Santaquin

DEVELOPMENT REVIEW COMMITTEE MEETING NOTICE AND AGENDA

Notice is hereby given that the Santaquin City Development Review Committee will hold a regular meeting on **Tuesday August 11, 2020 at 10:00 A.M. at 275 W. Main Street**

<u>All Santaquin City Public Meetings Will Be Held Online Only</u> (Temporary order - while responding to Coronavirus public gathering restrictions):

 <u>YouTube Live</u> - All Santaquin City public meetings will be shown live on the Santaquin City YouTube Channel, which can be found at: https://www.youtube.com/channel/UCTzZT yW2H2Hd-58M2 ddSw

or by searching for Santaquin City Channel on YouTube.

AGENDA

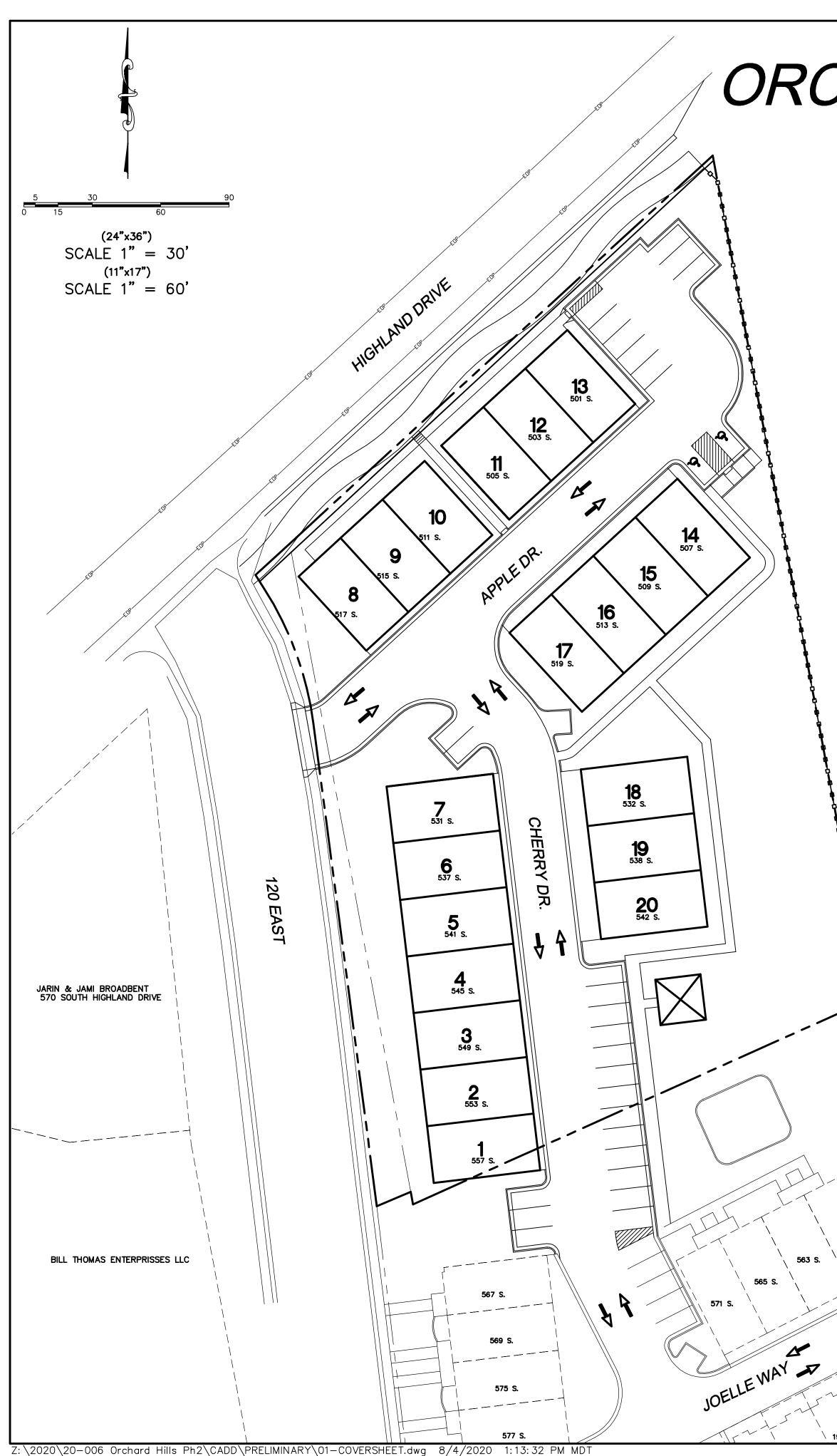
- Orchard Hills II Preliminary Subdivision Review
 A preliminary review of a 20-unit townhome and commercial development located at
 approximately 120 E. and Highland Drive.
- 2. Foothill Village Plat H Final Review
 A final review of a 22 lot subdivision located at approximately Highland Drive and
 Foothill Village Boulevard.
 Description:
 Description:
- **3.** Foothill Village Plat X Final Review A final review of a 41 lot subdivision located at approximately Highland Drive and Brubaker Way.
- **4.** Foothill Village Plat Y Final Review A final review of a 10 lot subdivision located at approximately Highland Drive and Badger Way.
- 5. 200 N. 200 E. Stop Sign Request The DRC will review a request for a four way stop at the intersection of 200 N. and 200 E.
- 6. Approval of Minutes for Meeting Held July 28, 2020
- 7. Adjournment

If you are planning to attend this public meeting and, due to a disability, need assistance in understanding or participating in the meeting, please notify the City ten (10), or more hours in advance and we will, within reason, provide what assistance may be required

CERTIFICATION OF POSTING

This agenda is hereby properly advertised this 7th day of August 2020, through posting of copies of this agenda in three public places within the city, namely the **City Office, Zions Bank**, and the **United States Post Office.**

Kira Petersen, Deputy Recorder



ORCHARD HILLS TOWNHOMES II

SITEPLAN SANTAQUIN, UTAH COUNTY, UTAH FINAL PLAN SET AUGUST 2020

-SHEET INDEX-

SHEET SHEET NAME

1	COVER & INDEX
2	SITE PLAN
3	GRADING PLAN
4A	DETAIL SHEET
4B	DETAIL SHEET
5	FIRE PLAN
6A	FINAL PLAT (1 OF 2)
6B	FINAL PLAT (2 OF 2)
S1	RECORD OF SURVEY (BY OTHERS)
L1	LANDSCAPING PLAN (BY OTHERS)

KATHY AND DENNIS BRANDON 540 SOUTH HIGHLAND DRIVE

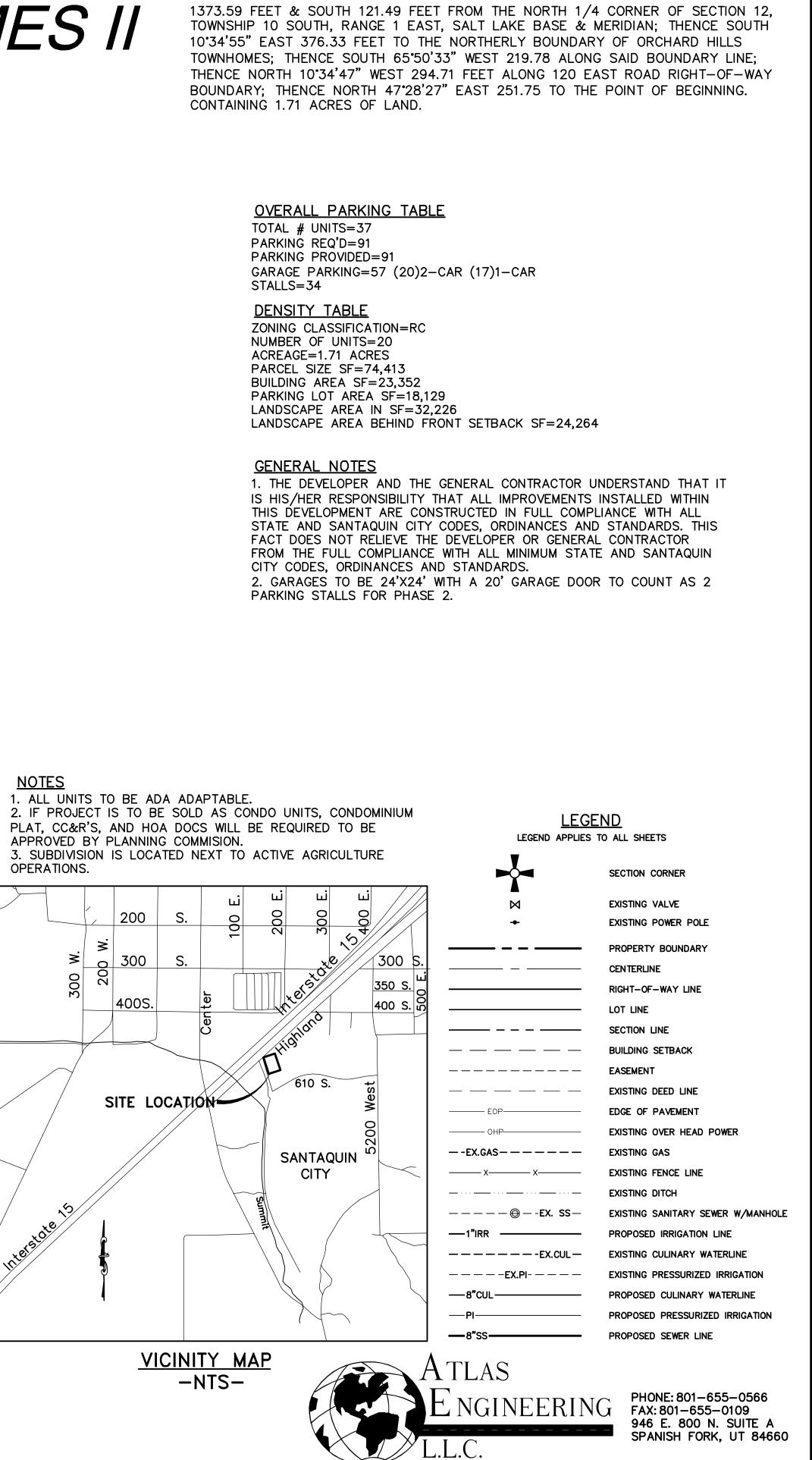
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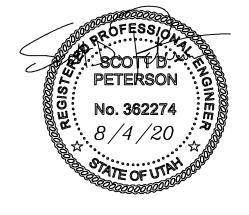
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193 E.

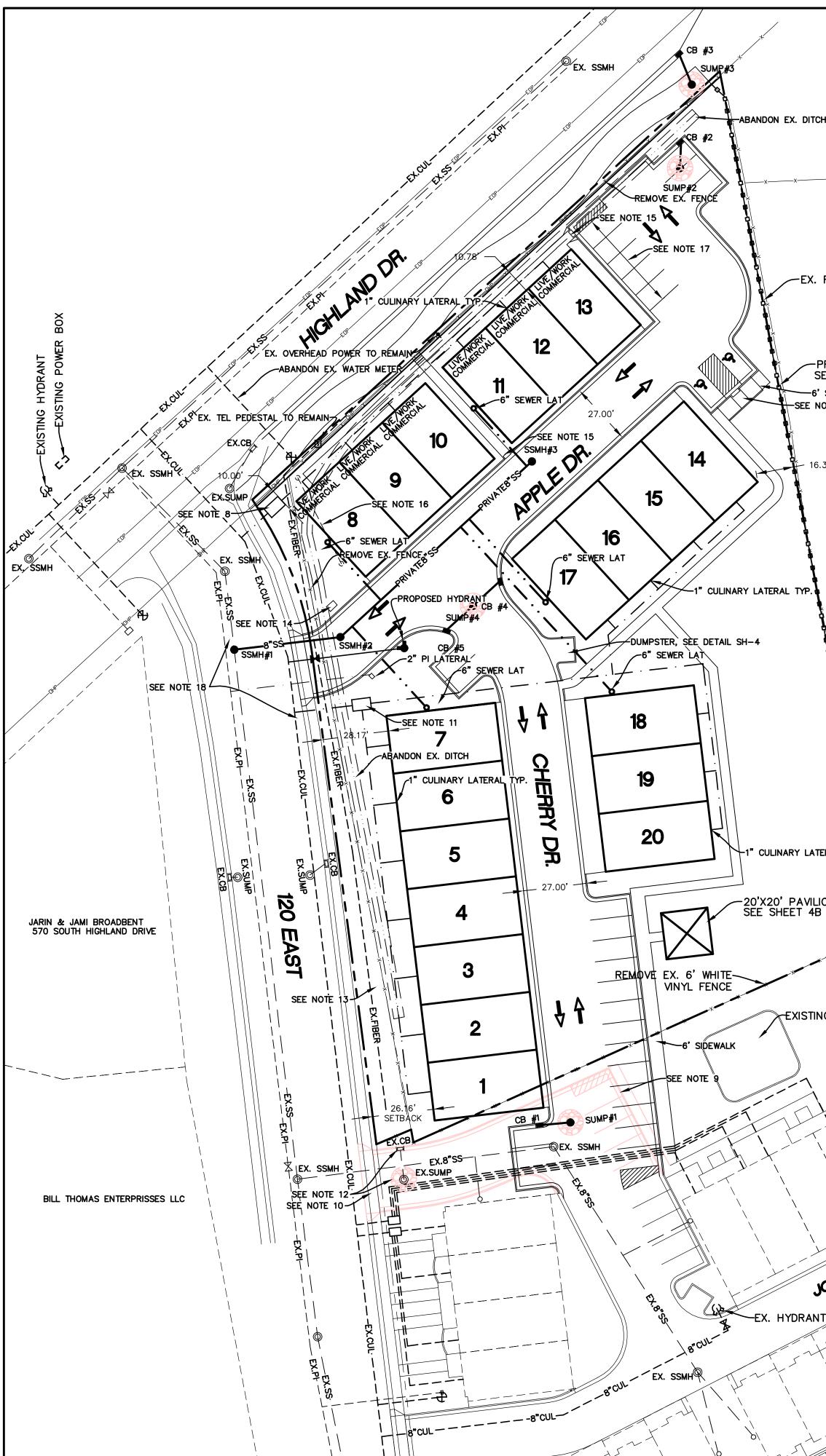
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OPERATIONS.





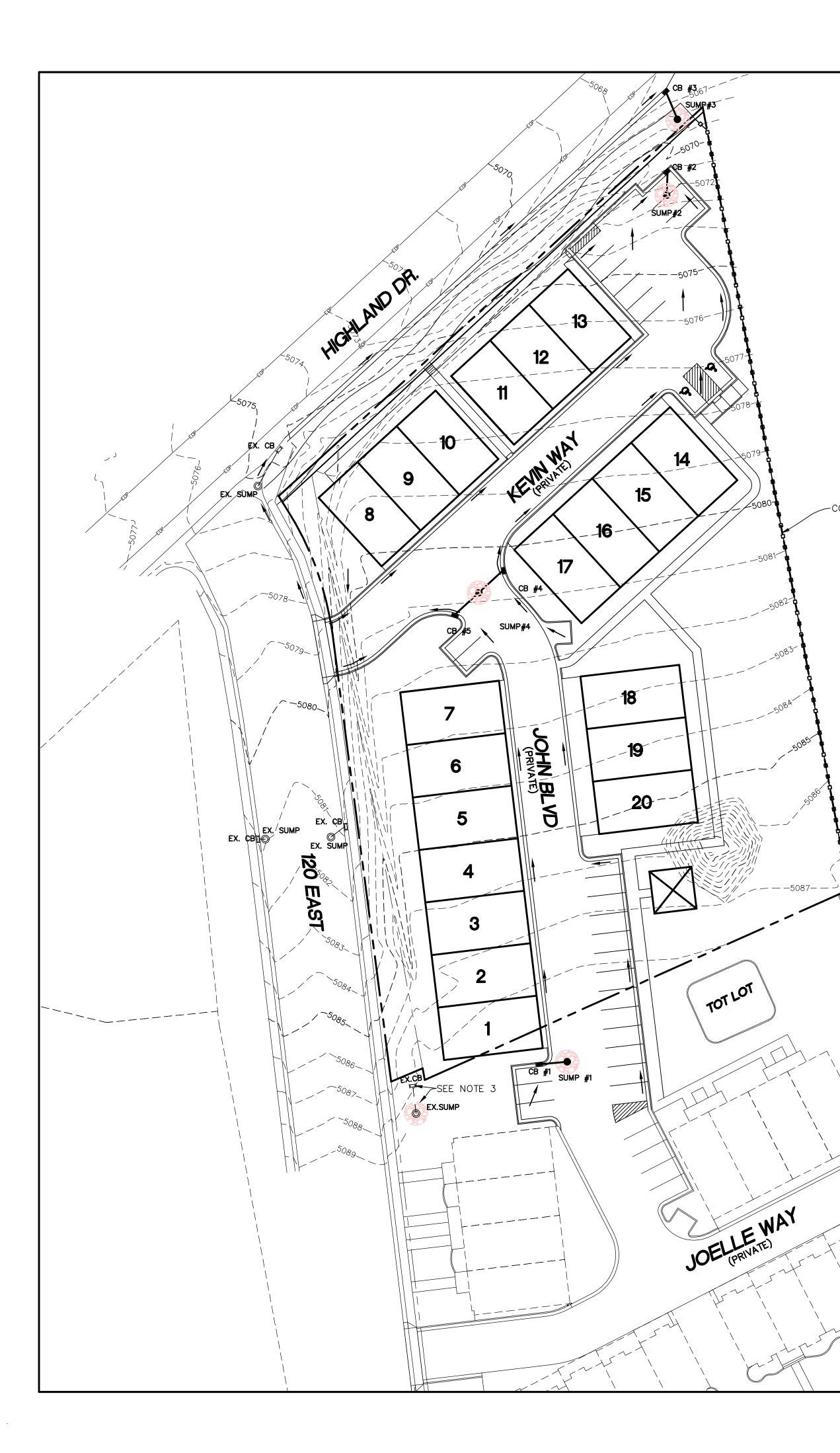
OWNER/DEVELOPER JOHN SMILEY 391 NORTH MAIN SPANISH FORK, UT 84660 **BOUNDARY DESCRIPTION:** COMMENCING AT A POINT WHICH LIES SOUTH 87°08'54" WEST ALONG THE SECTION LINE



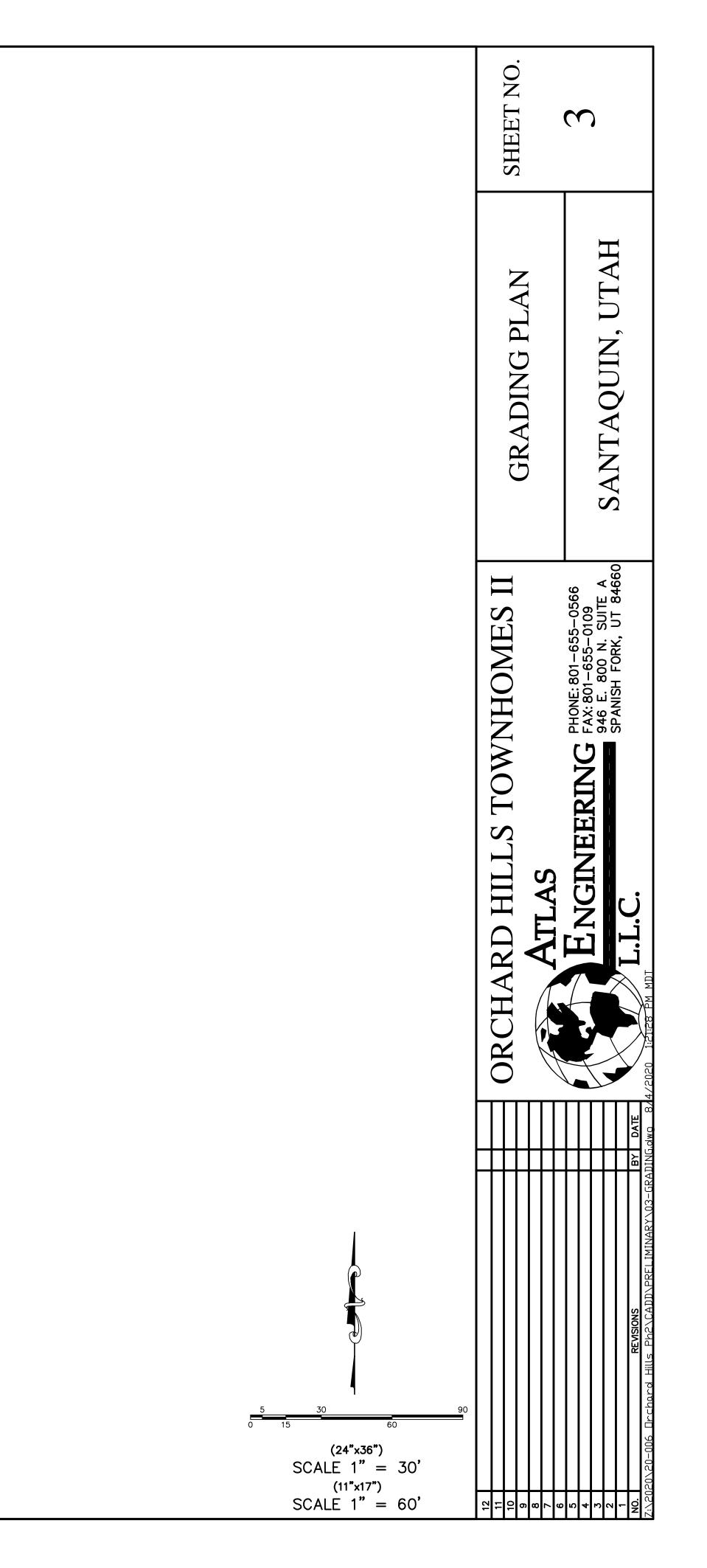
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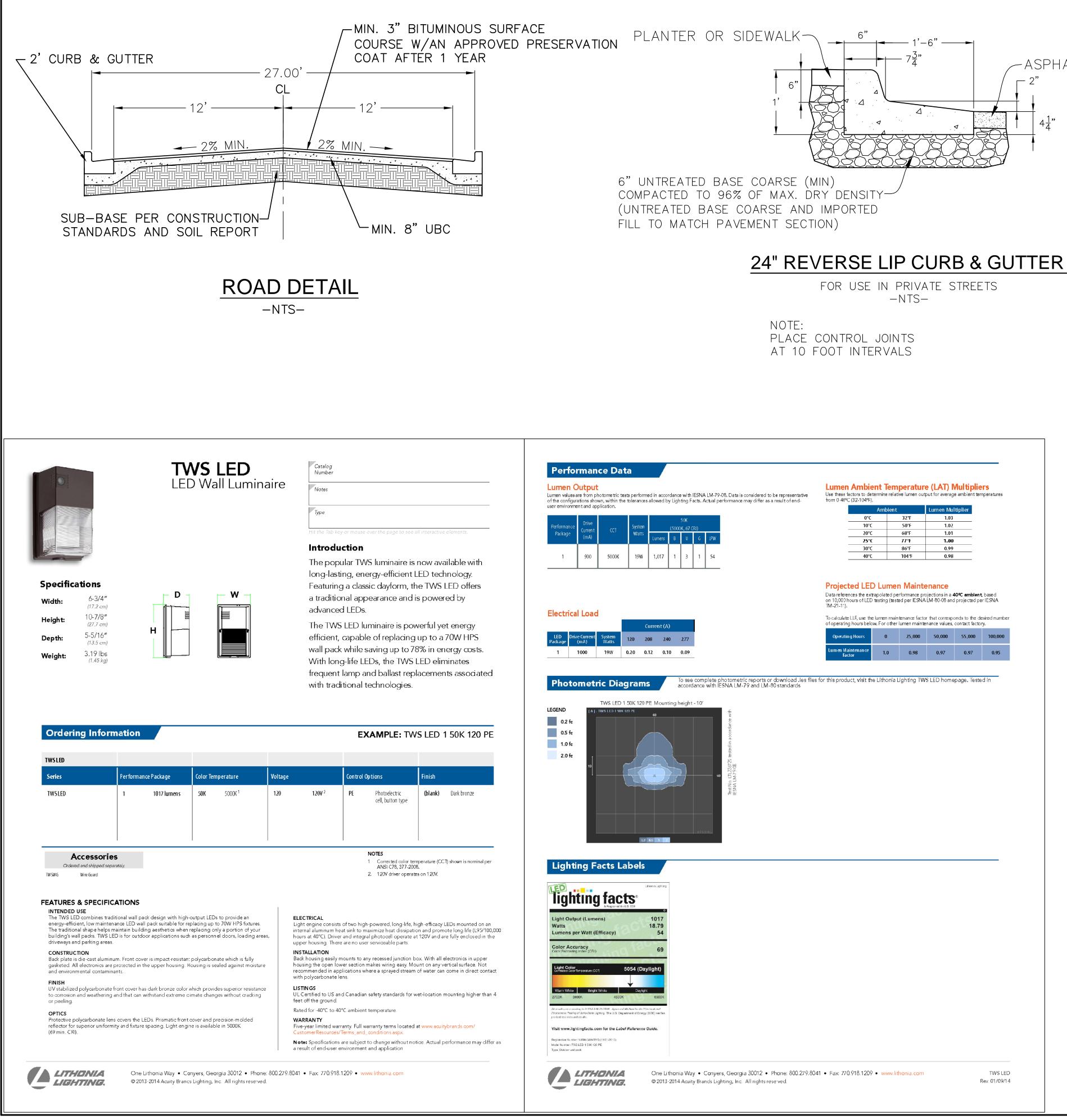
-EX. FIELD FENCE TO REMAIN DENSITY TABLE PROPOSED 6' WALL & TO BE APPROVED PER ARC SEE SHEET 4B ZONING CLASSIFICATION=RC NUMBER OF UNITS=20 -6' SIDEWALK SEE NOTE 15 ACREAGE=1.71 ACRES ACREAGE TO BE DEDICATED FOR STREET ROW=706 PARCEL SIZE SF=74,413 BUILDING AREA SF=23,352 PARKING LOT AREA SF=18,129 - 16.35' LANDSCAPE AREA IN SF=32,226 LANDSCAPE AREA BEHIND FRONT SETBACK SF=24,26 COMMERCIAL SF=3000 SF KATHY AND DENNIS BRANDON 540 SOUTH HIGHLAND DRIVE OVERALL PARKING TABLE TOTAL # UNITS=37 PARKING REQ'D=91 PARKING PROVIDED=92 GARAGE PARKING=57 (20)2-CAR (17)1-CAR STALLS=35 PROPOSED 6' WALL & TO BE APPROVED PER ARC SEE SHEET 4B EX. FIELD FENCE TO REMAIN +1" CULINARY LATERAL TYP -20'X20' PAVILION SEE SHEET 4B NOTES: -EX. 8' MASONRY WALL 1. ALL POWER TO BE INSTALLED UNDERGROUND. 2. FIRE SPRINKLERS NOT REQUIRED. DESIGN WILL BE TOWNHOMES WITH FULL FIRE RATED SEPE BUILT BETWEEN EACH UNIT. 3. NO COMMON ATTIC SPACES. 4. HOA WILL BE REQUIRED IF PROJECT IS NOT WHOLLY OWNED BY A SINGLE ENTITY. -EXISTING TOT LOT 5. ALL UNITS TO HAVE EXTERIOR LIGHTING. ONE AT FRONT PORCH AND TWO ON GARAGE. 6. BUILDINGS WILL REQUIRE APPROVAL BY SANTAQUIN CITY ARCHITECTURAL REVIEW COMMITTE 7. HVAC EQUIPMENT TO SIT BETWEEN GARAGES. 8. 2" MASTER METER SERVICE LATERAL WILL NEED A CURB-STOP VALVE 1' BEHIND ROW PRIC THE VAULTS CONTAINING THE 1" CULINARY WATER METERS TYP. 9. EXISTING CURB GUTTER, ASPHALT AND SIDEWALK TO BE REMOVED. 10. EX. DRIVE APPROACH TO BE REMOVED AND CURB, GUTTER AND SIDEWALK TO BE INSTALL 11. 4" MASTER METER SERVICE LATERAL PER SANTAQUIN CITY. 12. REMOVE EXISTING SUMP AND CATCH BASIN. 13. CONTRACTOR TO LOCATE EXISTING UNDERGROUND POWER. IT MAY NEED TO BE RELOCATED 14. PROPOSED MAILBOX LOCATION. 15. CONST. ADA ACCESS RAMP PER SANTAQUIN CITY STANDARDS. 16. EXISTING BILLBOARD TO BE REMOVED. 17. 9AM-5PM COMMERCIAL PARKING ONLY. 18. A 2"ASPHALT OVERLAY MUST BE PLACED 15' TO EITHER DIRECTION FROM THE PROPOSED JOELLE WAY

