch shall be installed to an average depth of four inches (4") and shall completely cover all planter bed areas. Prior to installation of cobble rock mulch, it is recommended that DeWitt Pro5 weed barrier be applied to the planter bed areas. All trees and plants within decorative rock planter bed areas shall be irrigated with point-source drip emitters.
- Shredded Bark Mulch Planter Bed Areas - 14,739.0 sq. ft. (10.4%)**
Planter bed areas shall be constructed with twelve inches (12") of screened, sandy loam top soil installed on top of sub-grade material. Planter bed areas shall be finished with brown, shredded hardwood bark mulch, or as approved by Owner. Shredded bark mulch shall be installed to an average depth of four inches (4") and shall completely cover all planter bed areas. Prior to installation of shredded bark mulch, it is recommended that DeWitt Pro5 weed barrier be applied to the planter bed areas. All trees and plants within shredded bark planter bed areas shall be irrigated with point-source drip emitters.
- Concrete Mow Curb - 1,498.0 lin.ft.**
Concrete mow curbing shall be cast-in-place, slip formed gray concrete, or as approved by Owner. Install concrete mow curbing once rough and finish grading has been completed, but prior to installation of irrigation, plant materials, and sod. Saw cut control joints shall be evenly spaced, at approximately ten feet on center (10' O.C.).

TREE PLANTING NOTES:

- Final plant selections, quantities, and locations shall be approved by the Owner. Variations to this Landscape Plan may be made during construction and installation, per direction from the Owner.
- See typical unit landscape enlargements for more information on plant layout and quantities.
- All deciduous trees shown on this Landscape Plan shall be a minimum of two inch caliper (2.0" cal.) balled and burlapped nursery stock, or as otherwise required.
- All conifer trees shown on this Landscape Plan shall be a minimum of six feet (6') in height, unless otherwise required.
- Balled and burlapped trees showing obvious signs of damage to the root ball and/or trunk shall not be acceptable.
- Tree holes shall be dug two times (2x) the diameter of the root ball and only as deep as the root ball.
- Tree root ball shall be at least twelve (12") inches in diameter per each one (1") inch of tree caliper and at least eighteen (18") inches deep. Root ball shall be wrapped lightly with no loose parts.
- Tree should be set in the center of the hole and stood upright. The root flare should be visible and located at, or slightly above, finished ground level. The root flare should never be below finished ground level.
- Trees shall only be lifted by the wire basket. Never lift trees by grasping trunk or limbs, or by attaching any type of sling or choker.
- Do not remove the wire basket from balled and burlapped trees during planting. Bend the top wire loops down into hole after cutting wire or rope from around the tree trunk.
- Cut and remove the top third of the burlap after hole has been backfilled two thirds of its depth.
- Remove all strings, rope, stakes, taping, tags, flagging, and any other such items.
- Backfill hole with excavated material and compact only enough to hold tree in place. Never use mechanical compaction. Top soil or soil pep may be added to excavated material if high quantities of clay soils are present, but shall not replace excavated material. Backfill material should cover root flare slightly, but should not be piled against trunk.
- Water generously to soak entire root ball and backfill material. A soil water ring should be formed at the edge of the root ball. Backfill material may need to be added as soil settles below root flare.
- During backfill of trees, shrubs and plants place 21-gram fertilizer tablets in hole according to manufacturer's written instructions.
- Trees within lawn areas shall be planted within a five foot (5') diameter tree ring and finished with shredded bark mulch. Install mulch to an average depth of three to four inches (3"-4") deep. Do not pile excessive mulch around tree trunks.

SHRUB and PLANTS PLANTING NOTES:

- All shrubs shown on this Landscape Plan shall be a minimum five gallon (#5 gal.) containerized nursery stock.
- All ornamental grasses shown on this Landscape Plan shall be a minimum one gallon (#1 gal.) containerized nursery stock.
- Hole should be dug at least two times (2x) the diameter of the root ball and only as deep as the root ball.
- Gently remove plant from the container, lightly rub all sides of the root ball to expose ends of roots, and place in the center of the hole. The top of the root ball should be at finished ground level.
- Backfill the hole with excavated material. Top soil or soil pep may be added to excavated material if high quantities of clay soils are present, but shall not replace excavated material.
- Compact soil enough to hold plant in place. Never use mechanical compaction.
- Generously water to soak entire root ball and backfill. A soil water ring should be formed around the outside of the root ball. Backfill material may need to be added after material has settled.
- Mulch shall be added to a depth of three (3") to four (4") inches and at least twice the width of the root ball.
- For weed barrier cut a hole for the plant at least one and a half times (1.5X) times the diameter of the root ball to allow room for the plant to expand and grow naturally.



No.	Revision/Issue	Date

Designed By: AKC	
Drawn By: AKC	
Reviewed By: AKC	

FOOTHILL VILLAGE SUBDIVISION SANTAQUIN, UT

PLAT 'Y'

Date: 05/18/2020	Drawing: LEGEND & DETAILS
Issue: PRELIMINARY	Sheet: LP103
Project: 19-0125	