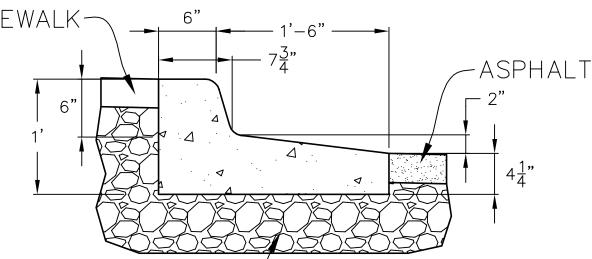
		SHEET NO.	C]
SF (0.02 ACRES)		SITE PLAN	SANTAQUIN, UTAH
PERATIONS (FOUNDATIONS TO ROOF)		RCHARD HILLS TOWHNOMES II	ENGINEERING PHONE: 801–655–0566 FAX: 801–655–0566 FAX: 801–655–0109 946 E. 800 N. SUITE A 946 E. 800 N. SUITE A SPANISH FORK, UT 84660
TEE. RIOR TO WATER METER MANIFOLD WITHIN			
LLED. TED.			-UTILITY
ED ASPHALT CUTS. OWNER/DEVELOPER JOHN SMILEY 391 NORTH MAIN SPANISH FORK, UT 84660	$\int_{0}^{5} \frac{30}{15} \int_{0}^{90} \frac{90}{60}$ $(24^{*} \times 36^{*})$ $SCALE 1'' = 30'$ $(11^{*} \times 17^{*})$ $SCALE 1'' = 60'$	12 11 9 8 7	5 4 3 2 1 NO. 1 REVSIONS 1 1 1 1 1 1 1 1 1 1 1 1 1

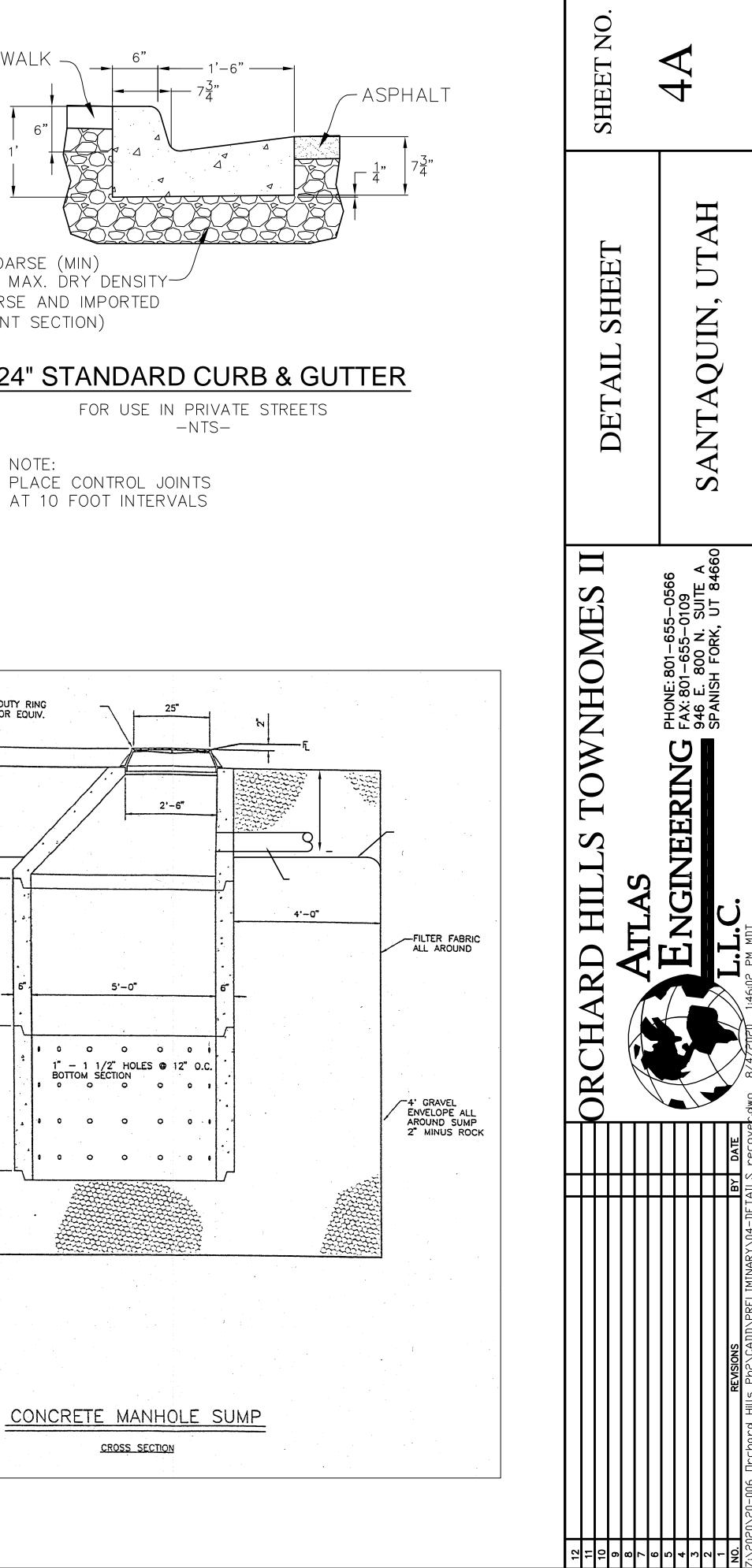


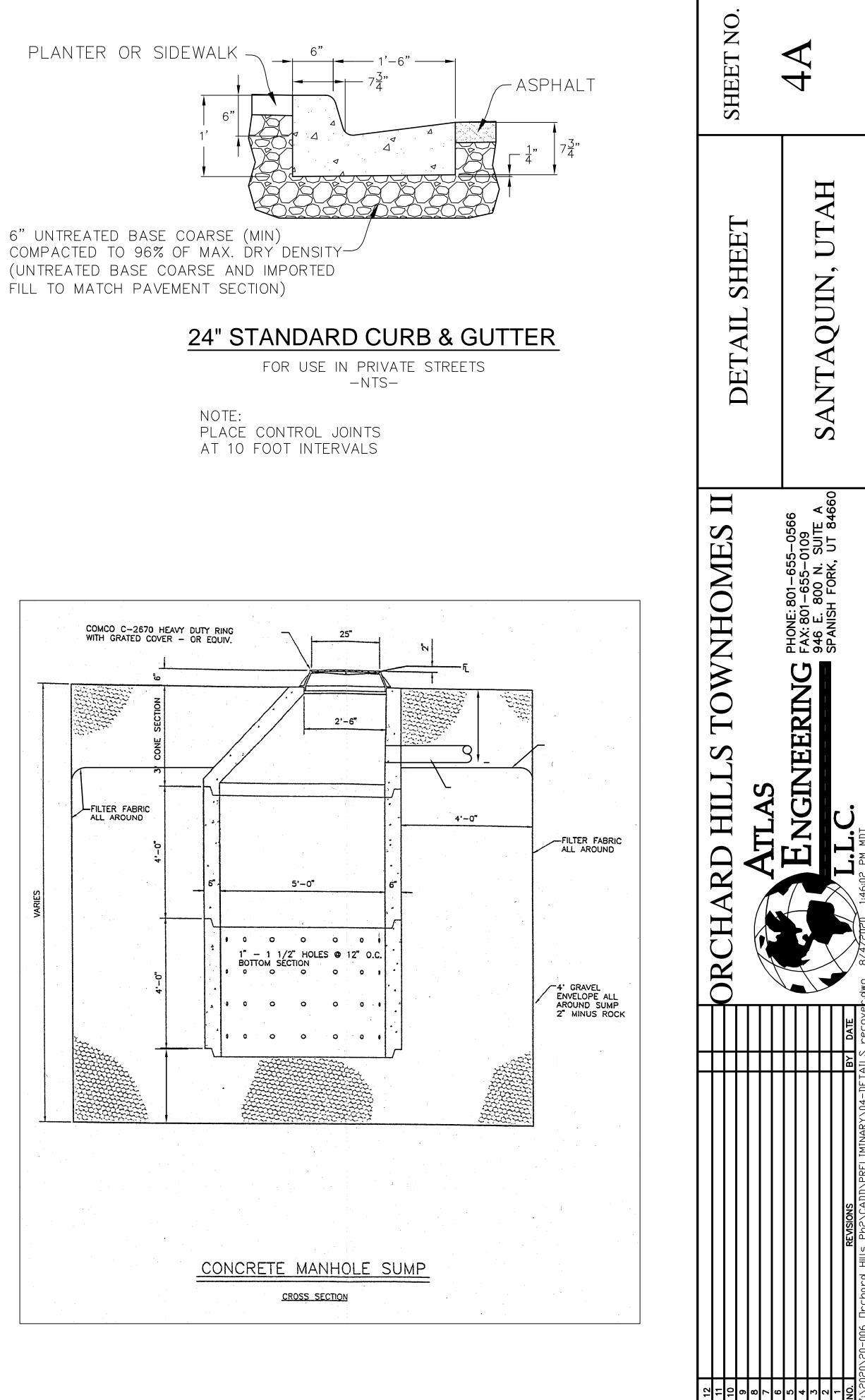
NOTES: 1. GARAGES TO HAVE 2% SLOPE MINIMUM. 2. DUMPSTER ENCLOSURE TO MEET SANTAQUIN CITY STANDARDS. (MUST BE APPROVED BY THE ARCHITECTURAL REVIEW COMMITTEE. 3. REMOVE/ABANDON EXISTING SUMP & CATCH BASIN.

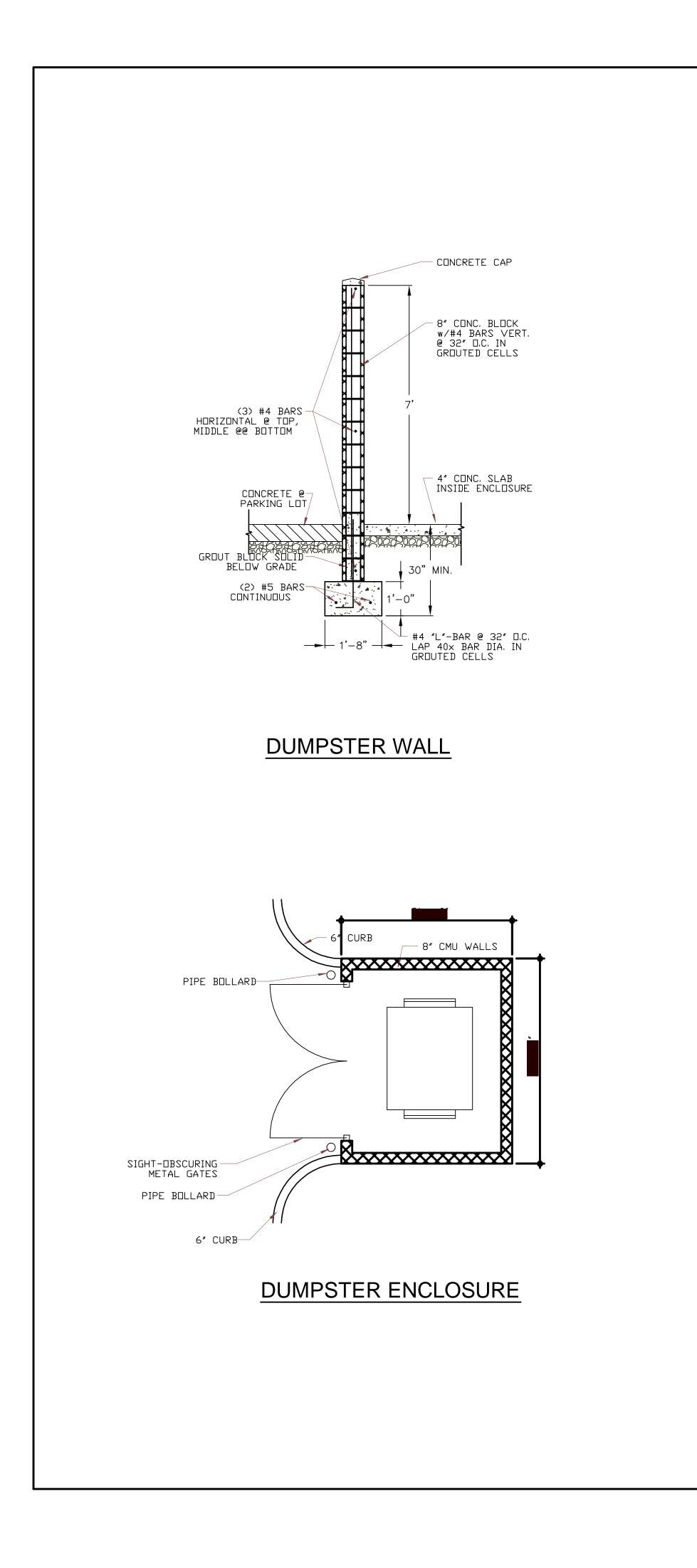


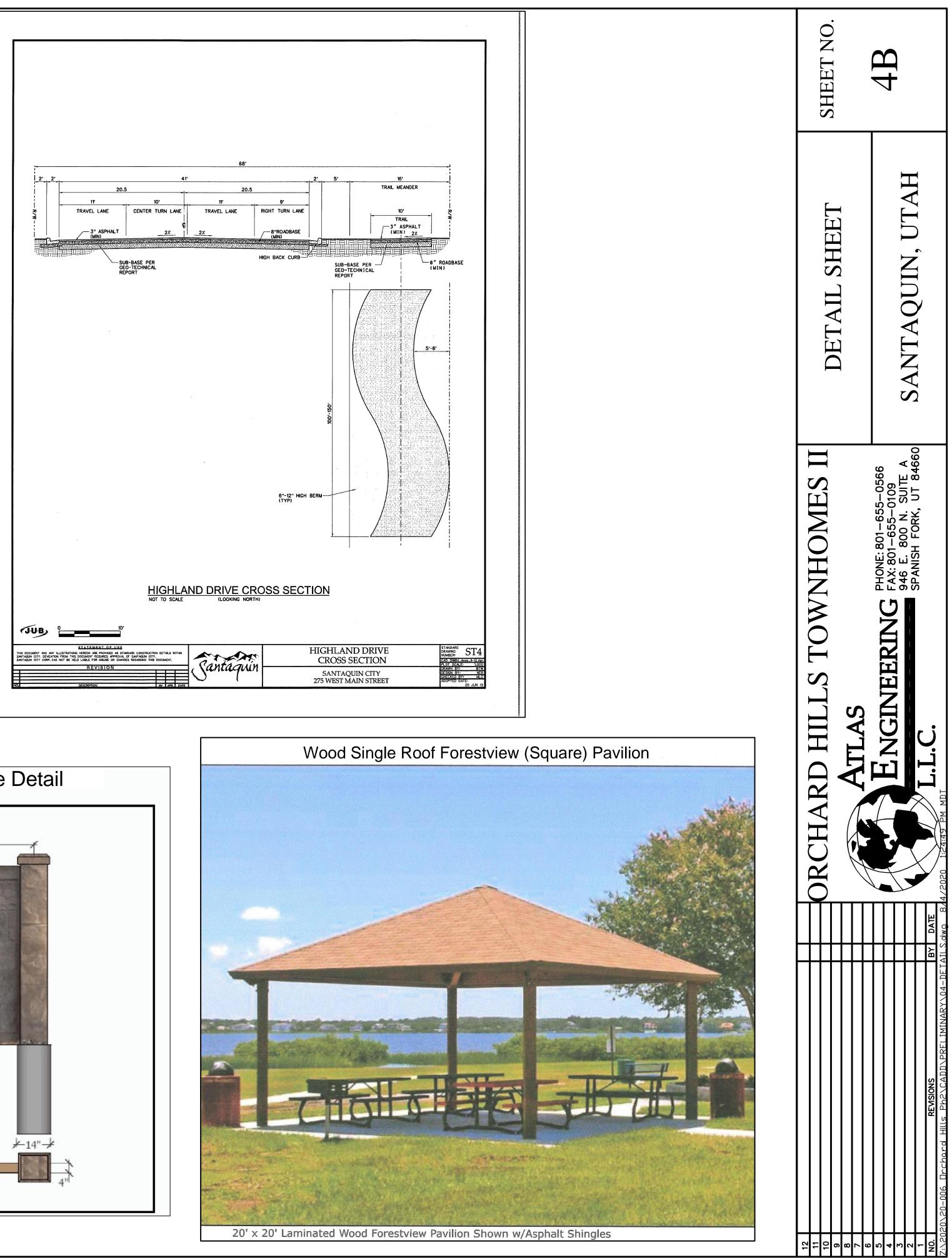


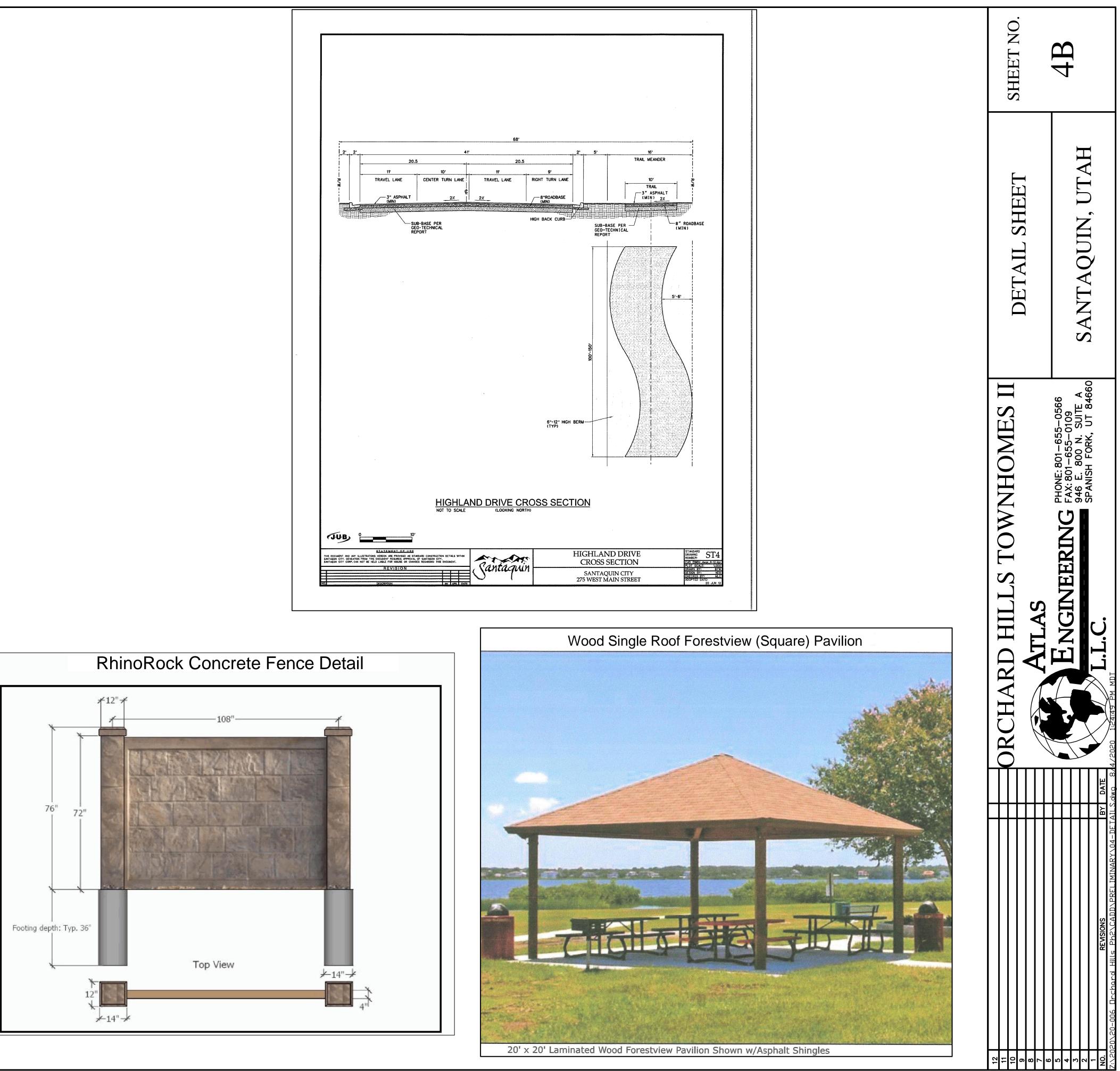




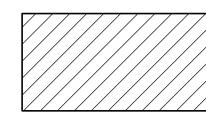




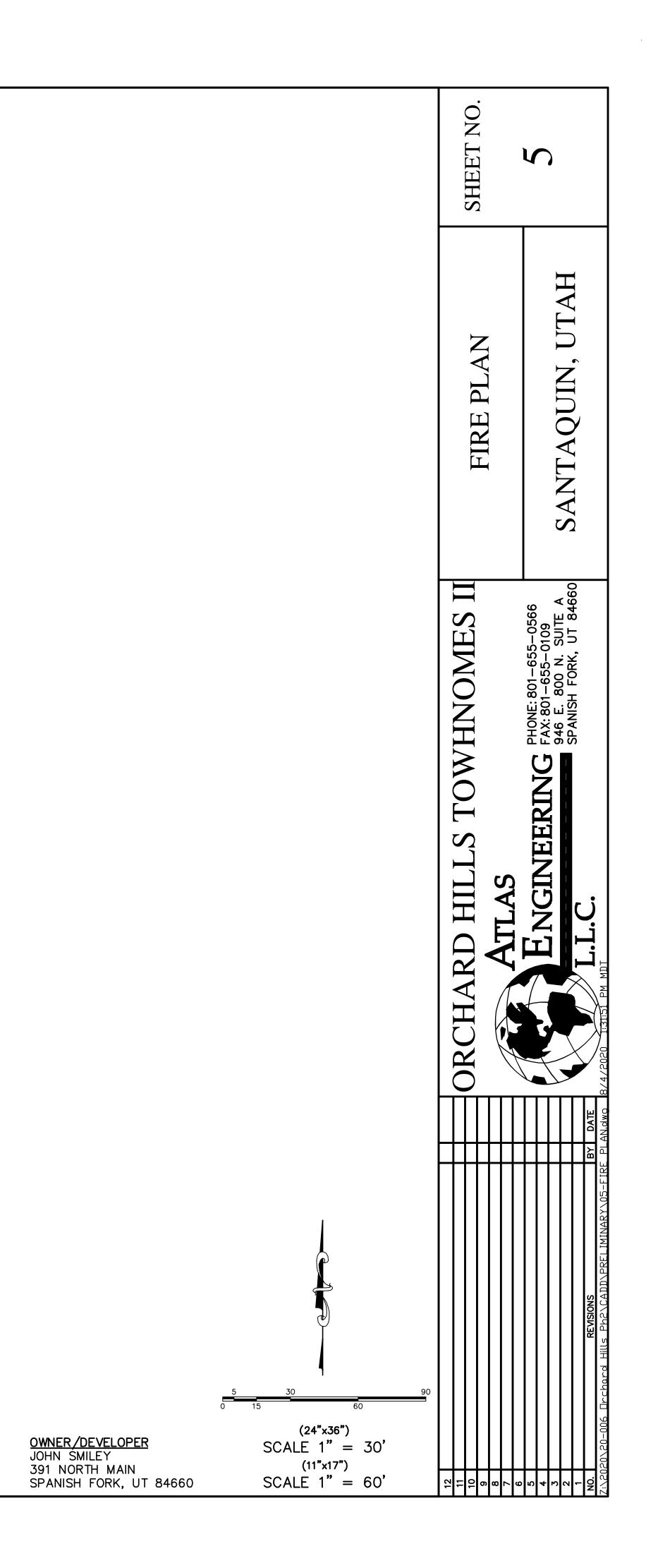


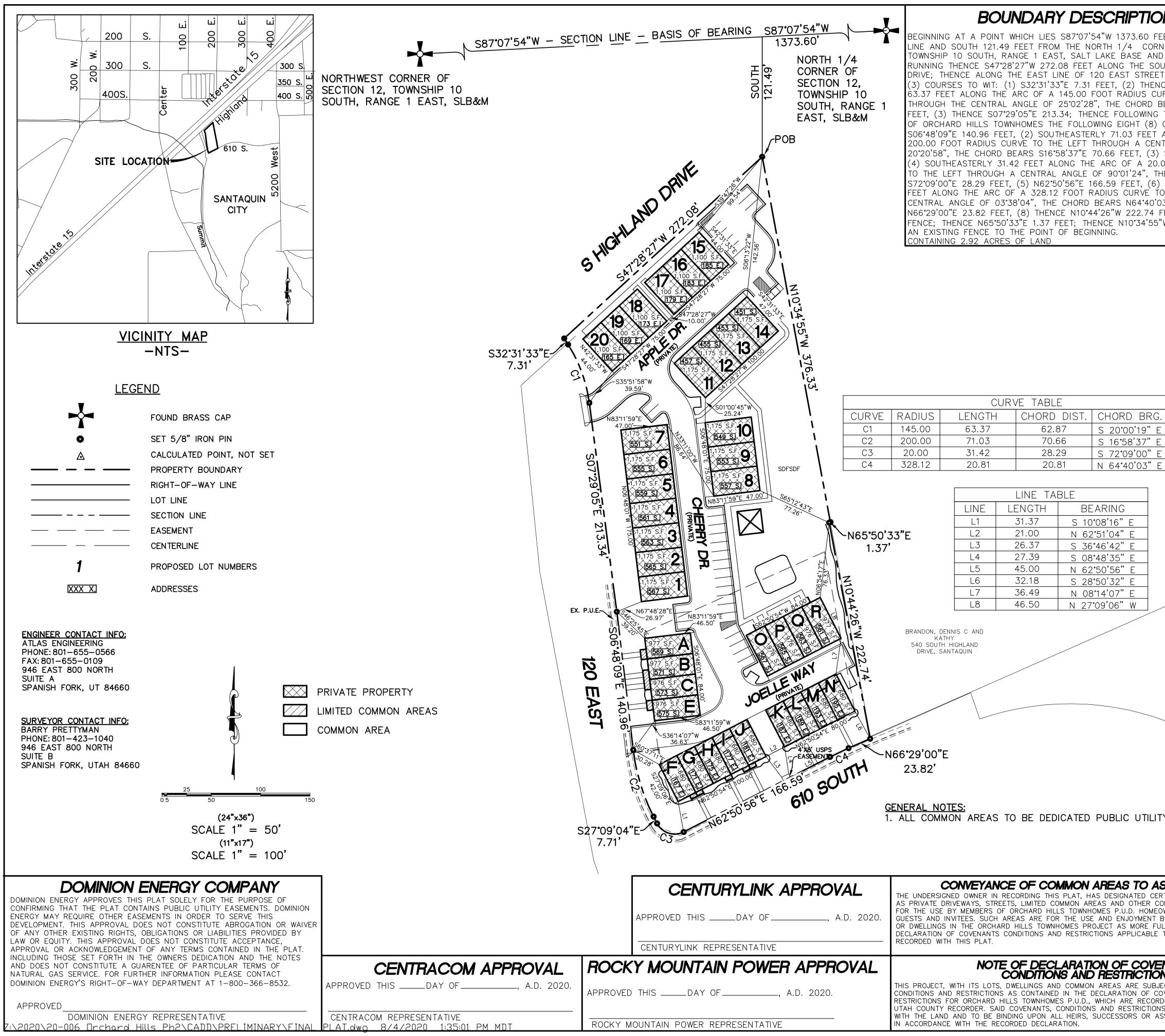






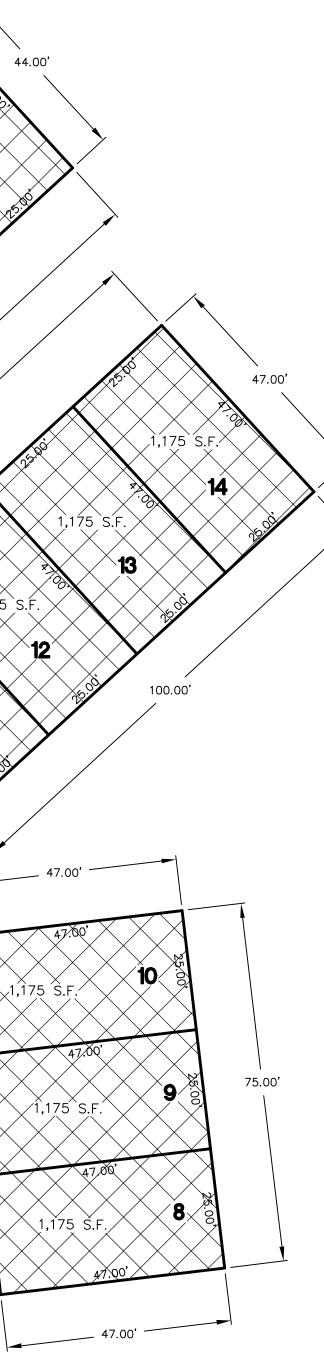
FIRE ACCESS PER IFC FIGURE D103. 1- DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND



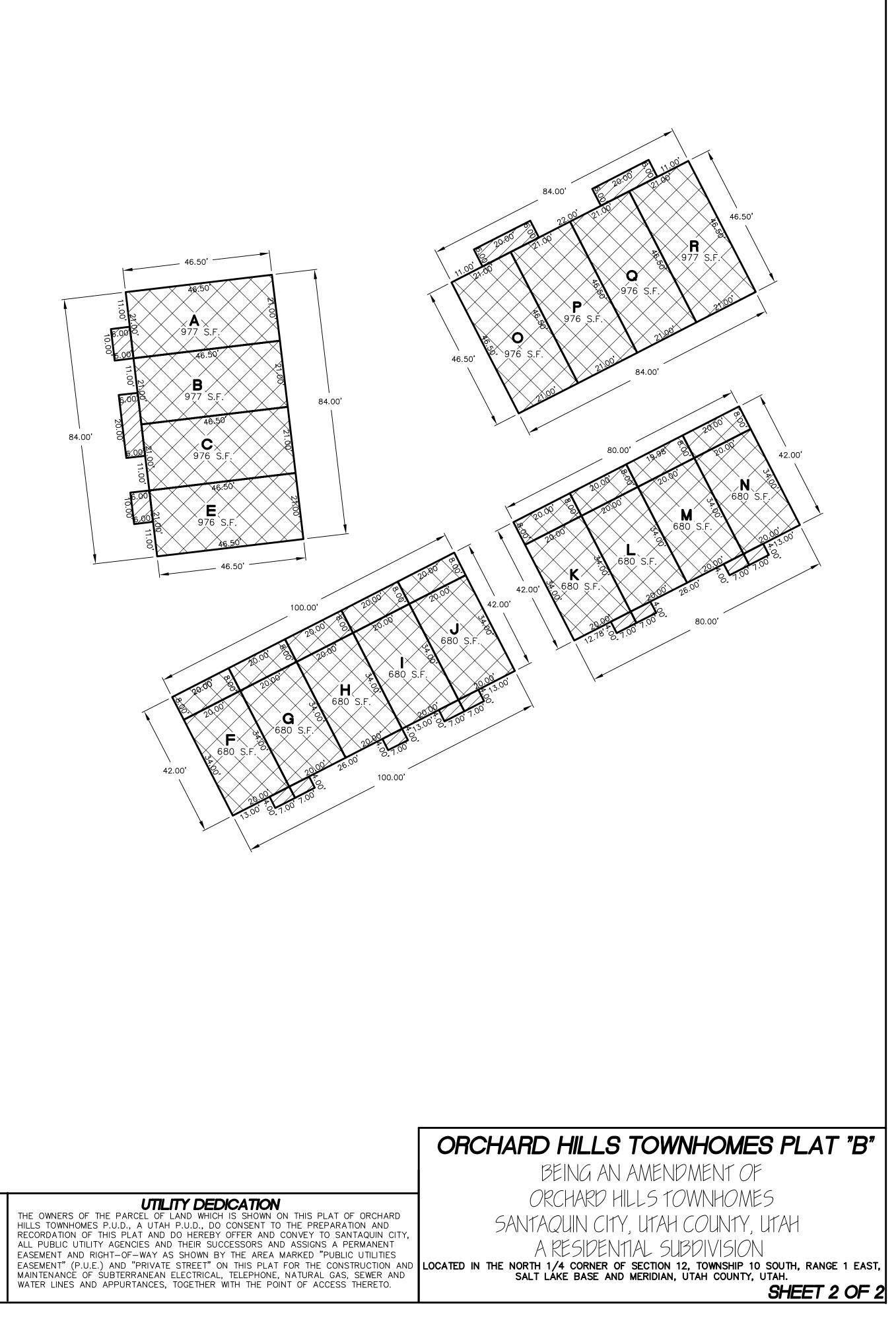


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ET ALONG THE SECTION ER OF SECTION 12, MERIDIAN; AND TH LINE OF HIGHLAND THE FOLLOWING THREE ESOUTHEASTERLY RVE TO THE RIGHT EARS S20°00'19"E 62.87 THE EXISTING BOUNDARY	SURVEYOR, AND THAT LAWS OF THE STATE I HAVE MADE A SURV DESCRIBED BELOW, A STREETS, AND EASEN AND STAKED ON THE AND CORRECT.	AN DO HEREBY CERTI T I HOLD CERTIFICATE OF UTAH. I FURTHER VEY OF SAID TRACT O ND HAVE SUBDIVIDED IENTS AND THAT THE GROUND AS SHOWN	NO. 166406 AS PRE CERTIFY BY AUTHOR OF LAND SHOWN ON SAID TRACT OF LANI SAME HAS BEEN CO	SCRIBED UNDER THE ITY OF THE OWNERS, THIS PLAT AND D INTO LOTS, RRECTLY SURVEYED		
COURSES TO WIT: (1) ALONG THE ARC OF A FRAL ANGLE OF	SURVEYOR		DATE			
S27°09'04"E 7.71 FEET, O FOOT RADIUS CURVE E CHORD BEARS NORTHEASTERLY 20.81 THE RIGHT THROUGH A 3"E 20.81 FEET, (7) EET ALONG AN EXISTING W 376.33 FEET ALONG	KNOW ALL ME UNDERSIGNED OWNE CERTIFICATE HEREOI BE SUBDIVIDED INTO DEDICATE THE STRE FOR PERPETUAL US IN WITNESS HER	OWNER'S DE N BY THESE PRESEN RS OF ALL THE PRO N AND SHOWN ON T O LOTS, STREETS, AN ETS AND OTHER PUB E OF THE PUBLIC. REOF WE HAVE HERE A.D. 20	NTS THAT WE, ALL C PERTY DESCRIBED II HIS MAP, HAVE CAU ND EASEMENTS AND BLIC AREAS AS INDI	N THE SURVEYOR'S SED THE SAME TO DO HEREBY CATED HEREON		
	OWNER: JOHN SMIL	EY	OWNER:			
	OWNER:		OWNER:			
	OWNER:		OWNER:			
	OWNER:		OWNER:			
	OWNER:		OWNER:			
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3°38'04"	OWNER: OWNER:					
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			NOTARY PUBLIC (SE	,		
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	APPROVED	(SEE SEAL)	ATTEST CLERK-RE			
Y EASEMENTS.	ORCHAR	D HILLS TO BEING AN AM DRCHARD HILLS	ENDMENT OF	5 PLAT "B"		
TAIN AREAS OF THE LAND MMON AREAS INTENDED WNERS ASSOCIATION, THEIR Y THE OWNERS OF LOTS LY DESCRIBED IN THE TO THIS PROJECT AND	LOCATED IN THE NORTH	AQUIN CITY, UT A RESIDENTIAL 1/4 corner of sect Lake base and meric NOTARY PUBLIC	SUBDIVISION 10N 12, TOWNSHIP 10 S	SOUTH, RANGE 1 EAST,		
	SURVEYOR'S SEAL	SEAL	SEAL	SEAL		
VANTS, S CT TO CERTAIN COVENANTS, VENANTS, CONDITIONS AND ED IN THE OFFICES OF THE						
S ARE INTENDED TO RUN SIGNS OF THE DECLARANT						

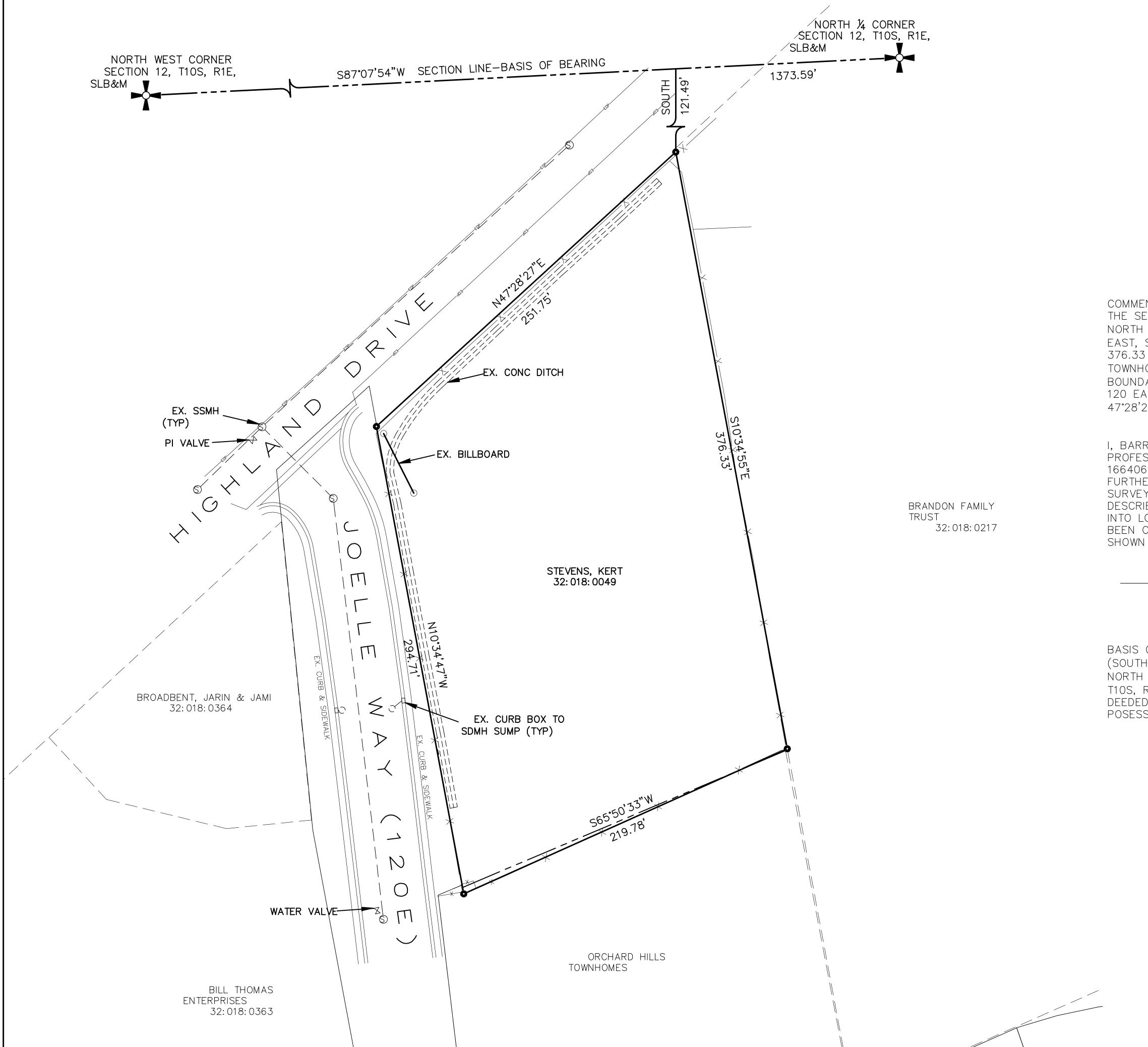


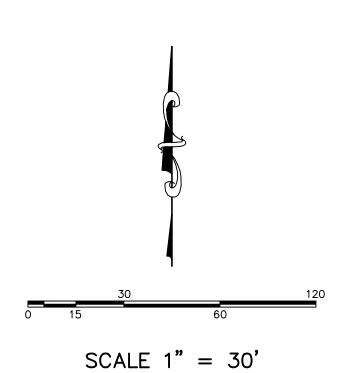


84.00'



RESERVATION OF COMMON AREAS THE OWNERS, IN RECORDING THIS PLAT ORCHARD HILLS TOWNHOMES P.U.D., A UTAH P.U.D., HAVE DESIGNATED CERTAIN AREAS OF LAND AS PRIVATE AND COMMON AREAS INTENDED FOR THE USE BY THE OWNERS OF SAID P.U.D. FOR INGRESS, RECREATION AND OTHER RELATED ACTIVITIES. THE DESIGNATED AREAS ARE NOT DEDICATED HEREBY FOR THE USE BY THE GENERAL PUBLIC, BUT ARE RESERVED FOR THE COMMON USE AND ENJOYMENT OF THE OWNERS OF SAID P.U.D., SAID DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS IS HEREBY INCORPORATED AND MADE A DART OF THIS CONDITIONS, AND RESTRICTIONS IS HEREBY INCORPORATED AND MADE A PART OF THIS PLAT AND BECOMES EFFECTIVE UPON THE DATE THAT THIS PLAT IS RECORDED IN THE OFFICIAL RECORDS OF UTAH COUNTY, UTAH.





SURVEYED DESCRIPTION

COMMENCING AT A POINT WHICH LIES SOUTH 87°08'54" WEST ALONG THE SECTION LINE 1373.59 FEET & SOUTH 121.49 FEET FROM THE NORTH 1/4 CORNER OF SECTION 12, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN; THENCE SOUTH 10°34'55" EAST 376.33 FEET TO THE NORTHERLY BOUNDARY OF ORCHARD HILLS TOWNHOMES; THENCE SOUTH 65°50'33" WEST 219.78 ALONG SAID BOUNDARY LINE; THENCE NORTH 10°34'47" WEST 294.71 FEET ALONG 120 EAST ROAD RIGHT-OF-WAY BOUNDARY; THENCE NORTH 47°28'27" EAST 251.75 TO THE POINT OF BEGINNING.

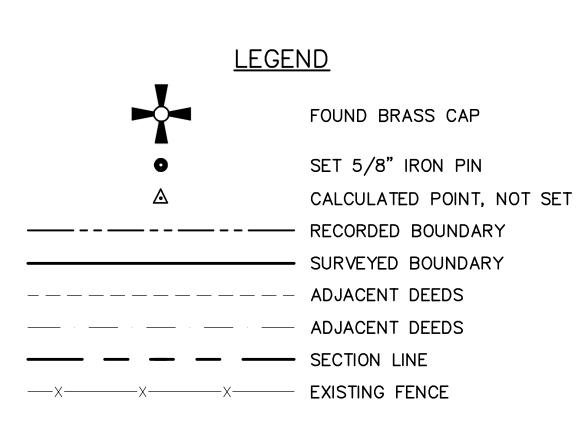
SURVEYOR'S CERTIFICATE

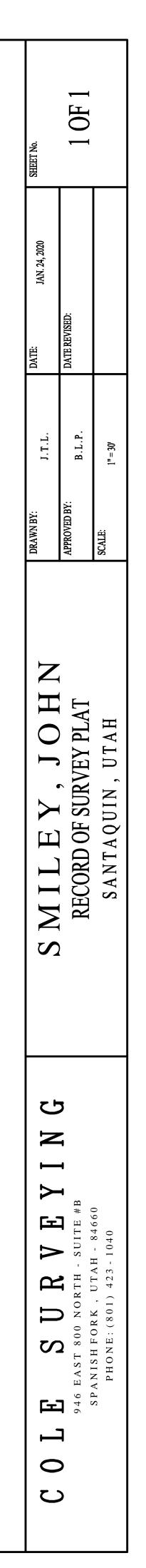
I, BARRY L. PRETTYMAN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 166406 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

BARRY L. PRETTYMAN DATE

NARRATIVE

BASIS OF BEARING IS UTAH COORDINATE BEARINGS, CENTRAL ZONE (SOUTH 87°07'54" WEST ALONG THE SECTION LINE BETWEEN THE NORTH 1/4 CORNER AND THE NORTHWEST CORNER OF SECTION 12, T10S, R1E, SLB&M). PURPOSE OF THE SURVEY IS TO COMPARE DEEDED PROPERTY AGAINST EXISTING PROPERTY IN ACTUAL POSESSION AND PREPARE A SURVEYED BOUNDARY DESCRIPTION.





LANDSCAPE PLAN SPECIFICATIONS PART 1 - GENERAL c. Reinforced fiber - Specifically produced for compatibility with aggressive alkaline environment of Portland cement-based composites. 1.1 SUMMARY d. Only potable water for mixing. A. This section includes landscape procedures for the Project including all labor, materials, and installation necessary, but not limited to, the following: PART III - EXECUTION 1. Soil Amendments 3.1 GRADING 2. Fine Grading A. Topsoil Preparation: Grade planting areas according to the grading plan. Eliminate uneven areas and low spots. Provide for proper grading and drainage. 3. Cultivation B. Topsoil Placement: Slope surfaced away from building at two (2) percent slope with no 4. Landscape Edging pockets of standing water. Establish finish grades of one (1) inches for planters below grade 5. Turf Planting of adjacent paved surfaced. Provide neat, smooth, and uniform finish grades. Remove surplus sub-soil and topsoil from the site. 6. Furnish and Installing Plant C. Compaction: compaction under hard surface areas (asphalt paths and concrete surfaces) 7. Maintenance shall be ninety-five (95) percent. Compaction under planting areas shall be between 8. Mowing eighty-five (85) and ninety (90) percent. 9. Weeding 3.2 TURF GRADING 1.2 SITE CONDITIONS A. The surface on which the sod is to be laid shall be firm and free from footprints, depressions, or undulations of any kind. The surface shall be free of all materials larger than 1/2" in A. Examination: Before submitting a Bid, each Contractor shall carefully examine the Contract Documents; shall visit the site of the Work; shall fully inform themselves as to all existing diameter conditions and limitations; and shall include in the Bid the cost of all items required by the B. The finish grade of the topsoil adjacent to all sidewalks, mow-strips, etc. prior to the laying of Contract Documents are at a variance with the applicable laws, building codes, rules, sod, shall be set such that the crown of the grass shall be at the same level as the adjacent regulations, or contain obvious erroneous or uncoordinated information, the Contractor shall concrete or hard surface. No exceptions. promptly notify the Project Representative and the necessary changes shall be accomplished 3.3 PLANTING OPERATIONS by Addendum A. Review the exact locations of all trees and shrubs with the Project Representative for B. Protection: Contractor to conduct the Work in such a manner to protect all existing approval prior to the digging of any holes. Prepare all holes according to the details on the underground utilities or structures. Contractor to repair or replace any damaged utility or drawings. structure using identical materials to match existing at no expense to the Owner. B. Water plants immediately upon arrival at the site. Maintain in moist condition until planted. C. Irrigation System: Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational. C. Before planting, locate all underground utilities prior to digging. Do not place plants on or near utility lines. 1.3 PERMITS A. Blue Stake/ Dig Line: When digging is required, "Blue Stake" or "Dig Line" the work site and D. The tree planting hole should be the same depth as the root ball, and three times the diameter of the root ball. identify the approximate location of all known underground utilities or structures. E. Trees must be placed on undisturbed soil at the bottom of the planting hole. 1.4 PLANT DELIVERY, QUALITY, AND AVAILABILITY F. The tree hole depth shall be determined so that the tree may be set slightly high of finish A. Unauthorized substitutions will not be accepted. If proof is submitted that specific plants or grade, 1" to 2" above the base of the trunk flare, using the top of the root ball as a guide. plant sizes are unobtainable, written substitution requests will be considered for the nearest equivalent plant or size. All substitution requests must be made in writing and preferably G. Plant immediately after removal of container for container plants. before the bid due date. H. Set tree on soil and remove all burlap, wire baskets, twine, wrappings, etc. before beginning 1.5 FINAL INSPECTION and backfilling operations. Do not use planting stock if the ball is cracked or broken before or during planting operation. A. All plants will be inspected at the time of Final Inspection prior to receiving a Landscape Substantial Completion for conformance to specified planting procedures, and for general . Apply vitamin B-1 root stimulator at the rate of one (1) tablespoon per gallon. appearance and vitality. Any plant not approved by the Project Representative will be J. Upon completion of backfilling operation, thoroughly water tree to completely settle the soil rejected and replaced immediately. and fill any voids that may have occurred. Use a watering hose, not the area irrigation 1.6 LANDSCAPE SUBSTANTIAL COMPLETION system. If additional prepared topsoil mixture needs to be added. It should be a courser mix A. A Substantial Completion Certificate will only be issued by the Project Representative for as required to establish finish grade as indicated on the drawings. "landscape and irrigation" in their entirety. Substantial Completion will not be proportioned K. The amount of pruning shall be limited to the minimum necessary to remove dead or injured to be designated areas of a project. twigs and branches. All cuts, scars, and bruises shall be properly treated according to the 1.7 MAINTENANCE direction of the Project Representative. Proper pruning techniques shall be used. Do not leave stubs and do not cut the leader branch. Improper pruning shall be cause for rejection A. Plant Material: The Contractor is responsible to maintain all planted materials in a healthy of the plant material. and growing condition for 30 days after receiving a Landscape Substantial Completion at which time the Guarantee period commences. This maintenance is to include mowing, L. Prepare a watering circle of 2' diameter around the trunk. For conifers, extend the watering weeding, cultivating, fertilizing, monitoring water schedules, controlling insects and diseases, well to the drip line of the tree canopy. Place mulch around the planted trees. re-guying and staking, and all other operations of care necessary for the promotion of root 3.4 TURF - SOD LAYING growth and plant life so that all plants are in a condition satisfactory at the end of the A. Top Soil Amendments: Prior to laying sod, commercial fertilizer shall be applied and guarantee period. The Contractor shall be held responsible for failure to monitor watering incorporated into the upper four (4) inches of the topsoil at a rate of four pounds of nitrogen operations and shall replace any and all plant material that is lost due to improper per one thousand (1,000) square feet. Adjust fertilization mixture and rate of application as application of water. needed to meet recommendations given by topsoil analysis. Include other amendments as 1.8 GUARANTEE required A. Guarantee: A guarantee period of one year shall begin from end of maintenance period and B. Fertilization: Three weeks after sod placement fertilize the turf at a rate of ½ pound of final acceptance for trees, shrubs, and ground covers. All plants shall grow and be healthy for nitrogen per 1000 square feet. Use fertilizer specified above. Adjust fertilization mixture and the guarantee period and trees shall live and grow in acceptable upright position. Any plant rates to meet recommendations given by topsoil analysis. not alive, in poor health, or in poor condition at the end of the guarantee period will be replaced immediately. Any plant will only need to be replaced once during the guarantee C. Sod Availability and Condition: The Contractor shall satisfy himself as to the existing period. Contractor to provide documentation showing where each plant to be replaced is conditions prior to any construction. The Contractor shall be fully responsible for furnishing located. Any outside factors, such as vandalism or lack of maintenance on the part of the and lay all sod required on the plans. He shall furnish new sod as specified above and lay it so Owner, shall not be part of the guarantee as too completely satisfy the intent and meaning of the plans and specification at no extra cost to the owner. In the case of plans and specification at no extra cost to the owner. In the PART II - PRODUCTS case of any discrepancy in the amount of sod to be removed or amount to be used, it shall be 2.1 LANDSCAPE MATERIALS the Contractor's responsibility to report such to the Project Representative prior to commencing the work. A. Tree Staking: All trees shall be staked for one year warranty period. All trees not plumb shall be replaced. Staked trees shall use vinyl tree ties and tree stakes two (2) inch by two (2) by D. Sod Laying: The surface upon which the new sod to be laid will be prepared as specified eight (8) foot common pine stakes used as shown on the details. above. Areas where sod is to be laid shall be cut trimmed, or shaped to receive full width sod (minimum twelve (12) inches). No partial strip or pieces will be accepted. B. Tree Wrap: Tree wrap is not to be used. E. Sod shall be tamped lightly as each piece is set to insure that good contact is made between C. Mulch: See Plans. All planter beds to receive a minimum 4" layer for trees, shrubs, and edges and also the ground. Sod laid on any sloped areas shall be anchored with wooden perennials and 1" for groundcovers. dowels or other materials which are accepted by the grass sod industry. D. Weed Barrier: DeWitt 5 oz. weed barrier fabric. Manufactured by DeWitt Company, F. Apply water directly after laying sod. Rainfall is not acceptable. dewittcompany.com or approved equal. G. Watering of the sod shall be the complete responsibility of the Contractor by whatever E. Tree, Shrub, and Grass Backfill Mixture; Backfill mixture to be 50% native soil and 50% means necessary to establish the sod in an acceptable manner to the end of the Maintenance topsoil, thoroughly mixed together prior to placement. period. If an irrigation system is in place on the site, but for whatever reason, water is not F. Topsoil: Required for turf areas, planter beds and Backfill Mixture. Acceptable topsoil shall available in the system. It is the responsibility of the Contractor to water the sod by whatever meet the following standards: means, until the sod is accepted by the Project Representative. a. PH: 5.5-7.5 H. Protection of the newly laid sod shall be the complete responsibility of the Contractor. The Contractor shall provide acceptable visual barriers, to include barricades set appropriate b. EC (electrical conductivity): < 2.0 mmhos per centimeter distances with strings or tapes between barriers, as an indication of new work. The c. SAR (sodium absorption ration): < 3.0</p> Contractor is to restore any damaged areas caused by others (including vehicular traffic), erosion, etc, until such time as the lawn is accepted by the Owner. d. % OM (percent organic matter): >1% e. Texture (particle size per USDA soil classification): Sand <70%; Clay < 30%; Silt < 70%, I. All sod that has not been laid within 24 hours shall be deemed unacceptable and will be Stone fragments (gravel or any soil particle greater than two (2) mm in size) < 5% by removed from the site. volume. 3.5 WEED BARRIER G. Turf Sod: All sod shall be 18 month old as specified on plans (or approved equal) that has A. Cut a slit or x at each plant location no larger than necessary to install plant. been cut fresh the morning of installation. Only sod that has been grown on a commercial B. Overlap rows of fabric min. 6" sod farm shall be used. Only use sod from a single source. C. Stable fabric edges and overlaps to ground. H. Landscape Edging: Headers and Edging six (6) inches by four (4) inches extruded concrete curb made up of the following materials: END OF SECTION a. Washed mortar sand free of organic material. b. Portland Cement (see concrete spec. below for type)

					25 mph 40' x 40'
IS	SUE DATE	PROJECT NUMBER	PLAN INFORMATION		PROJECT INFORMATION
0	7-27-2020	UT20039			ORCH
NO.	REVISION	DATE	BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC		
1	XXXX	XX-XX-XX	T-800-662-4111		
2			www.bluestakes.org	N	12
3					
4			0' 15' 30' 60'	120'	
5				120	
6					
-			GRAPHIC SCALE: 1" = 30'		

CHARD HILLS TOWNHOMES 120 EAST AND HIGHLAND DR SANTAQUIN, UTAH

Client / Engineer:

Developer / Property Owner:

DEVELOPER / PROPERTY OWNER / CLIENT

ORCHARD HILLS TOWN 95 WEST 200 NORT SPANISH FORK, UT

Design Speed Triangle Leg Dimensions

TRASH ENCLOSURES AND OTHER ACCESSORY STRUCTURES SHALL HAVE A MINIMUM FIVE FOOT (5') WIDE PLANTING ARE ALONG THREE (3) SIDES AND A MINIMUM OF FOUR (4) SHRUBS PER LANDSCAPED SIDE. THESE PLANTING AREAS MAY OVERLAP REQUIRED LANDSCAPE YARDS.

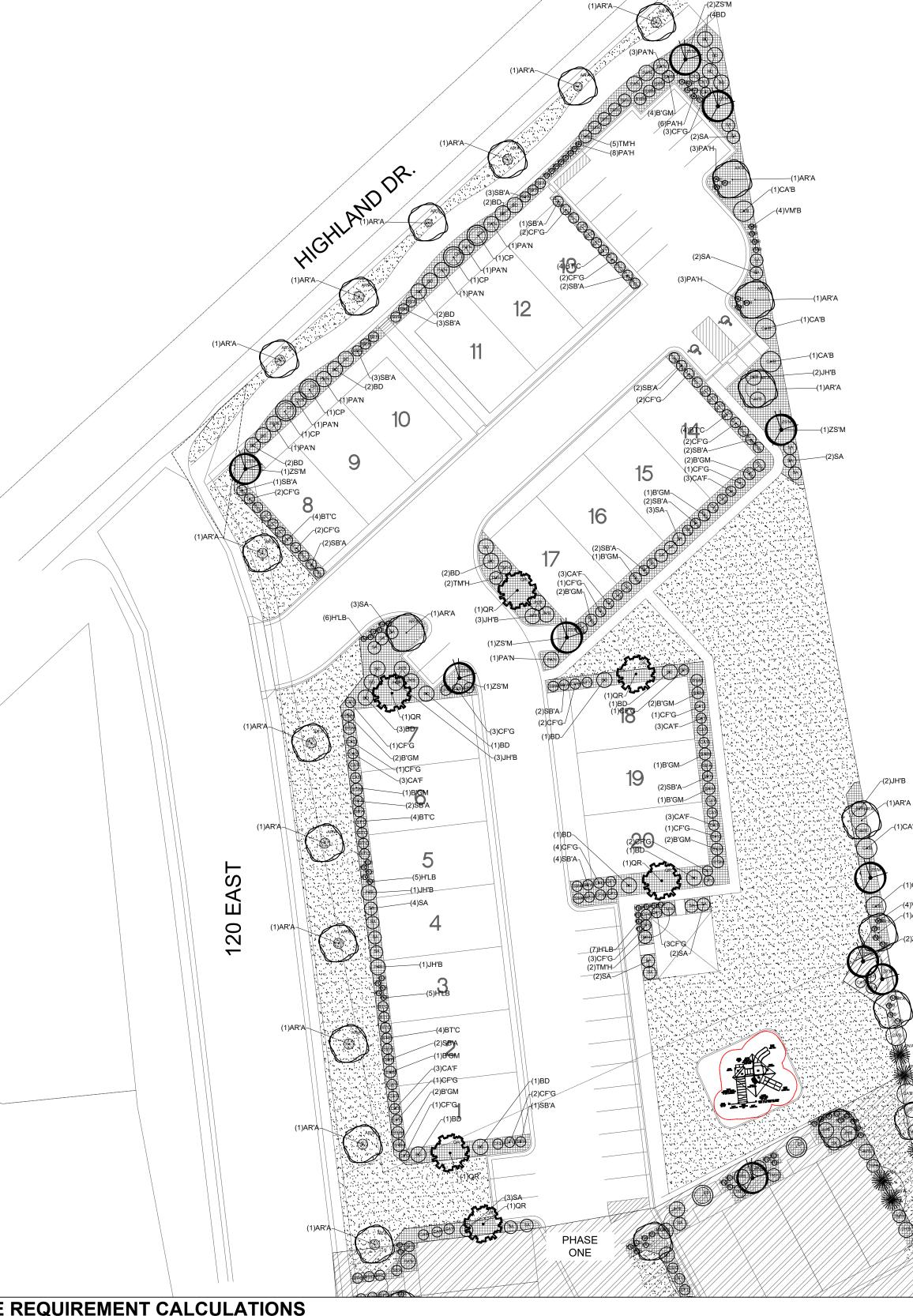
IN ADDITION TO THE ABOVE, GROUND COVER SHALL BE PROVIDED OVER ALL LANDSCAPE AREAS

THEREOF OF THE LANDSCAPE YARD AREA (AS MEASURED ALONG THE PROPERTY LINE). FRONT AND STREET SIDE LANDSCAPE AREAS SHALL INCLUDE A MINIMUM OF ONE TREE FOR EACH FORTY (40) LINEAR FEET OR FRACTION THEREOF OF THE LANDSCAPE YARD AREA (AS MEASURED ALONG THE PROPERTY LINE).

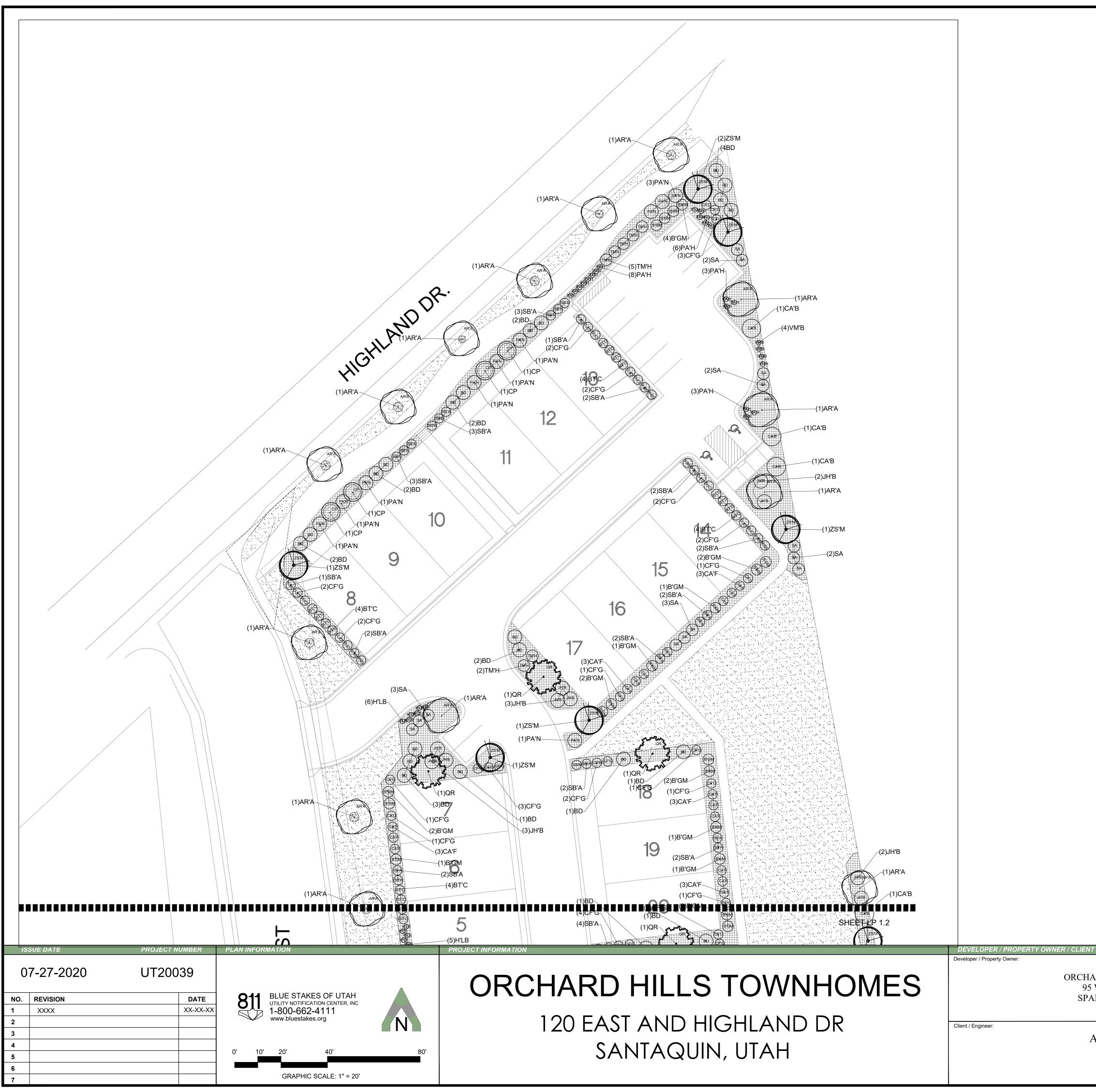
STREET FRONTAGE SIDE AND REAR LANDSCAPE YARDS ABUTTING A NONRESIDENTIAL DEVELOPMENT OR PROPERTY ZONED FOR SUCH SHALL INCLUDE A MINIMUM OF ONE TREE AND FOUR (4) SHRUBS FOR EACH FORTY (40) LINEAR FEET OR FRACTION

	STREET FRONTAGE		
	STREET TREES:	REQUIRED:	PROVII
	120 EAST (1/40 LN. FT.) 280 FT.	7	7
	HIGHLAND DR. (1/40 LN. FT.) 240 FT.	6	e
	SIDE YARD PROPERTY LINES		
	EAST : (1/40 LN. FT.) 365 FT	9 TREES	9
REA		36 SHRUBS	3

SITE REQUIREMENT CALCULATIONS



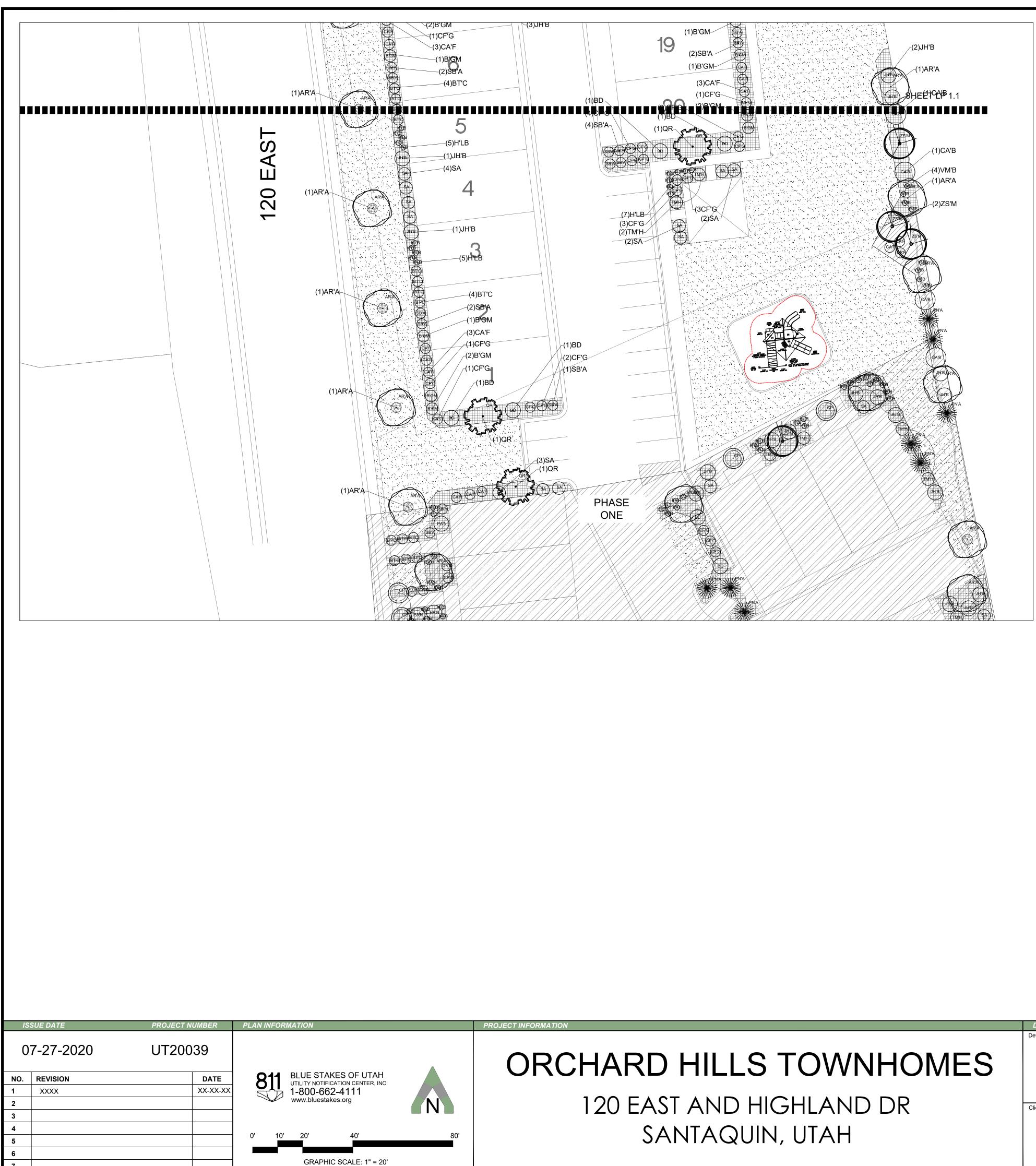
		LEGEND (TOTAL		NT)		
				QTY.	SIZE	HYDROZONE SPECIAL NOTES
	ZS'M	ZELKOVA SERRATA 'MUSASHINO'	MUSASHINO COLUMNA ZELKOVA	R 9	2" CAL.	LOW
	СР	PRUNUS X CERASIFERA	CHERRY PLUM	4	2" CAL.	MODERATE
	AR'A	ACER RUBRUM 'ARMSTRONG"	ARMSTRONG RED MAPLE	19	2" CAL.	LOW
	QR	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH C	DAK 6	2" CAL.	LOW
	SHRU	B LEGEND				
	SYMBOL B'GM	BOTANICAL NAME BUXUS X 'GREEN MOUNTAIN'	COMMON NAME GREEN MOUNTAIN	QTY. 22	SIZE 5 GAL.	HYDROZONE SPECIAL NOTES MODERATE
	BGW	BUAUS & GREEN MOUNTAIN	BOXWOOD	22	5 GAL.	MODERATE
	BT'C	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY DWA JAPANESE BARBERRY	RF 20	1 GAL.	LOW
	JH'B	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	12	1 GAL	LOW
	CA'B	CORNUS ALBA 'BAILHALO'	IVORY HALO DOGWOOI	D 5	5 GAL	MODERATE
	BD	BUDDLEJA DAVIDII	BUTTERFLY BUSH	24	5 GAL	HIGH
	PA'N	PICEA ABIES 'NIDIFORMIS'	NEST NORWAY SPRUC	E 10	5 GAL	HIGH
	SB'A	SPIREA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	36	1 GAL	LOW
	TM'D	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YE	W 9	5 GAL	MODERATE
	SA	SYMPHORICARPUS ALBUS	COMMON SNOWBERRY		5 GAL	HIGH
	CF'G	CARAGANA FRUTEX 'GLOBOSA'	GLOBE PEASHRUB	40	5 GAL	MODERATE
	GRAS SYMBOL	SES LEGEND	COMMON NAME	QTY.	SIZE	HYDROZONE SPECIAL NOTES
	CA'F	CALAMAGROSTIS A. 'FOERSTER'	FOERSTER FEATHER	21	1 GAL	HIGH
	DAIL		GRASS		4.0.41	
	PA'H	PENNISETUM APOLCUROIDES 'HAMELN'	HAMELN DWARF FOUN	TAIN 20	1 GAL	HIGH
	PFRFI	NNIAL LEGEND				
	SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE SPECIAL NOTES
	H'LB	HEMEROCALLIS X 'LITTLE BUSINESS'	LITTLE BUSINESS DAYL	.ILY 23	1 GAL	HIGH
	VM'B	VINCA MINOR 'BOWLES'	COMMON PERIWINKLE	8	1 GAL	HIGH
	SITE N SYMBOL	IATERIALS	QUANTITY		SDECI	AL NOTES
		3/4" OQUIRRH GRAVEL	10,162 SQ.FT. (94.1	I CU.YD)		ED WHERE SPECIFIED
		(DeWitt 5 OZ. WEED BARRIER FAB	RIC TO BE INSTALLED IN	I ALL PLANTI	ER AREAS)
		LAWN (SOD) AREA	20,834 SQ.FT.		DR(OUGHT TOLERANT VARIETY
		BROWN BARK MULCH	155 SQ. FT.			D IN TREE RINGS
НВ						
AR'A	LANDS	SCAPE GENERAL	NOTES			
1)CA'B		RESPONSIBILITIES AND LIABILITIE E PLANS ARE FOR BASIC DESIGN			STALLERI	
	THEIR I	NDIVIDUAL TRADE - SCOPE OF WO ATIONS. MANUFACTURER PRODU	ORK. OWNER ASSUMES N		ES FOR IN	ADEQUATE ENGINEERING
∕(1)CA'B	TIME EX	KECUTION. NSTALLER OF ALL LANDSCAPING				
_(4)VM'B		ICTIONAL AND CODE REQUIREMEN				
(1)AR'A		ND DRAINAGE REQUIREMENTS GRADING IS TO SLOPE AWAY FROM	A THE STRUCTURE PER	CODE.		
↓_(2)ZS'M		HED GRADE IS NOT PERMITTED B N. FOUNDATION LEFT EXPOSED A		EIGHBORING	PROPER	TIES
r		SCAPER TO MAINTAIN OR IMPROV ATOR'S FINAL GRADE ACTIVITIES I				
per A		S, BERMS, AND SWALES. Y SWALE, BERM, OR GRADE HAS I	BEEN DAMAGED OR IS IN	ICORRECT T	O ENSUR	E CORRECT WATER FLOW THE
	6. ROOF	CONTRACTOR IS RESPONSIBLE T FRUN-OFF DEVICES SHOULD BE II	NSTALLED TO COLLECT			
B) Mana	WHICH	ROM FOUNDATION ELEMENTS OR EVER DISTANCE IS GREATER.				
WA AND A		GROUND SURFACE WITHIN 10 FEE FURE WITH A MINIMUM FALL OF 6		SHOULD BI	E SLOPED	TO DRAIN AWAY FROM THE
(CAPE)	-					
	CITY CO	ANDSCAPING IS TO BE INSTALLED DES. COMPLIANCE TO ALL GOVERNING				,
	OF THE	LANDSCAPING INSTALLER.				
		CTIONS WHERE PURCHASED AND				
	LAND	SCAPE NOTES				
		SCAPE CONTRACTOR IS RESPON ALLATION PURPOSES. IF DISCREP		• -		
		IT MATERIAL TO BE INSTALLED PE				
		SCAPE CHANGES MUST BE SUBM ITING.	IITTED TO THE LANDSCA	PE ARCHITE	ECT FOR A	PPROVAL PRIOR TO
	-	LAWN AREAS TO BE SODDED WIT	H DROUGHT TOLERANT	VARIETY. FI	NE LEVEL	ALL AREAS PRIOR TO
/////>	4. SANE	DY LOAM TOPSOIL TO BE IMPLEME				
	BEDS	TOPSOIL PRIOR TO SPREADING) TO BE EXCAVATED AS NECESSA				
PROVIDED: 7		CH TO REACH FINISHED GRADE. ' EXTRUDED CONCRETE MOW CUI	R TO BE INSTALLED BE	τωέεν αι ι	ι ανννί ανιγ) PLANTER AREAS PER PLAN
6		TREES LOCATED IN LAWN MUST F				
-		tt 5 OZ. WEED BARRIER FABRIC TO ITING AREAS AS SHOWN ON PLAN		LANTER ARI	EAS EXCE	PT UNDER ANNUAL
9		K MULCH TO BE IMPLEMENTED AT ITER AREAS; ANNUAL PLANTING A				
37		MULCH MIN. 3" AWAY FROM BASI				
		TRACTOR TO PROVIDE NEW AUTO DSCAPE AREAS. ALL LAWN AREA T				
		NKLER HEADS. ALL PLANTER ARE JECT. SEE IRRIGATION PLAN.	AS NEED TO RECEIVE A	FULL DRIP S	SYSTEM TO	D EACH TREE AND SHRUB ON
IENT	LANDSCA	PE ARCHITECT / PLANNER	LI	CENSE STA	AMP	PM:
				55 NRDS	TAOR OF	JTA
CHARD HILLS TOWNHOMES				SON8 JERE	ORTH	DRAWN: KBA
95 WEST 200 NORTH #2 SPANISH FORK, UT 84660				812812 07/27	2020	CHECKED: TM
,				SIATE O	F UT AND	PLOT DATE: 7/27/2020
		ESIGN GR			CAP	E PLAN
ATLAS ENGINEERING	Land	Iscape Architecture / Planning &				RY PLANS NOT
95 WEST 200 NORTH #2		3450 N. TRIUMPH BLVD. SI				NSTRUCTION
SPANISH FORK, UT 801-655-0566		LEHI, UTAH 84043 (801) 9 www.pkjdesigngroup.			F	P-1.0



ORCHARD HILLS TOWNH 95 WEST 200 NORTH SPANISH FORK, UT 84

		ELEGEND (TOTAL					٦
					SIZE	HYDROZONE SPECIAL NOTES	
	ZS'M	ZELKOVA SERRATA 'MUSASHINO'		9	2" CAL.	LOW	
	СР	PRUNUS X CERASIFERA	CHERRY PLUM	4	2" CAL.	MODERATE	
	AR'A	ACER RUBRUM 'ARMSTRONG"		19	2" CAL.	LOW	
	QR	QUERCUS ROBUR 'FASTIGIATA'		6	2" CAL.	LOW	
				ΟΤΥ			
			GREEN MOUNTAIN				-
	BT'C	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY DWARF JAPANESE BARBERRY	20	1 GAL.	LOW	
	JH'B	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	12	1 GAL	LOW	
	CA'B	CORNUS ALBA 'BAILHALO'	IVORY HALO DOGWOOD	5	5 GAL	MODERATE	
	BD	BUDDLEJA DAVIDII	BUTTERFLY BUSH	24	5 GAL	HIGH	
	PA'N	PICEA ABIES 'NIDIFORMIS'	NEST NORWAY SPRUCE	10	5 GAL	HIGH	
	SB'A	SPIREA X BUMALDA 'ANTHONY WATERER'		36	1 GAL	LOW	
			-				
						-	
	GRA	SSES LEGEND					
			FOERSTER FEATHER				-
FYMALL DOMING MAME DYN MALE UNDERCOMES SECON NOTES IND. UTTLE DUBINESS UTTLE DUBINESS DYN SECON NOTES WIND VIRCE MARCHEOXLES COMMON PERVINICE SECON NOTES SECON NOTES SITE MATERIALS QUANTIY SHEEDAL HIGH SHEEDAL HIGH WIND VIRCE MARCHEOXLES QUANTIY SHEEDAL HIGH WIND SITE MATERIALS QUANTIY SHEEDAL HIGH WIND SOLVED QUANTIY SHEEDAL HIGH DOUBLED WHERE SECOND WIND SOLVED QUANTIY SHEEDAL HIGH SHEEDAL HIGH WIND SOLVED SATE MARCHINES QUANTIY SHEEDAL HIGH WIND SOLVED SATE MARCHINES SHEEDAL HIGH SHEEDAL HIGH WIND SOLVED SATE MARCHINES SHEEDAL HIGH SHEEDAL HIGH WIND SOLVED SHEEDAL HIGH SHEEDAL HIGH SHEEDAL HIGH WIND SOLVED SHEEDAL HIGH SHEEDAL HIGH SHEEDAL HIGH <tr< td=""><td></td><td></td><td>GRASS</td><td></td><td></td><td></td><td></td></tr<>			GRASS				
M15 HUB HUMPHODULES UTTLE RUSINESS DUVILY 23 164 HIGH W15 VIRGA MINOR BOWLES COMMON PERVENSE 3 164 HIGH STEE MATERIALS STEMATERIAL SECONL HOTES HIGH HIGH W15 STEMATERIAL DUMITY SECONL HOTES W15 UNITS 62, WED DAMEER MARINE TO BE INSTALLED IN ALL PLANTER AREAS LOCATED WITES SECONT OF THE FIRM W15 UNITS 62, WED DAMEER MARINE TO BE INSTALLED IN ALL PLANTER AREAS DESCONT THE FIRM W15 UNITS 600, ARCA 20.84 SO T. DESCONT THE FIRMS W15 UNITS 600, ARCA 20.84 SO T. DESCONT THE FIRMS W15 UNITS 600, ARCA 20.84 SO T. DESCONT THE FIRMS W15 UNITS 600, ARCA 20.84 SO T. DESCONT THE FIRMS W16 UNITS 600, ARCA 155 SO FT. LOCATED IN THEF RINGS W16 W164 MILCH 155 SO FT. LOCATED IN THEF RINGS W17 W17 W17 W17 M17 W17 W17 W17 W17 M17 W17 W17 W17 W17 M17 W17 W17 W17 W17 W17 W17 W17 W17 W17 W17 W17 <td></td> <td></td> <td></td> <td></td> <td>0.5</td> <td></td> <td></td>					0.5		
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MILE Market QUANTITY SPECIAL HOTES Image: An optimized and the state of the s		'LITTLE BUSINESS'					
WHOD SITE MATERIAL QUANTICY SPECIAL NOTES WHOD SITE MATERIAL QUANTICY LOCKED MATER WHOD SITE MATERIAL DURING MATER LOCKED WHED BREUFIED WHOD SITE MATERIAL DURING MATER LOCKED WHED BREUFIED WHO SITE MATERIAL DURING MATER DURING MATER WHO SITE MATERIAL DURING MATERIAL DURING MATERIAL WHO SITE MATERIAL	SITE	MATERIALS					
LAWN (SOD) AREA 20.831 SO.FT. DECUNDED TO LEGANT VARIETY DECOMPLEARE MULCH 155 SD.FT. LOCATED IN TREE FINGS NONSCAPE ARCHITECT (PLANNER USER) LOCATED IN TREE FINGS Image: Solar So		SITE MATERIAL		YD)			-
ROWN BARK MULCH 155 SQ FT LOCATED IN THEE RINGS				PLANTE			
ANDSCAPE ARCHITECT / PLANNER LANDSCAPE ARCHITECT / PLANNER LICENSE STAMP MININER STATUTE DESIGN GROUP DESIGN GROUP STATUTE 12 STATUTE 12 LICENSE STAMP MININER MINI	्राम् होने कोलेस्ट्रा सुम्बर होने कोलेस्ट्रा	LAWN (SOD) AREA	20,834 SQ.FT.		DRO *SE	DUGHT TOLERANT VARIETY E NOTE BELOW	1
G Image: Construction of the second seco			155 SQ. FT.		LOCATE	D IN TREE RINGS	
			155 SQ. FT.		LOCATE	D IN TREE RINGS	
		CAPE ARCHITECT / PLANNER				PM: JTA DRAWN: KBA CHECKED: TM PLOT DATE: 7/27/2020 E PLAN XTY PLANS NOT	

ATLAS ENGINE 95 WEST 200 NO SPANISH FORK 801-655-056



ORCHARD HILLS TOWN 95 WEST 200 NORTH SPANISH FORK, UT 84

DEVELOPER / PROPERTY OWNER / CLIENT

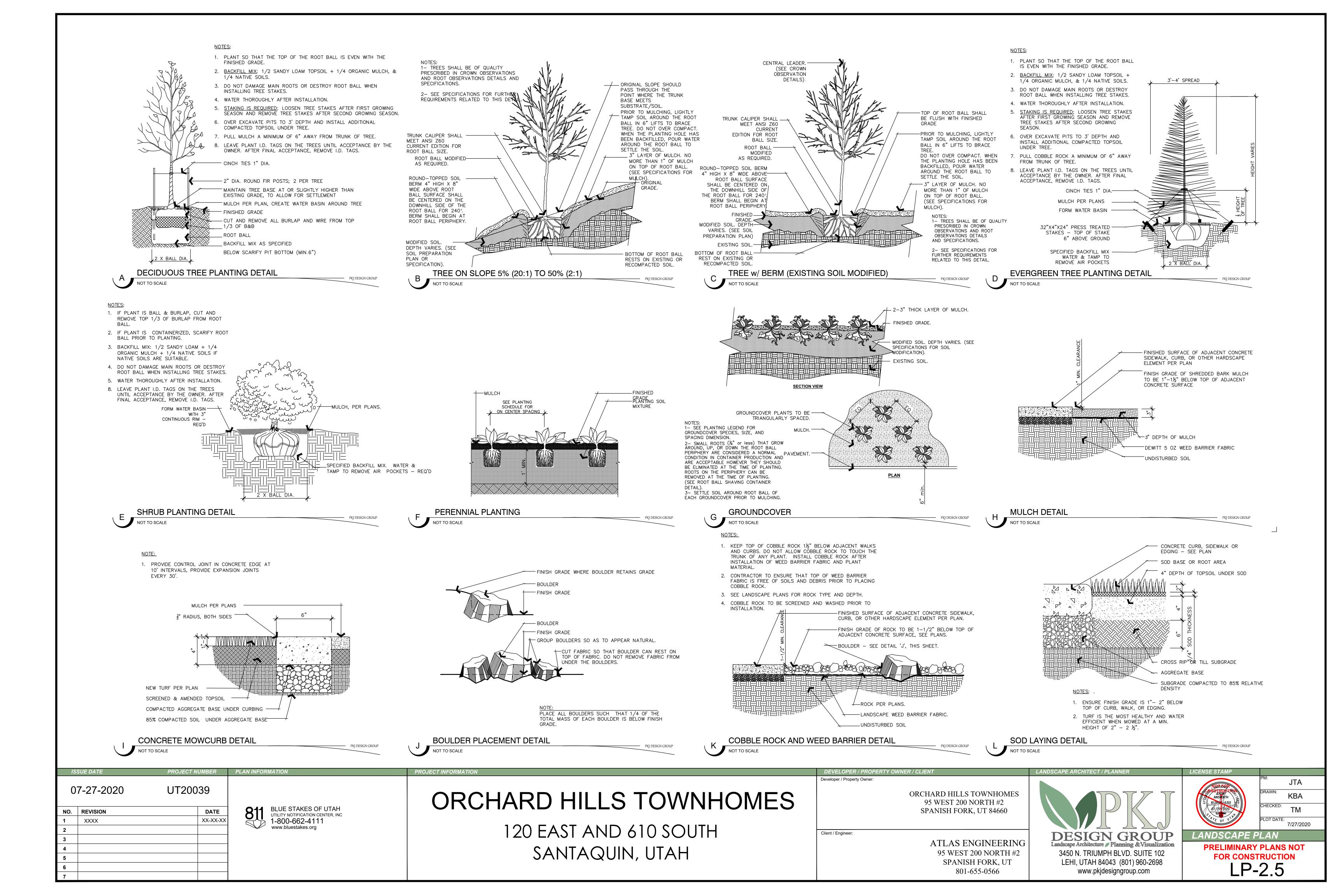
Client / Engineer:

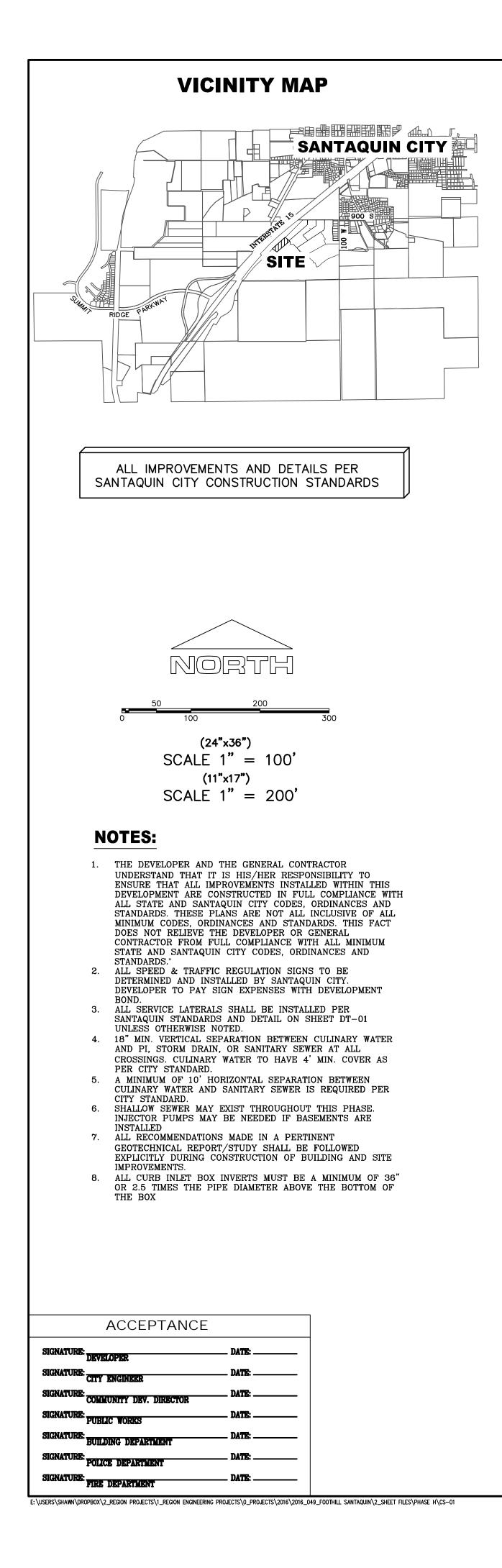
Developer / Property Owner:

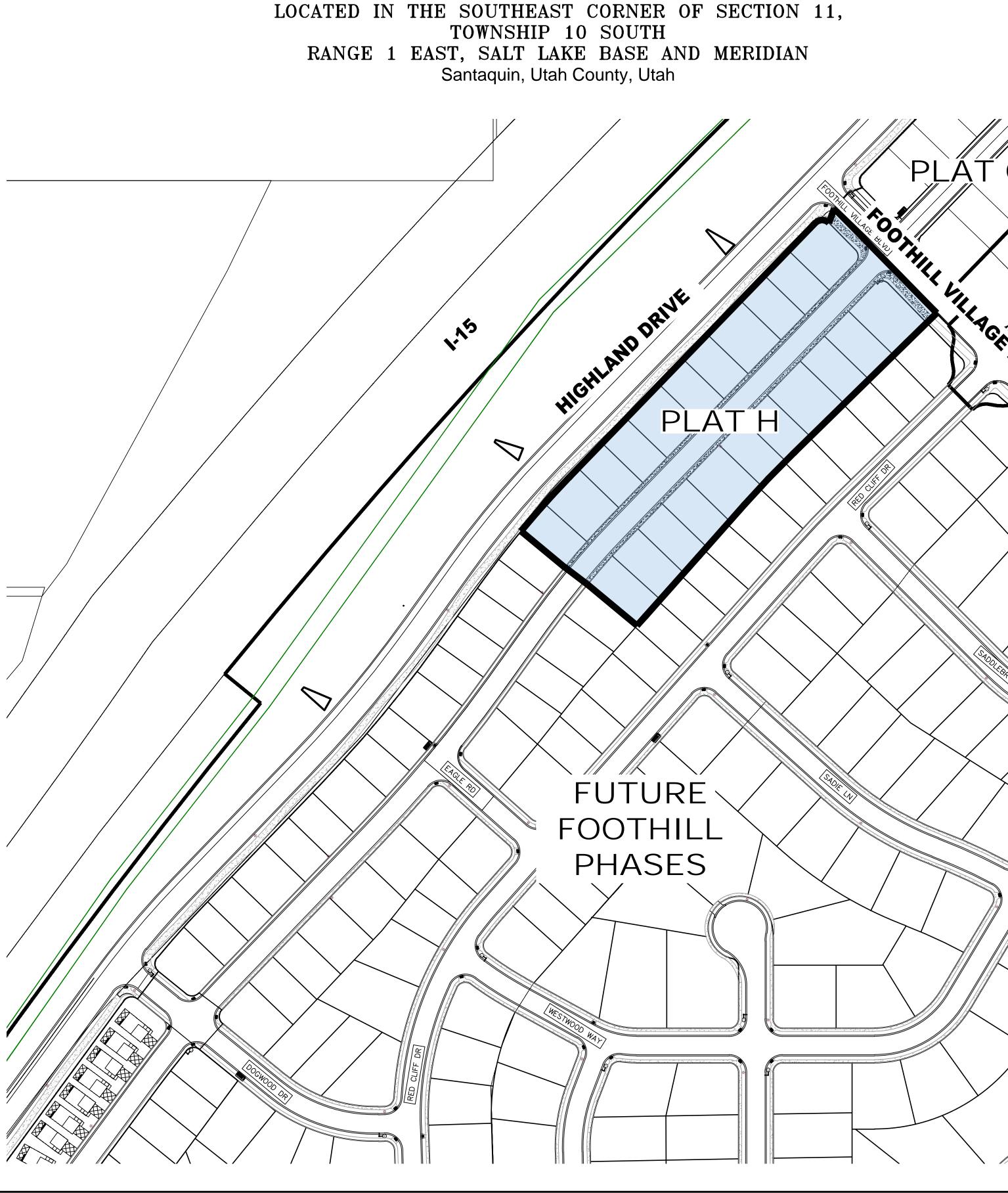
ATLAS ENGINE

	TREE	LEGEND (TOTAL	PLANT COUNT						
					SIZE	HYDROZONE SPECIAL NOTES			
	ZS'M	ZELKOVA SERRATA 'MUSASHINO'		9	2" CAL.	LOW			
	СР	PRUNUS X CERASIFERA	CHERRY PLUM	4	2" CAL.	MODERATE			
	AR'A	ACER RUBRUM 'ARMSTRONG"		19	2" CAL.	LOW			
	QR	QUERCUS ROBUR 'FASTIGIATA'		6	2" CAL.	LOW			
				ΟΤΥ	SIZE	HYDROZONE SPECIAL NOTES			
			GREEN MOUNTAIN				_		
	BT'C	BERBERIS THUNBERGII 'CRIMSON PYGMY'		20	1 GAL.	LOW			
	JH'B	JUNIPERUS HORIZONTALIS	BLUE CHIP JUNIPER	12	1 GAL	LOW			
	CA'B		IVORY HALO DOGWOOD	5	5 GAL	MODERATE			
	BD	BUDDLEJA DAVIDII	BUTTERFLY BUSH	24	5 GAL	HIGH			
	PA'N	PICEA ABIES 'NIDIFORMIS'	NEST NORWAY SPRUCE	10	5 GAL	HIGH			
	SB'A			36	1 GAL	LOW			
	TM'D	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	9	5 GAL	MODERATE			
			GLOBE PEASHRUB	40	5 GAL	MODERATE			
			COMMON NAME	QTY.	SIZE	HYDROZONE SPECIAL NOTES			
VAUNDA VICTOR MARK MALES PROVINCE MOUNT AND UTTO A VICTOR SPECIAL NOTE: THE UTTO DUBLY AND FOR COMMON PERVISION F. 1 (A.L. HIGH TTO DUBLY AND AND TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY AND AND TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY AND AND TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY AND AND TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY AND AND TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY AND AND TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY AND AND TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DUBLY TO DO FOR COMMON PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DUBLY TO DUBLY TO DUBLY TO DUBLY TO PERVISION F. 8 (A.L. HIGH TTO DUBLY TO DUBLY TO DUBLY TO DUBLY TO DUBLY TO DUBLY TO PERVISION F. 8 (A.L. HIGH TTO DUBLY TO D	CA'F	CALAMAGROSTIS A. 'FOERSTER'	FOERSTER FEATHER GRASS	21	1 GAL	HIGH			
BYNDIO BOTANICH MARE COMMON MARE O'Y BY BYDROZONE SECON NOTES HIB HERMORCALIES UTTLE HURMESS DAVIULY 2 1 GAL HIGH STEE MATERIALS 0 JANDY DOWNOR DERIVERSULE 0 1 GAL HIGH STEE MATERIALS 0 JANDY DOWNOR DERIVER 0 1 GAL HIGH STEE MATERIALS 0 JANDY DOWNOR DERIVER 0 JANDY DOWNOR SERVICE 0 JANDY DOWNOR DERIVER STEE MATERIALS 0 JANDY DOWNOR TROUGH FARING DE BUNNELLD NALE PARTER DERIVERT VERSION STEE MATERIALS 0 JANDY DOWNOR DOWNER SERVICE DERIVERT VERSION STEE MATERIALS 0 JANDY DOWNOR TROUGH FARING DE BUNNELLD NALE PARTER DERIVERT VERSION STEE MATERIAL 20 JANDY DOWNER FARING DE BUNNELLD NALE PARTER DERIVERT VERSION STEE MATERIAL 20 JANDY DOWNER FARING DE BUNNELLD NALE PARTER DERIVERT VERSION STEE MATERIAL 20 JANDY DOWNER SERVICE DERIVERT VERSION STEE MATERIAL 20 JANDY DOWNER DERIVERT VERSION STEE MAT	PA'H	PENNISETUM APOLCUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN	20	1 GAL	HIGH			
PLB PERCENCICULY Z3 1 GAL PEGH VARD VARDALMADR ROWLER COMMON PERVIONICE 8 1 GAL HIGH STEEMALERIALS STEEMALERIALS STEEMALERIAL STEEMALERIAL OURNITY STEEGAL MOTES OURNITY OURNITY <td colspan="2" ournity<="" td="" td<=""><td></td><td></td><td>COMMON NAME</td><td>QTY</td><td>SIZE</td><td>HYDROZONE SPECIAI NOTES</td><td></td></td>	<td></td> <td></td> <td>COMMON NAME</td> <td>QTY</td> <td>SIZE</td> <td>HYDROZONE SPECIAI NOTES</td> <td></td>				COMMON NAME	QTY	SIZE	HYDROZONE SPECIAI NOTES	
VIRIO VIRIOLA MINOR TROWTLES COMMON PERSIMUNE 8 1.G.L. HIGH		HEMEROCALLIS X					-		
SYNEROL SITE MATERIAL QUANTITY SPECIAL NOTES Image: State Material Advance 10, 488 pcr, 144, 101 voj LOARNE MATERIALED IN ALL PLANTER AREAS) Image: QUANTITY USAN SQL T, Image: QUANTITY SPECIAL NOTES Image: QUANTITY SPECIAL NOTES SPECIAL NOTES Im	VM'B	'LITTLE BUSINESS'		8					
Image: Sub-Optimes of Weater Product to be Installed IN ALL PLATTER AREAS) Index products of the Installed IN ALL PLATTER AREAS) Image: Sub-Optimes of Weater Product to be Installed IN ALL PLATTER AREAS) Index products of the Installed IN ALL PLATTER AREAS) Image: Sub-Optimes of Weater Product to be Installed IN ALL PLATTER AREAS) Index products of the Installed IN ALL PLATTER AREAS) Image: Sub-Optimes of Weater Areas Index products of the Installed IN ALL PLATTER AREAS) Image: Sub-Optimes of Weater Areas Index products of the Installed IN ALL PLATTER AREAS) Image: Sub-Optimes of Weater Areas Index products of the Installed IN ALL PLATTER AREAS) Image: Sub-Optimes of Weater Areas Installed IN ALL PLATTER AREAS) Image: Sub-Optimes of Weater Areas Installed IN ALL PLATTER AREAS) Image: Sub-Optimes of Weater Areas Installed IN ALL PLATTER AREAS) Image: Sub-Optimes of Weater Areas Installed IN ALL PLATTER AREAS) Image: Sub-Optimes of Weater Areas Installed IN ALL PLATTER AREAS) Image: Sub-Optimes of Weater Areas Installed IN ALL PLATTER AREAS Image: Sub-Optimes of Weater Areas Installed IN ALL PLATTER AREAS Image: Sub-Optimes of Weater Areas Installed IN ALL PLATTER AREAS Image: Sub-Optimes of Weater Areas Installed IN ALL PLATE AREAS Image: Sub-Optimes of Weater			QUANTITY		SPECI	AL NOTES	_		
SEE NOTE BILLOW SEE NOTE BILLOW DROWN BARK MULCH 155 SQ. FT. LOCATED IN TREE RINGS LOCATED IN TREE RINGS LOC		3/4" OQUIRRH GRAVEL	10,162 SQ.FT. (94.1 CU.)		LOCAT	ED WHERE SPECIFIED	_		
	un de la companya Maria de la companya Maria de la companya	LAWN (SOD) AREA	20,834 SQ.FT.		DR(*SF	OUGHT TOLERANT VARIETY			
DESSIGN GROUP Landscape Architecture / Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHL UTAH 84043 (801) 060 2608									
Image: Second state of the second s		BROWN BARK MULCH	155 SQ. FT.						
		BROWN BARK MULCH	155 SQ. FT.						
·	T	APE ARCHITECT / PLANNER				ED IN TREE RINGS			

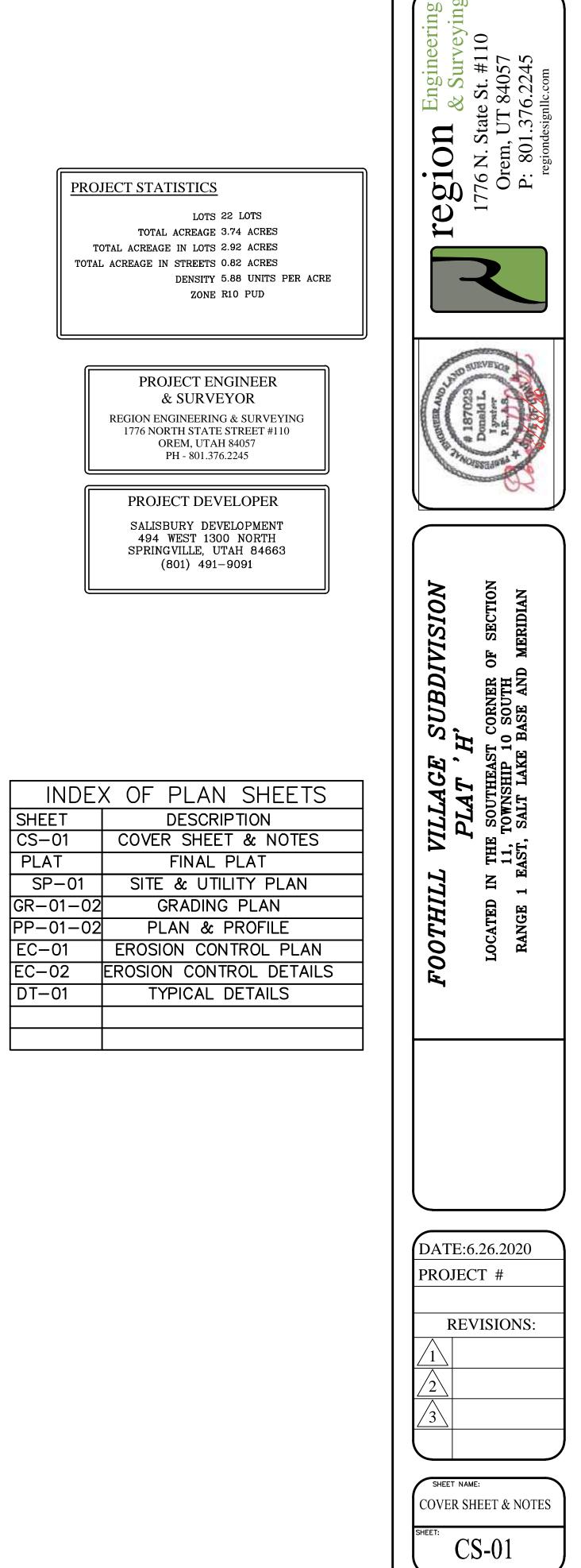
95 WEST 200 NO SPANISH FORK 801-655-056

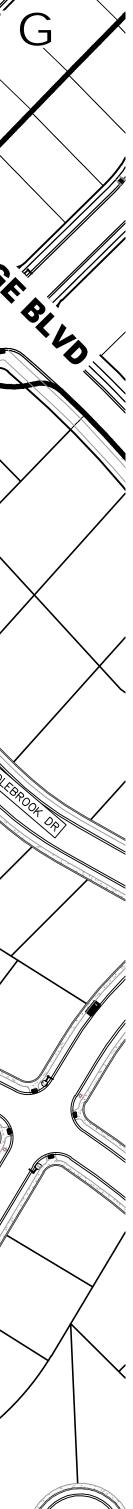


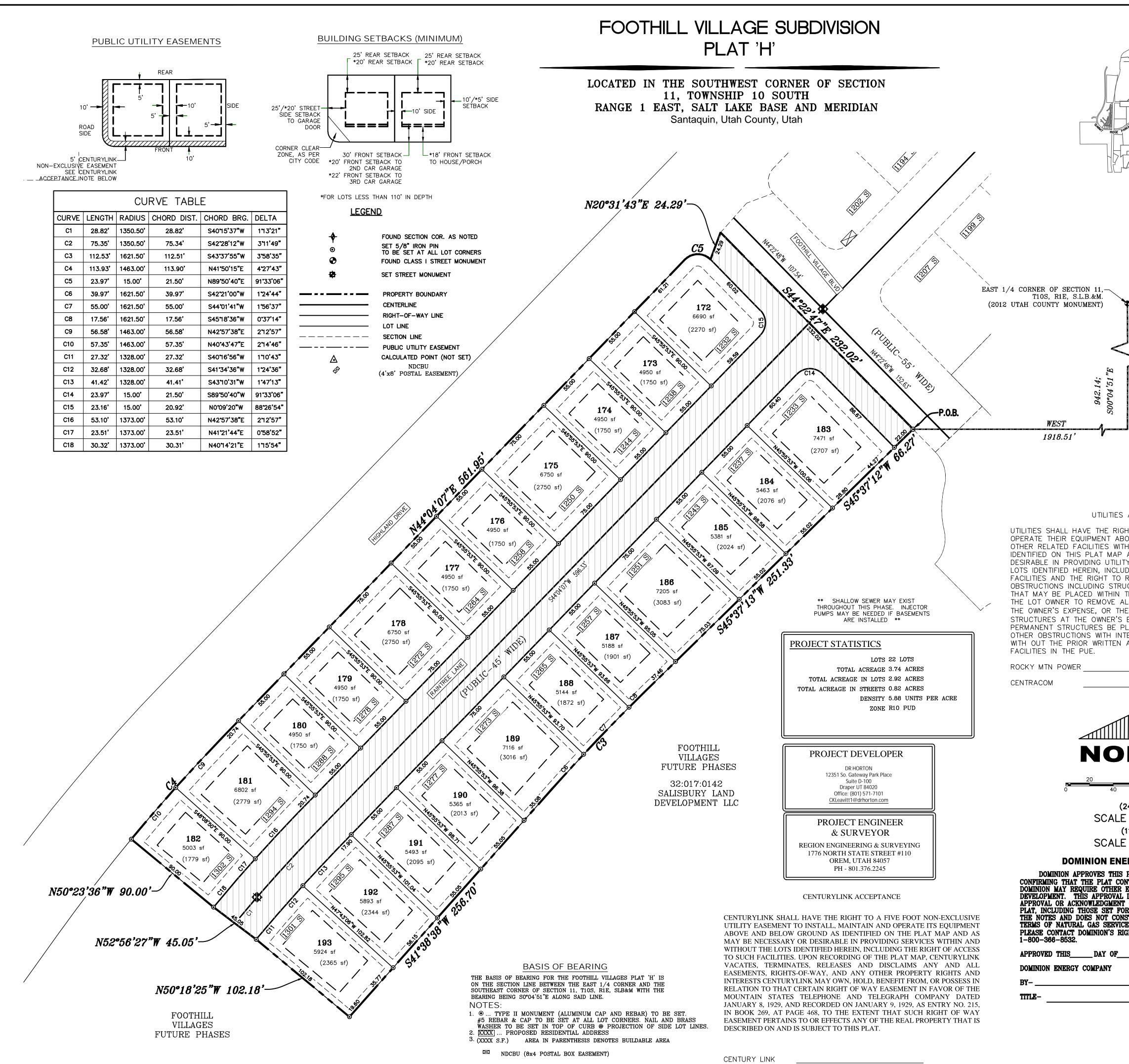




FOOTHILL VILLAGE SUBDIVISION PLAT 'H'







		Surveyor's Certi	ficate	
VICINITY MAP	I, ROBBIN J. MULLEN DO HERE CERTIFICATE NO. 368356 AS AUTHORITY OF THE OWNERS, DESCRIBED BELOW, AND HAVE THAT THE SAME HAS BEEN C THAT THIS IS TRUE AND CORF	PRESCRIBED UNDER THE LA I HAVE MADE A SURVEY OF SUBDIVIDED SAID TRACT C ORRECTLY SURVEYED AND S	WS OF THE STATE OF UTAI SAID TRACT OF LAND SHO F LAND INTO LOTS, STREET STAKED ON THE GROUND A	H. I FURTHER CERTIFY BY DWN ON THIS PLAT AND TS, AND EASEMENTS AND
	BEGINNING AT A POINT T WEST 1918.51 FEET FROM 1 EAST, SALT LAKE BASE THENCE, S 45° 37' 12" W	HAT IS S.0°04'51″E. AL 1 THE EAST ¼ CORNER E & MERIDIAN; V FOR A DISTANCE OF	ONG THE SECTION LINE OF SECTION 11, TOWN 66.27 FEET TO A POIN	SHIP 10 SOUTH, RANGE
	THENCE, S 45° 37' 13" W SAID CURVE TURNING TO OF 1621.50 FEET, AND W 112.51 FEET. THENCE, S 41° 38' 38" W	THE LEFT THROUGH A HOSE LONG CHORD BE. V FOR A DISTANCE OF	N ANGLE OF 03' 58' 3 ARS S 43' 37' 55" W 256.70 FEET TO A PO	5", HAVING A RADIUS FOR A DISTANCE OF INT ON A LINE.
	THENCE, N 50° 18' 25" V THENCE, N 52° 56' 27" V THENCE, N 50° 23' 36" V NON-TANGENTIAL CURVE, SAID CURVE TURNING TO	W FOR A DISTANCE OF W FOR A DISTANCE OF , THE RIGHT THROUGH ,	45.05 FEET TO A POIN 90.00 FEET TO THE B AN ANGLE OF 04° 27'	NT ON A LINE. EGINNING OF A 43", HAVING A RADIUS
	OF 1463.00 FEET, AND W 113.90 FEET. THENCE, N 44° 04' 07" E SAID CURVE TURNING TO OF 15.00 FEET, AND WHO FEET TO A POINT OF INT THENCE, N 20° 31' 43" E THENCE S 44° 22' 47" E	E FOR A DISTANCE OF THE RIGHT THROUGH A DSE LONG CHORD BEAR ERSECTION WITH A NOM FOR A DISTANCE OF	561.95 FEET TO THE E AN ANGLE OF 91° 33' S N 89° 50' 40" E FO N—TANGENTIAL LINE. 24.29 FEET TO A POIN	BEGINNING OF A CURVE, 06", HAVING A RADIUS R A DISTANCE OF 21.50 IT ON A LINE.
	CONTAINS: ±3.74 ACRES	AND 22 TOTAL LOTS		
	DATE		SUR (See Se	VEYOR al Below)
	KNOW ALL MEN BY THI	OWNERS D ESE PRESENTS THAT WE, A	EDICATION	
u,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	PROPERTY DESCRIBED IN THE THE SAME TO BE SUBDIVIDE THE STREETS AND OTHER P	HE SURVEYOR'S CERTIFICA ED INTO LOTS, BLOCKS, ST PUBLIC AREAS AS INDICATE WE HAVE HEREUNTO SET (, A.D. 20	TE HEREON AND SHOWN C REETS AND EASEMENTS A D HEREON FOR PERPETUA	N THIS MAP, HAVE CAUSED ND DO HEREBY DEDICATE AL USE OF THE PUBLIC.
S APPROVAL GHT TO INSTALL, MAINTAIN AND	STATE OF UTAH		ACKNOWLEDGEMEN	Т
BOVE AND BELOW GROUND AND ALL THIN THE PUBLIC UTILITY EASEMENTS AS MAY BE NECESSARY OR	COUNTY OF UTAH ON THIS	S.S. day of	, A.D. 20 PERS	ONALLY APPEARED BEFORE
TY SERVICES WITHIN AND WITHOUT THE UDING THE RIGHT OF ACCESS TO SUCH REQUIRE REMOVAL OF ANY CUCTURES, TREES AND VEGETATION		THE SIGNER OF THE 0	FOREGOING INSTRUMENT, F	WHO DULY ACKNOWLEDGED
THE PUE. THE UTILITY MAY REQUIRE ALL STRUCTURES WITHIN THE PUE AT HE UTILITY MAY REMOVE SUCH	THAT HE OR SHE EXECUTED MY COMMISSION EXPIRES			
S EXPENSE. AT NO TIME ANY PLACED WITHIN THE PUE OR ANY ITERFERES WITH THE USE OF THE PUE	NOTARY ADDRESS		A NOTARY PUBLIC (COMMISSIONED IN UTAH
APPROVAL OF THE UTILITIES WITH	NOTARI ADDRESS	ACCEPTANCE DV I		OF NUTARI
	THE County of utah, approve Streets; easements, and (S THIS SUBDIVISION AND	EGISLATIVE BODY OF HEREBY ACCEPTS THE DE	DICATION OF ALL
	PERPETUAL USE OF THE PU	JBLIC THIS	DAY OF	, A.D. 20
	APPROVED MAYOR OF SAN	JTAQUIN		
RTH				
80				
(24"×36") E 1" = 40'				
(11"x17") E 1" = 80'	ENGINE (See Seal	EER Below)	ATTESTCLERK (See	-RECORDER Seal Below)
ERGY ACCEPTANCE S PLAT SOLELY FOR THE PURPOSE OF				
DIAI SOLELI FOR THE PORPOSE OF ONTAINS PUBLIC UTILITY EASEMENTS. EASEMENTS IN ORDER TO SERVE THIS L DOES NOT CONSTITUTE ACCEPTANCE,				
T OF ANY TERMS CONTAINED IN THE ORTH IN THE OWNERS DEDICATION AND NSTITUTE A GUARANTEE OF PARTICULAR CE. FOR FURTHER INFORMATION	FOOTH		GE SUBDI	VISION
IGHT OF WAY DEPARTMENT AT		PLA1	- 'H'	
, 20		SCALE: 1"	= 40 FET	UTAH COUNTY, UTAH
	SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUTNY ENGINEER SEAL	COUNTY-RECORDER SEAL
	No. 368356 ROBBIN J. MULLEN			
SHEET 1 of 1	ATE OF UTAL			

NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

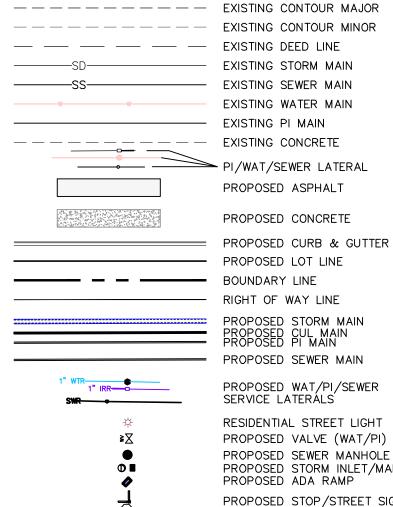
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTES:

- 1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS."
- 2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- 3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
- 4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
- 5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
- 6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED 7. ALL RECOMMENDATIONS MADE IN A PERTINENT
- GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
- 8. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX
 - SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
 - 2 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
 - ③ PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)

 - 4 PROVIDE 12" MINUS RIP-RAP AT END OF CURBING APPROX 10'
 - 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
 - 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
 - 7 STOP/STREET SIGN
 - 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
 - (9) ARTERIAL STREET LIGHT

<u>LEGEND</u>



PROPOSED ASPHALT

PROPOSED CONCRETE ---- PROPOSED LOT LINE - RIGHT OF WAY LINE PROPOSED STORM MAIN PROPOSED CUL MAIN PROPOSED PI MAIN PROPOSED SEWER MAIN

> PROPOSED WAT/PI/SEWER SERVICE LATERALS

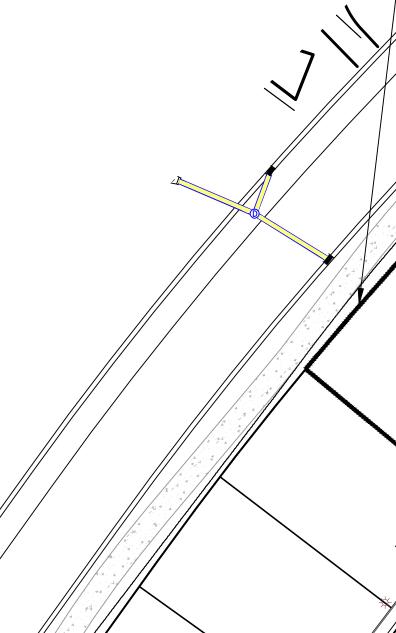
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RESIDENTIAL STREET LIGHT PROPOSED VALVE (WAT/PI) PROPOSED SEWER MANHOLE PROPOSED STORM INLET/MANHOLE PROPOSED ADA RAMP PROPOSED STOP/STREET SIGN PROPOSED FIRE HYDRANT

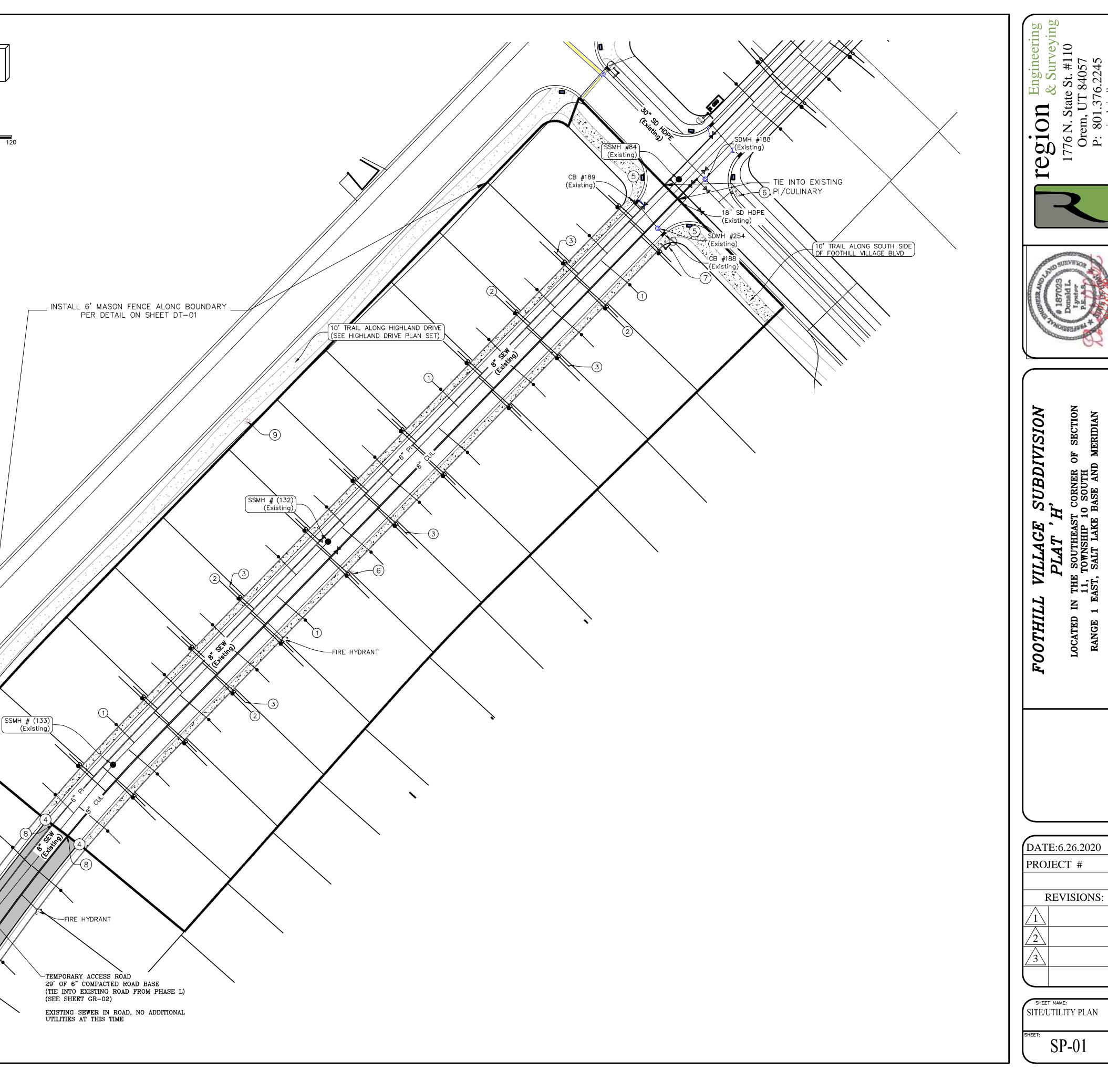
ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

NORTH

(24"x36") SCALE 1'' = 40'(11"x17") SCALE 1" = 80'



SSMH # (134) (Existina)



NOTES:

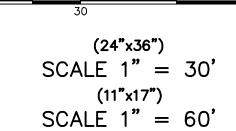
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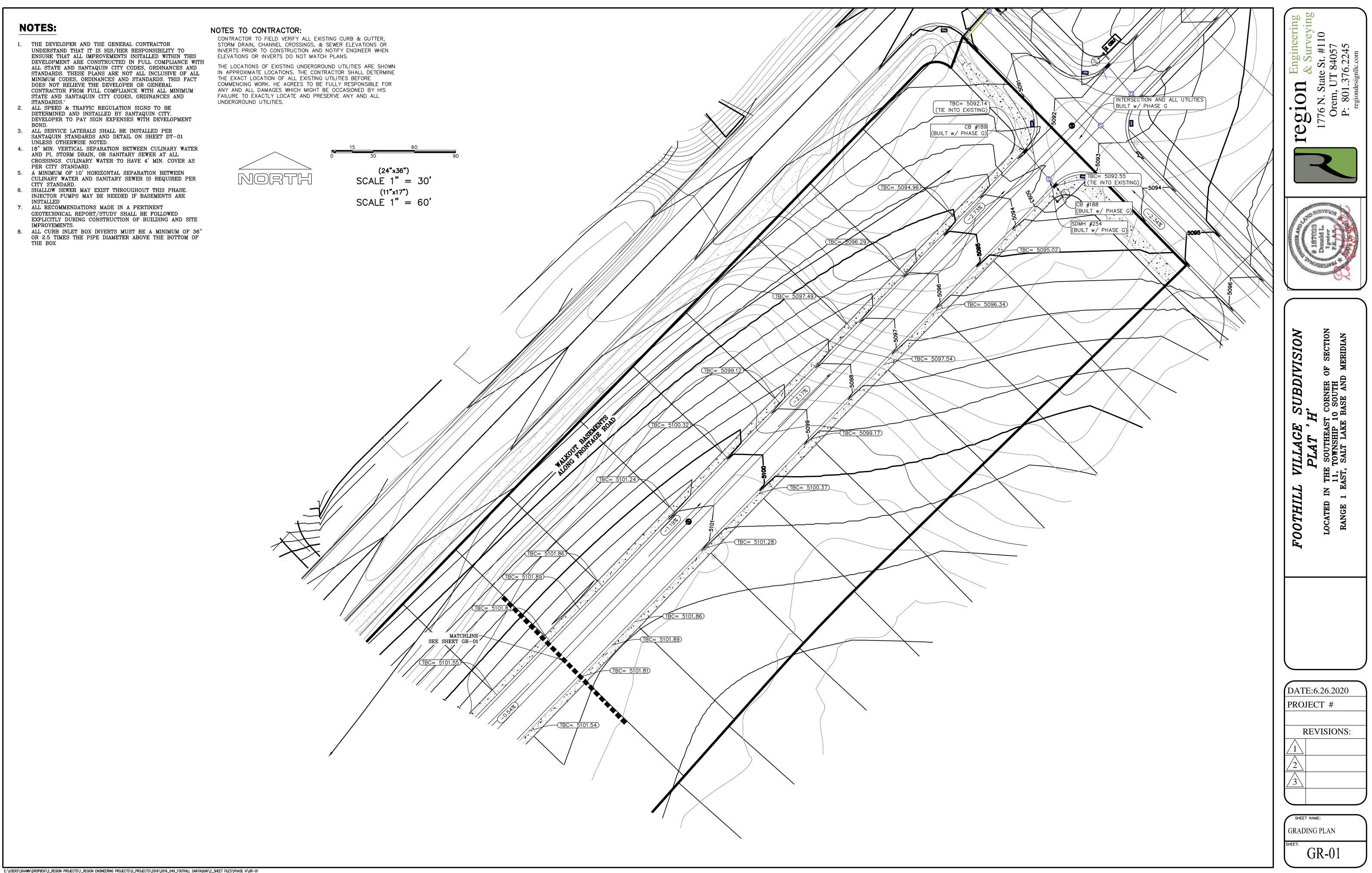
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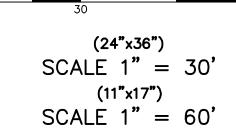
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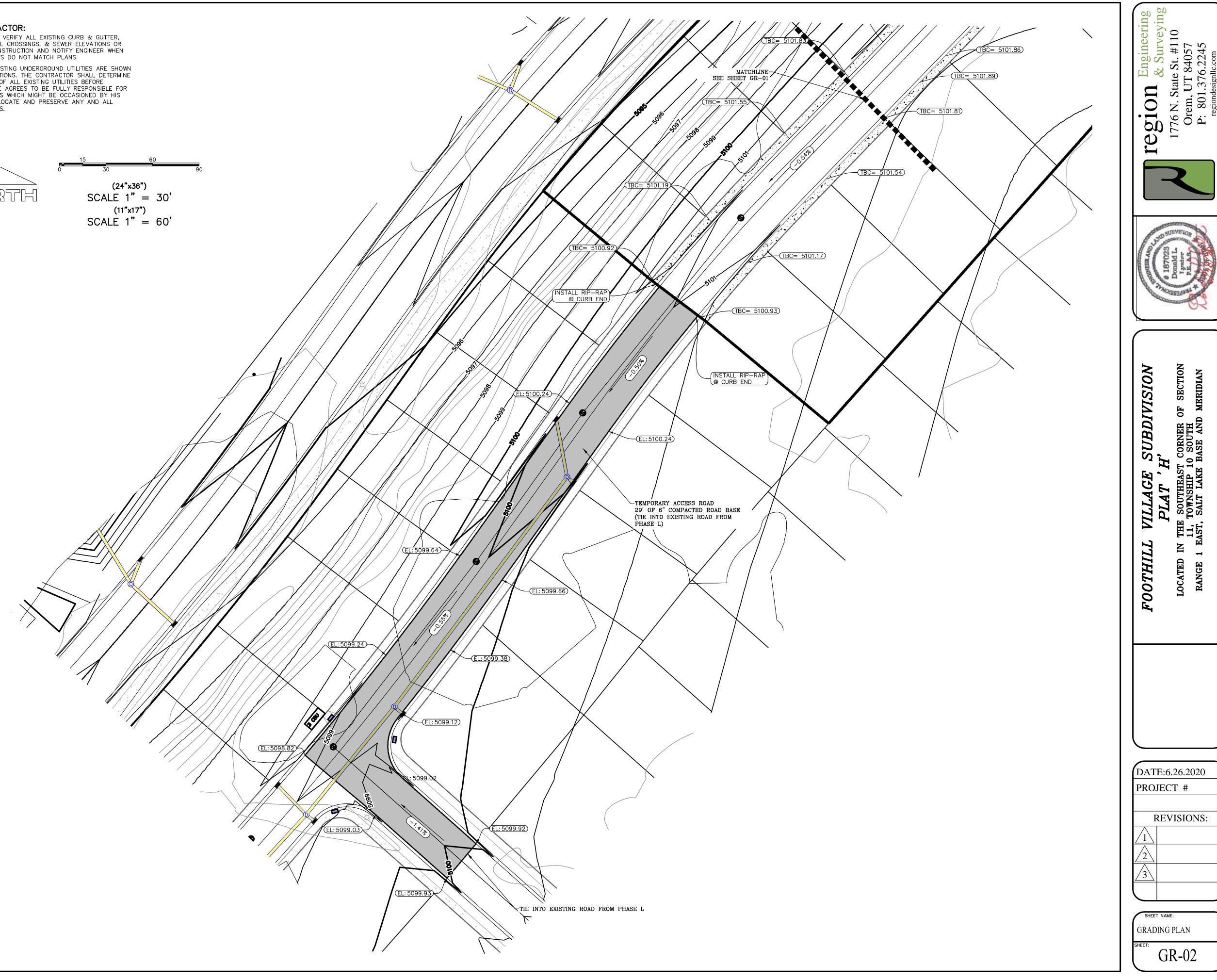
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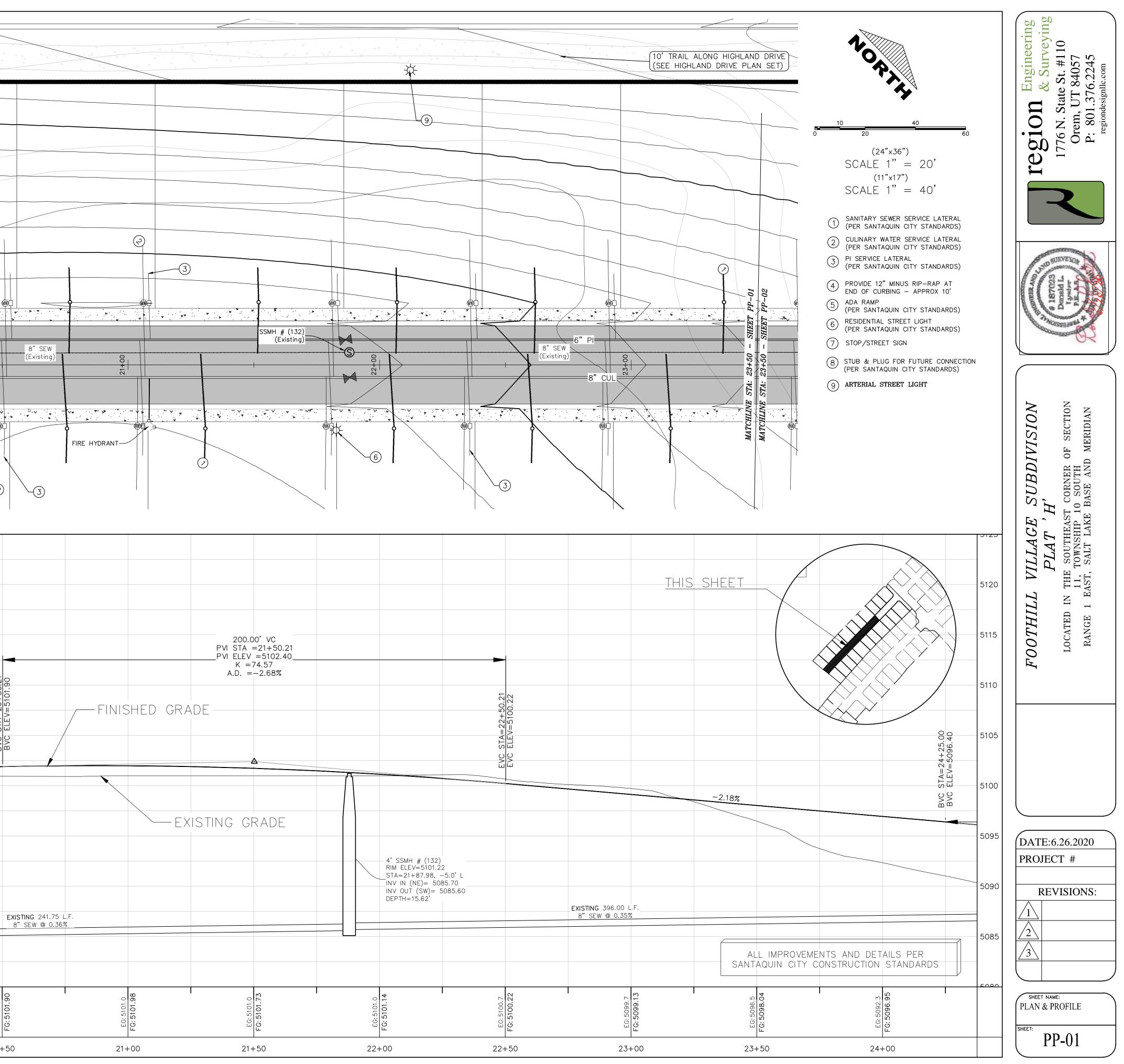
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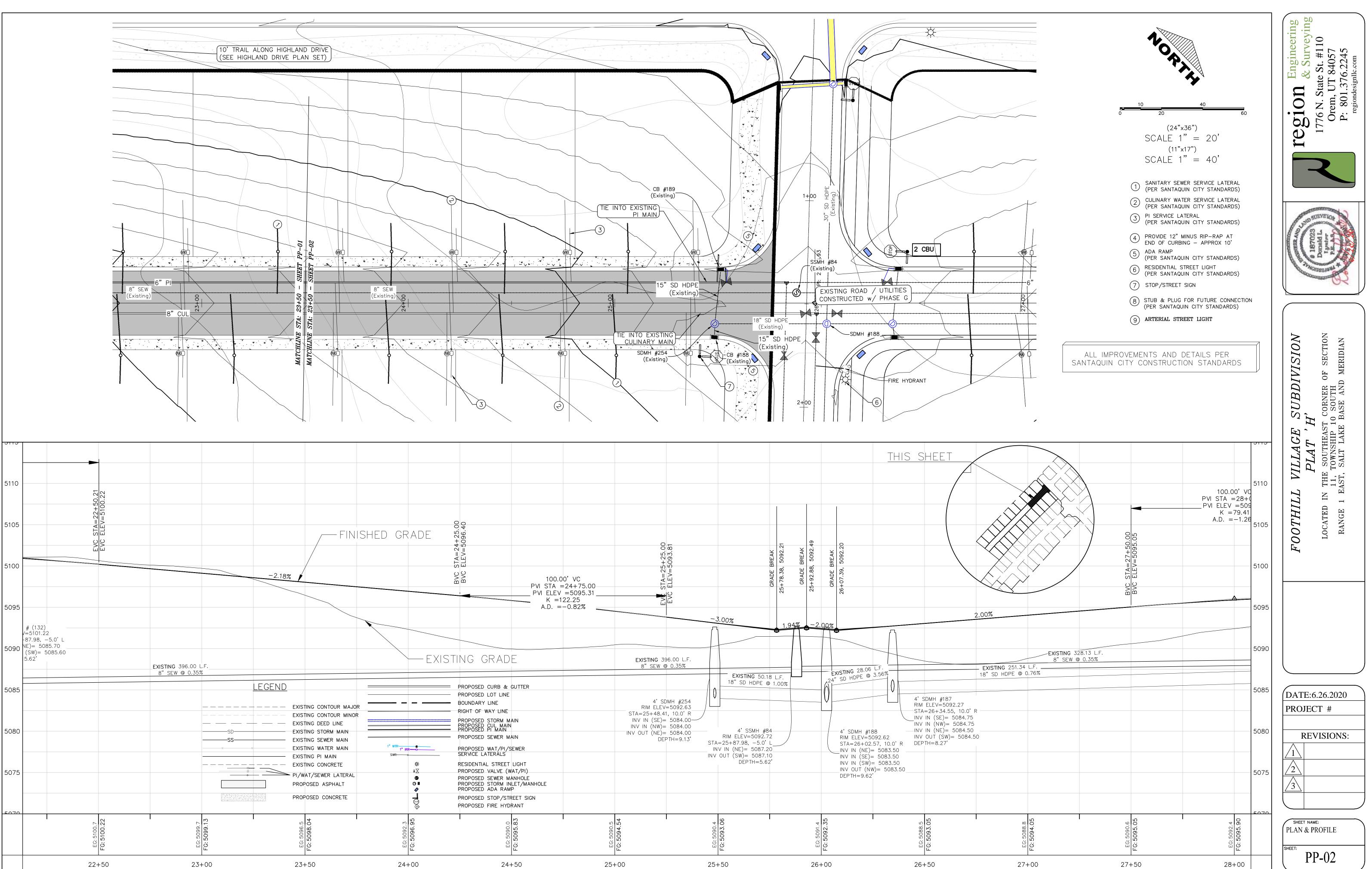




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5120		EXISTING DEED LINE EXISTING STORM MAIN		= PROPOSED STORM MAIN = PROPOSED CUL MAIN = PROPOSED PI MAIN	
	SS	EXISTING SEWER MAIN EXISTING WATER MAIN	1" WTR	PROPOSED SEWER MAIN PROPOSED WAT/PI/SEWER SERVICE LATERALS	
5115		EXISTING PI MAIN EXISTING CONCRETE		RESIDENTIAL STREET LIGHT PROPOSED VALVE (WAT/PI)	
		PI/WAT/SEWER LATERAL PROPOSED ASPHALT	© ©∎	PROPOSED SEWER MANHOLE PROPOSED STORM INLET/MANHOLE PROPOSED ADA RAMP	
5110		PROPOSED CONCRETE		PROPOSED STOP/STREET SIGN PROPOSED FIRE HYDRANT	<u>50.21</u>
					STA= 20+50.21
5105					
		0.50%			
5100					
5095					
		4' SSMH # (133)			
5090		RIM ELEV=5101.26 _ STA=19+42.37, -5.0' L _ INV IN (NE)= 5084.74			
		INV OUT (SW)= 5084.64 DEPTH=16.62'			
5085	EXISTING 157.68 L.F. 8" SEW @ 0.36%				
5000	- 0. - 90	.15	0.4	.65	
	EG: 5100.4 FG: 5100.90	EG: 5100.5 FG: 5101.15	EG: 5101.0 FG: 5101.40	EG: 5101.0 FG: 5101.65	EG: 5100.9
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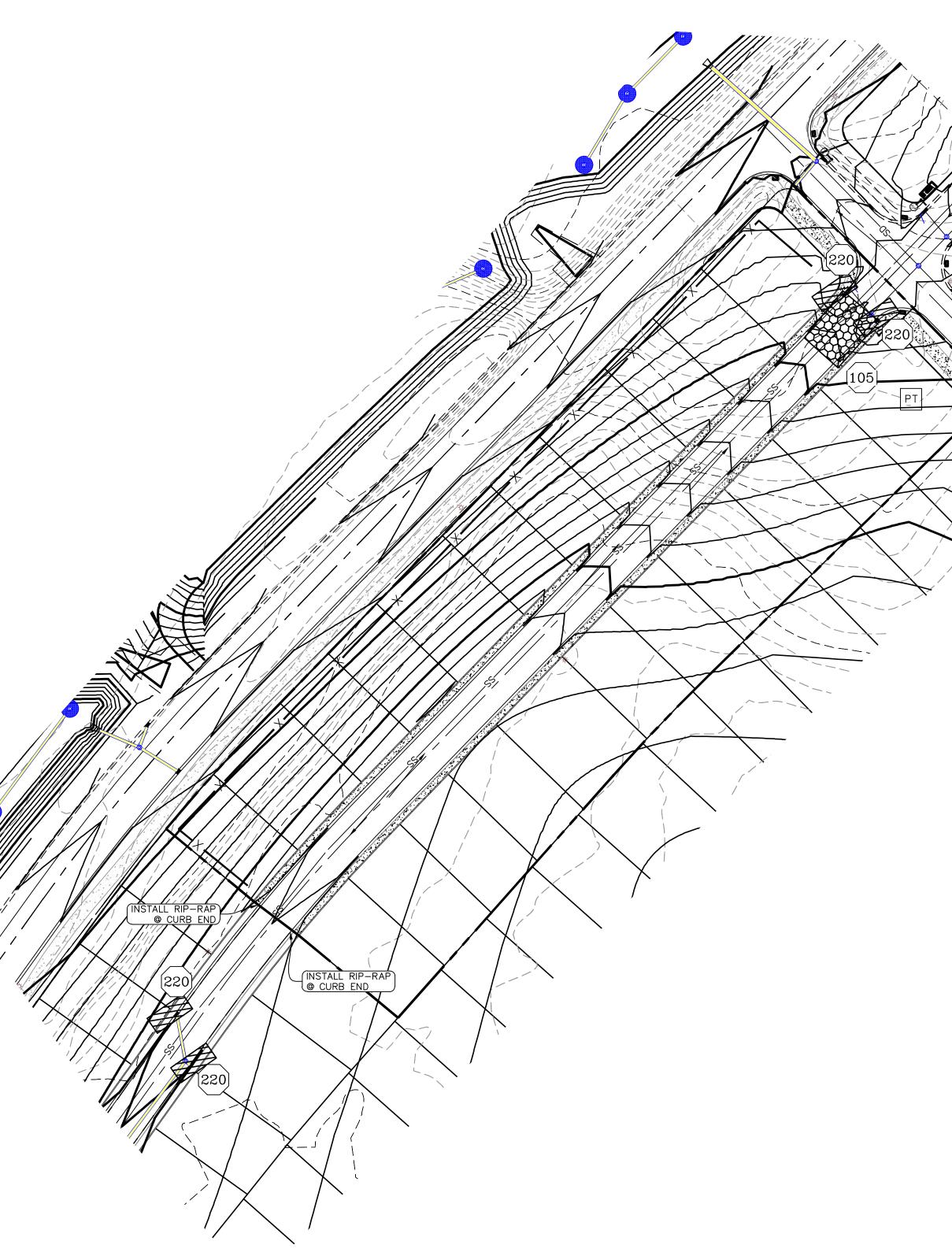




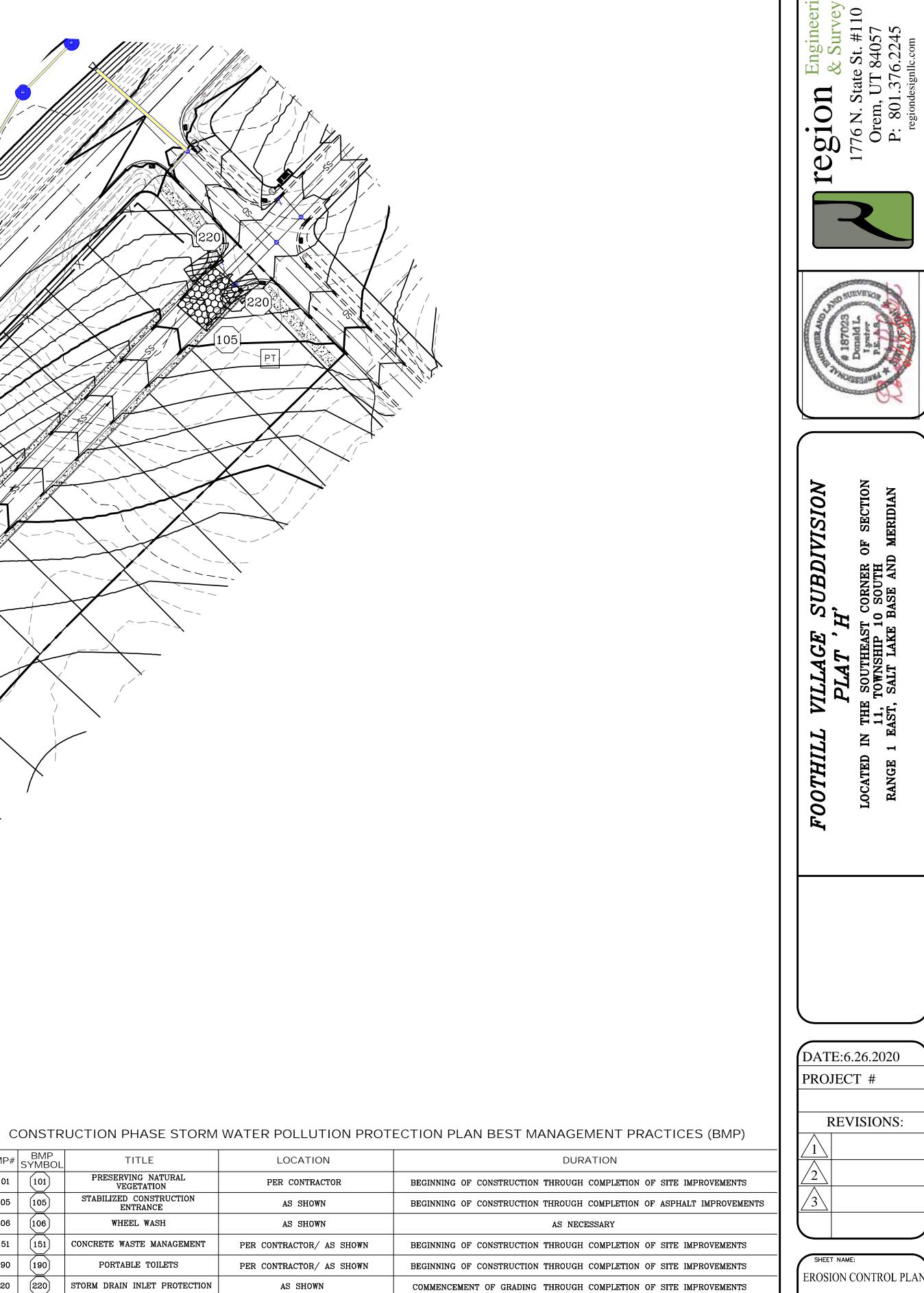
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	A.D. =-	0.82%						2
_					1.94%	-2.00%		
Γ	NG GRADE		EXISTING 396.00 8" SEW @ 0.3	5%			28.06 L.F.	
	PROPOSED CURB & GUTTER PROPOSED LOT LINE BOUNDARY LINE		4'SDMH a RIM ELEV=509	¥254	STING 50.18 L.F. SD HDPE © 1.00%	24" SD +	28.06 L.F. DPE @ 3.56% 4' SDMH #18 RIM ELEV=50	092.27
	RIGHT OF WAY LINE PROPOSED STORM MAIN PROPOSED CUL MAIN PROPOSED PI MAIN PROPOSED SEWER MAIN		STA=25+48.41, 10. INV IN (SE)= 508 INV IN (NW)= 508 INV OUT (NE)= 508 DEPTH=	0' R 4.00 4.00 4.00	SSMH #84	RIM	STA=26+34. INV IN (SE)= INV IN (NW)= INV IN (NW)= INV IN (NE)= INV IN (NE)= INV OUT (SW)= 26+02.57. 10.0' R	= 5084.75 = 5084.75 = 5084.50 V)= 5084.50
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	PROPOSED SEWER MANHOLE PROPOSED STORM INLET/MANHOLE PROPOSED ADA RAMP						n=9.02	
	PROPOSED STOP/STREET SIGN PROPOSED FIRE HYDRANT							
	EG: 5090.0 FG: 5095.83	EG: 5090.5 FG: 5094.54		EG: 5090.4 FG: 5093.06		EG: 5091.4 FG: 5092.35	EG: 5088.5 FG: 5093.05	-1
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WRITEN IN LONGHAND ARE UNACCEPTABLE. DEVELOPERS NAME (* Upprocess Bidd Latters) PROJECT NAME (* Upprocess Bidd Latters) Office Phone Contact ###################################		THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY. 4. THE SIGN SHALL BE A MINIMUM OF $48^{"} \times 48^{"}$ and the following information shall be
(* Uppercess Bod Letters) PERMIT NUMBER (* Bid Numbers) FOR PROJECT SITE CONCERNS CONTACT (6' Uppercess Bod Letters) Office Phone Contact ###-#### (* Bid Numbers) Cell Phone Contact ###-##### (* Bid Numbers) Cell Phone Contact ###-##### (* Bid Numbers) Cell Phone Contact ###-##### (* Bid Numbers) IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX		WRITTEN IN LONGHAND ARE UNACCEPTABLE. DEVELOPERS NAME
(24*x36*) SCALE 1" = 120' (2 * Boid Letters) (2 * Boid Letters) (2 * Boid Letters) (2 * Boid Letters) (2 * Boid Letters) (3 * Dependent of the sign Board Mut as Shown on the template ABOVE, and Must contrast With Lettering, typically Black text with White Background. (11*x17*) SCALE 1" = 120'		
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<pre> (4" Bold Numbers) Cell Phone Contact ###-#### (4" Bold Numbers) Cell Phone Contact ###-#### (4" Bold Numbers) Cell Phone Contact ###-#### (4" Bold Numbers) if NO RESPONSE PLEASE CONTACT CITY OFFICE AT xxx-xxxx xxx (3" Uppercase Bold Letters and 3" Bold Numbers) SCALE 1" = 60' (11"x17") SCALE 1" = 120' SCALE 1" = 12</pre>		
 30 120 60 180 (24"x36") SCALE 1" = 60' (11"x17") SCALE 1" = 120' IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT XXX-XXX-XXXX (3" Uppercase Bold Letters and 3" Bold Numbers) THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER OF IT MEETS THESE REQUIREMENTS 		(4" Bold Numbers) Cell Phone Contact ###-####
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(11"x17") SCALE 1" = 120' (11"x17")	· · ·	
	(11 " ×17")	FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER OF IT MEETS THESE

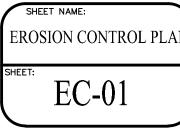


BMP#	BMP SYMBOL	TITLE	LOCATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN
C106	106	WHEEL WASH	AS SHOWN
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SH
C190	190	PORTABLE TOILETS	PER CONTRACTOR/ AS SH
C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN
C233	233	SILT FENCE	AS SHOWN
C233	240	SEDIMENT TRAP	AS SHOWN



COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS

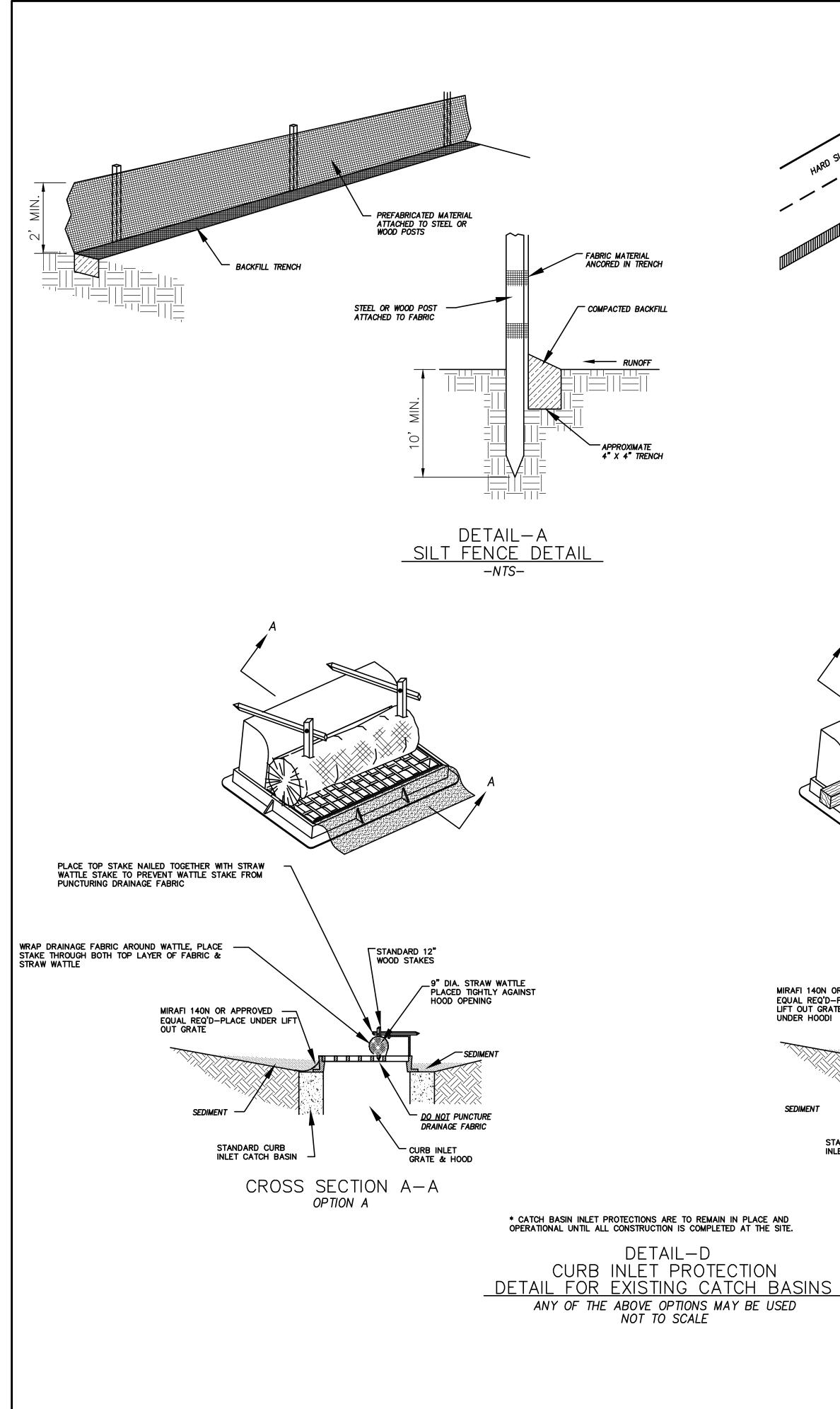
BEGINING OF CONSTRUCTION TO PLACEMENT OF ASPHALT



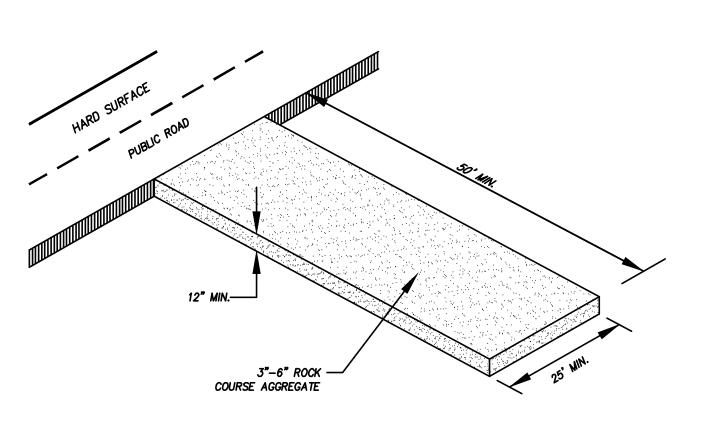
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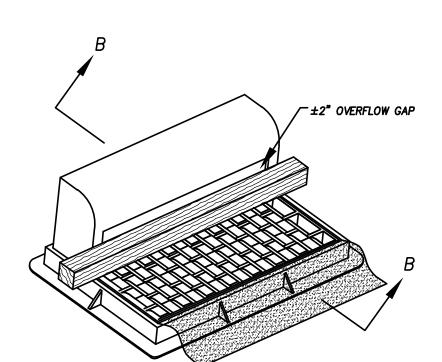
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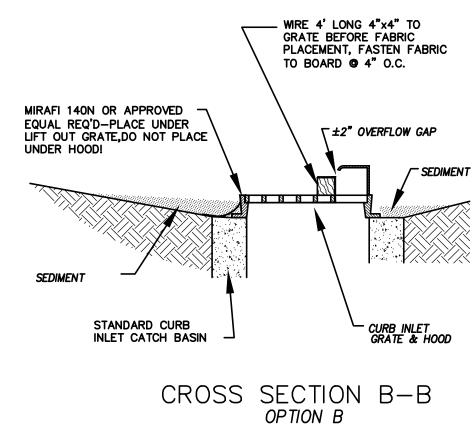


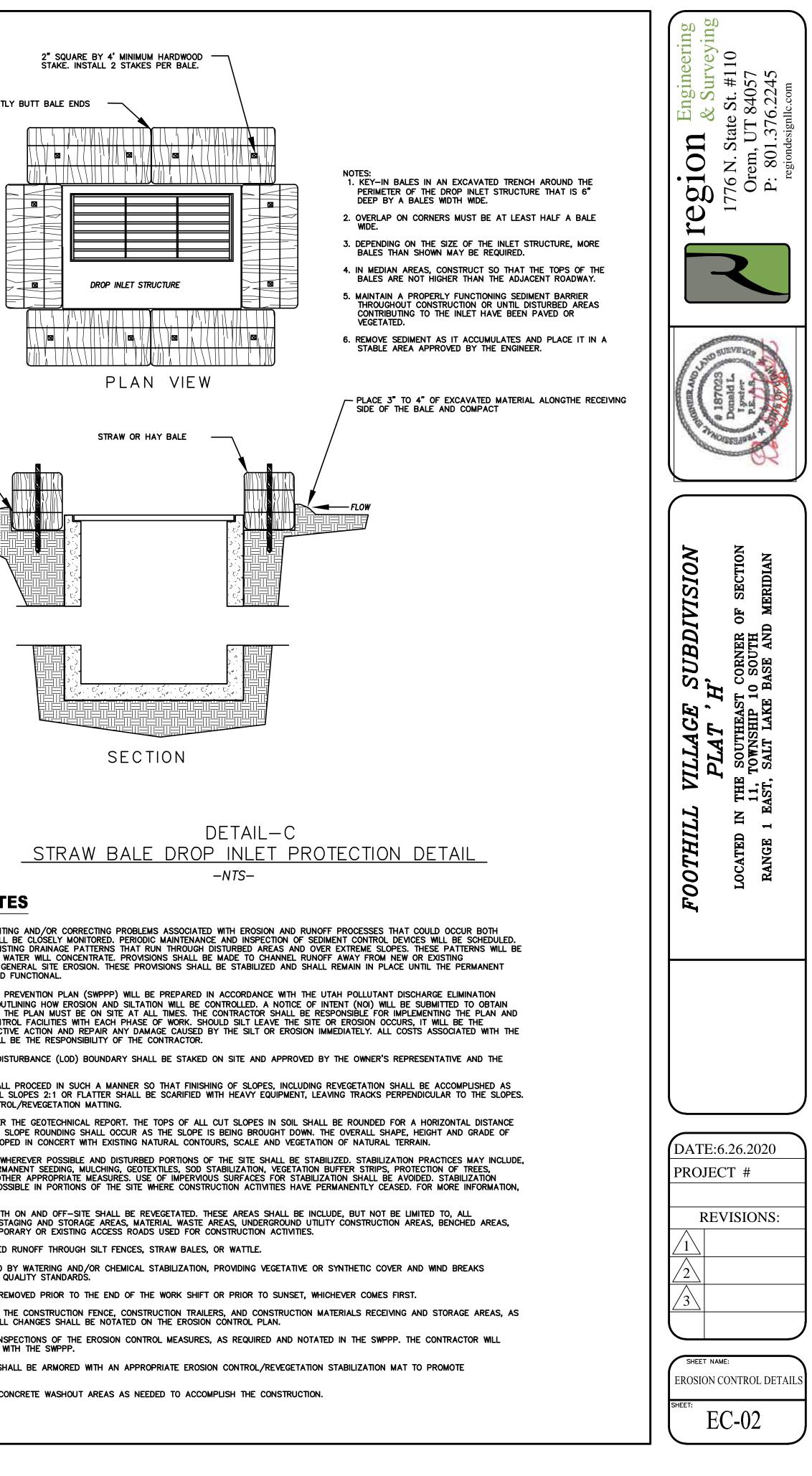
E: \USERS\SHAWN\DROPBOX\2_REGION PROJECTS\1_REGION ENGINEERING PROJECTS\0_PROJECTS\2016\2016_2049_F00THILL SANTAQUIN\2_SHEET FILES\PHASE H\EC-02

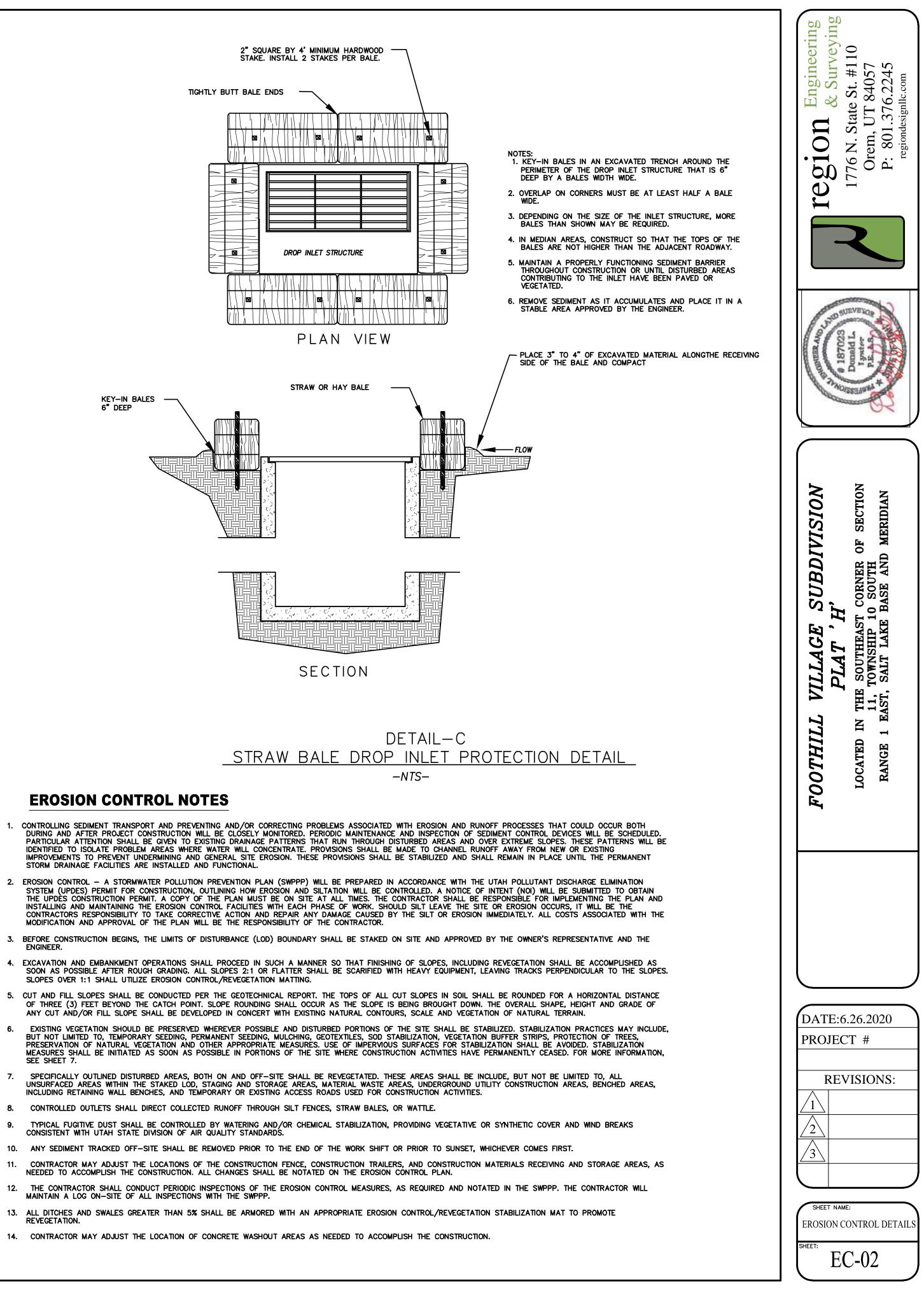


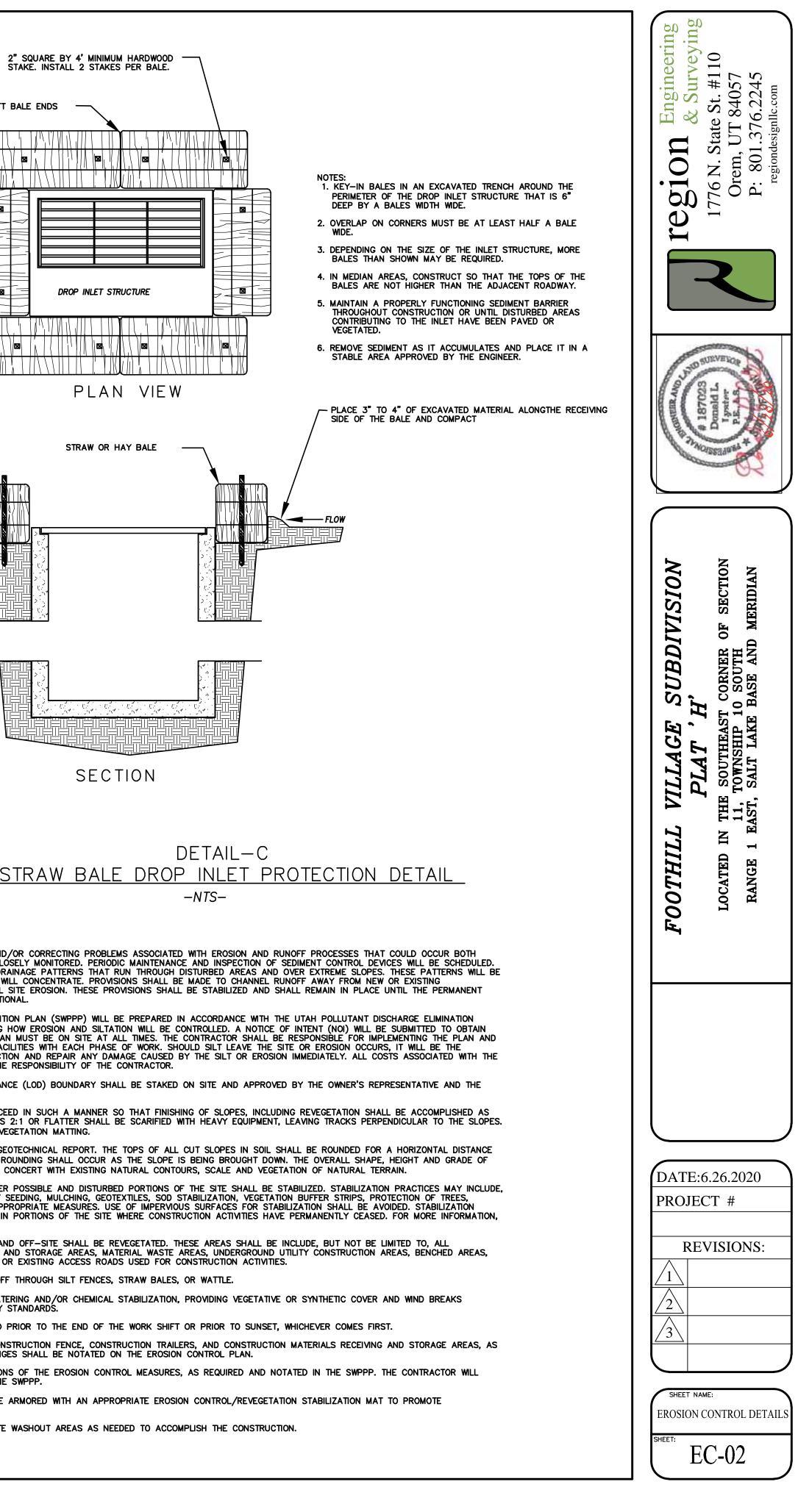










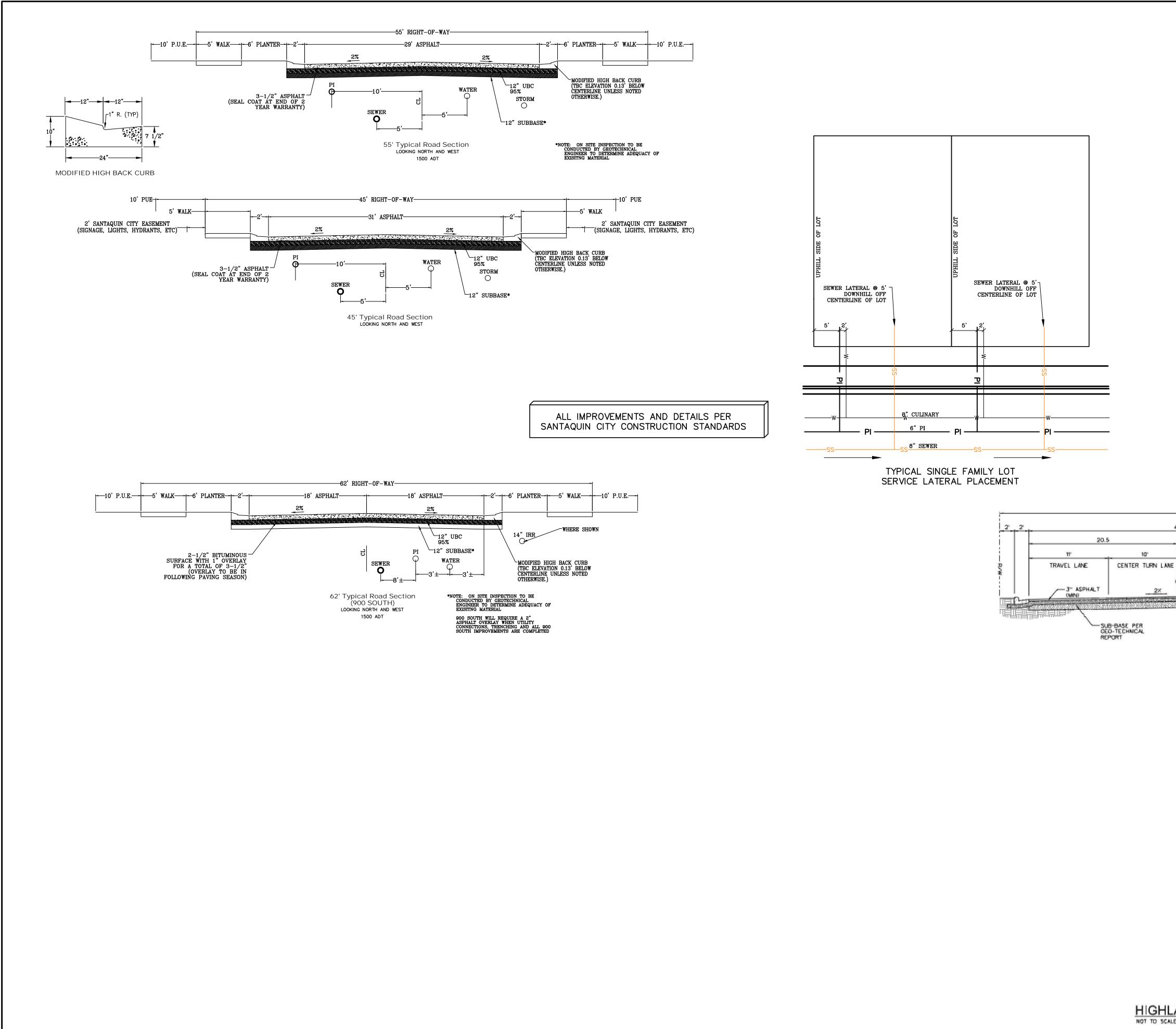


EROSION CONTROL NOTES

- STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
- ENGINEER.
- SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
- SEE SHEET 7.
- 7.
- CONSISTENT WITH UTAH STATE DIVISION OF AIR QUALITY STANDARDS.

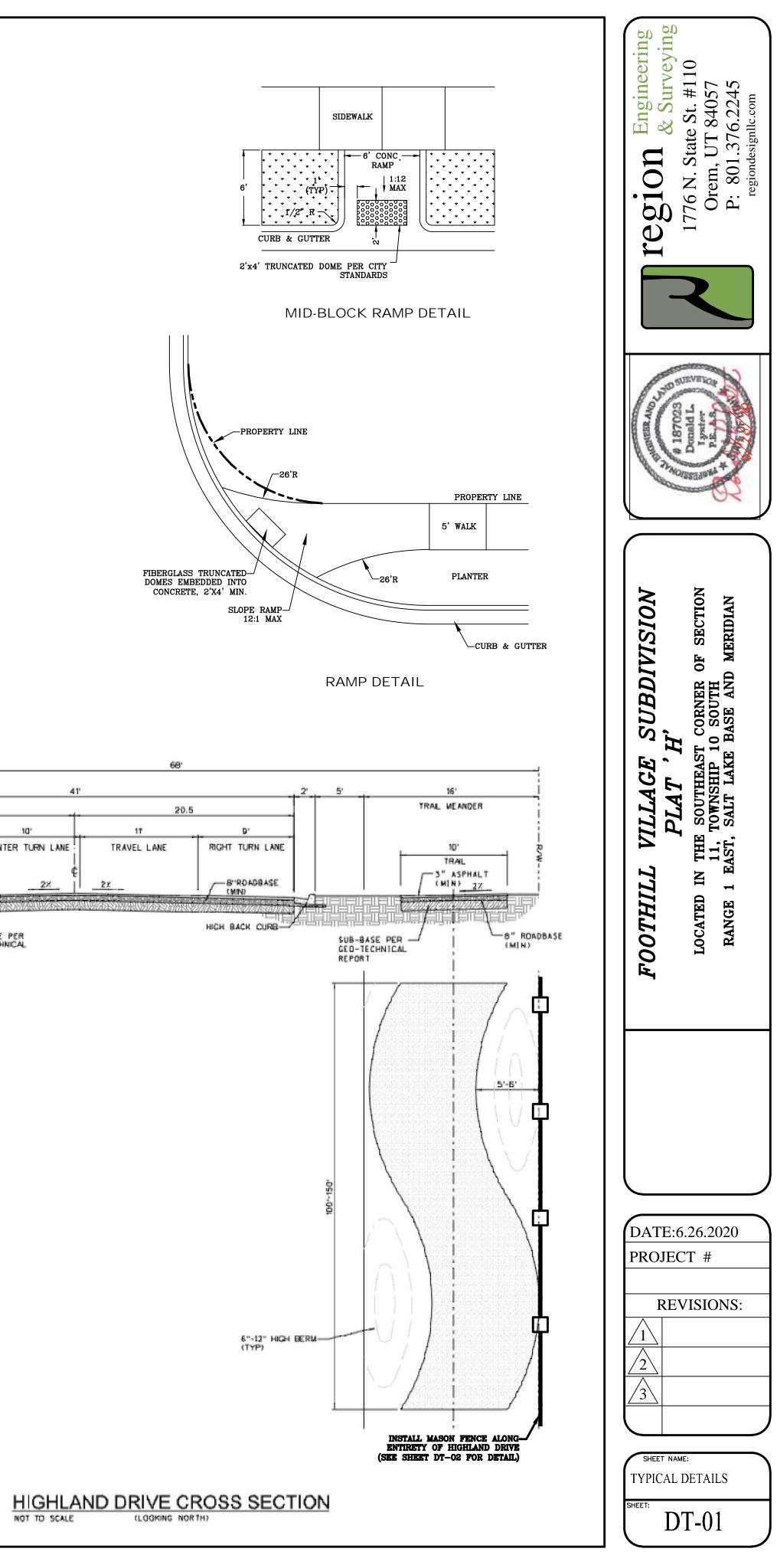
- MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.

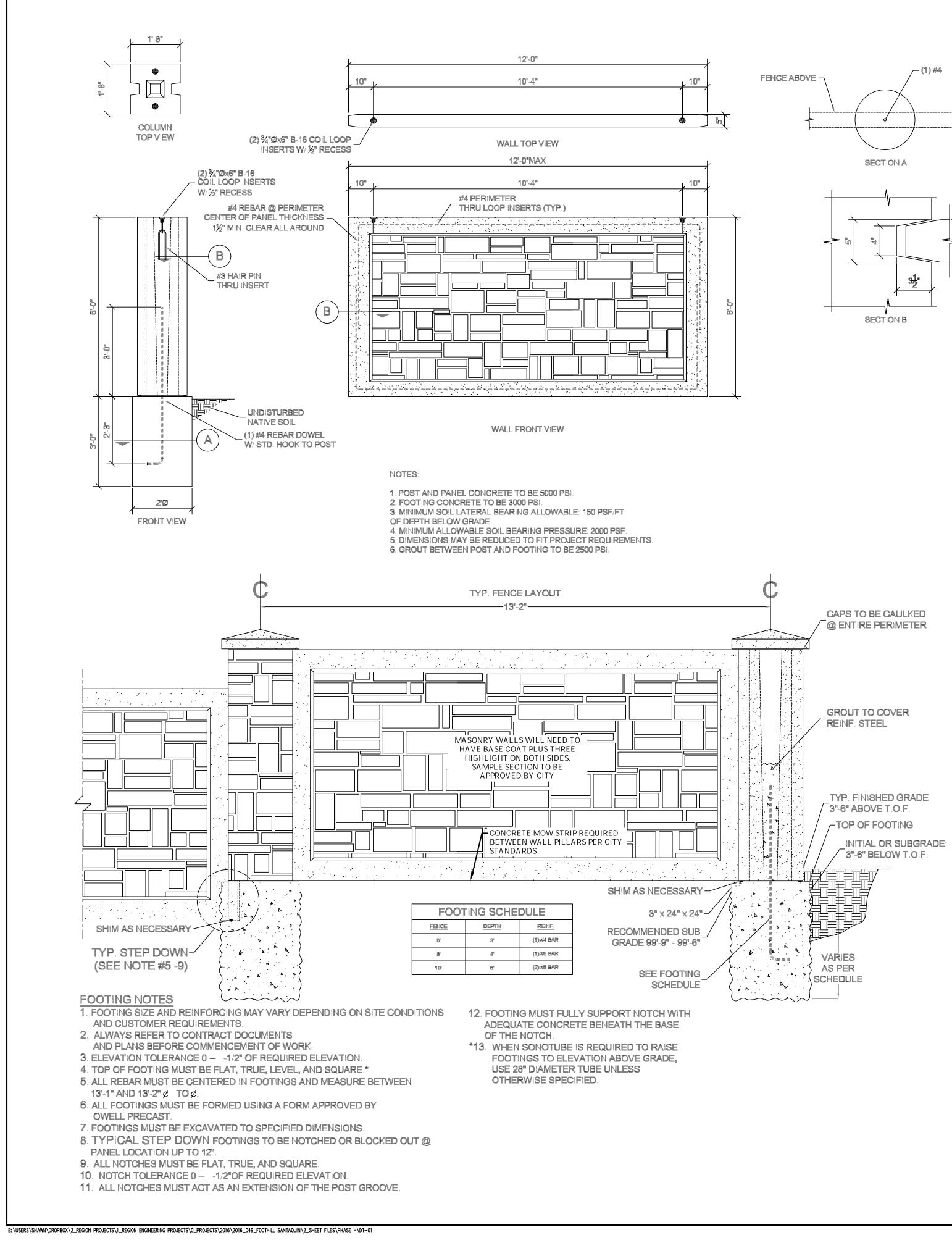
REVEGETATION.

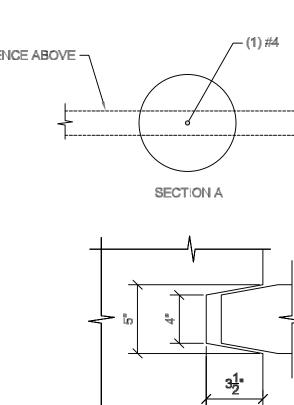


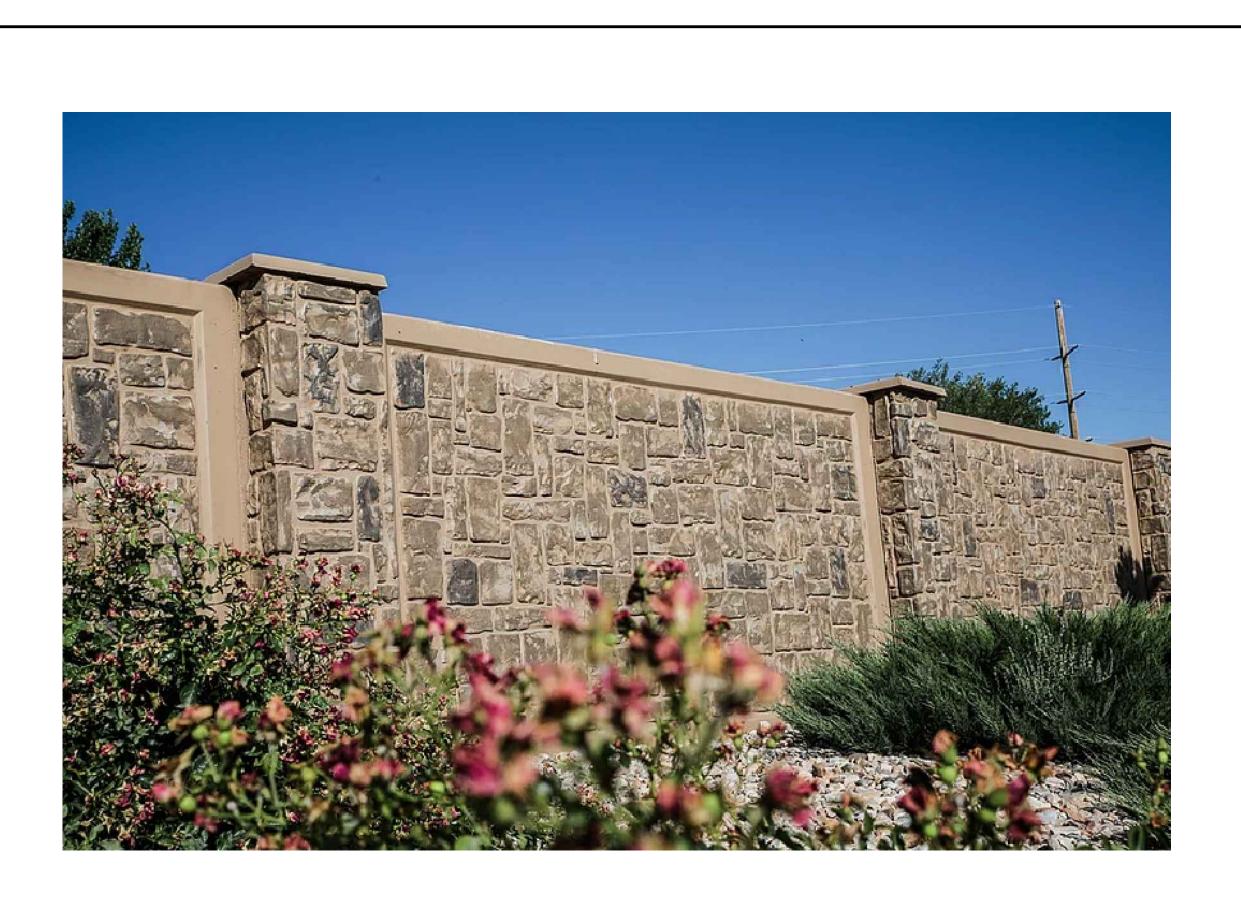
10'

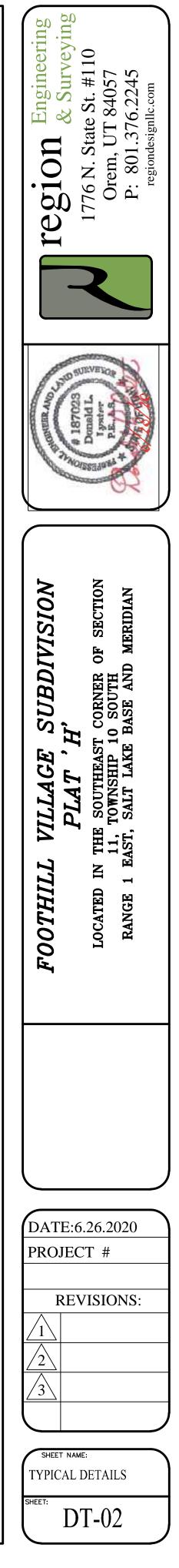
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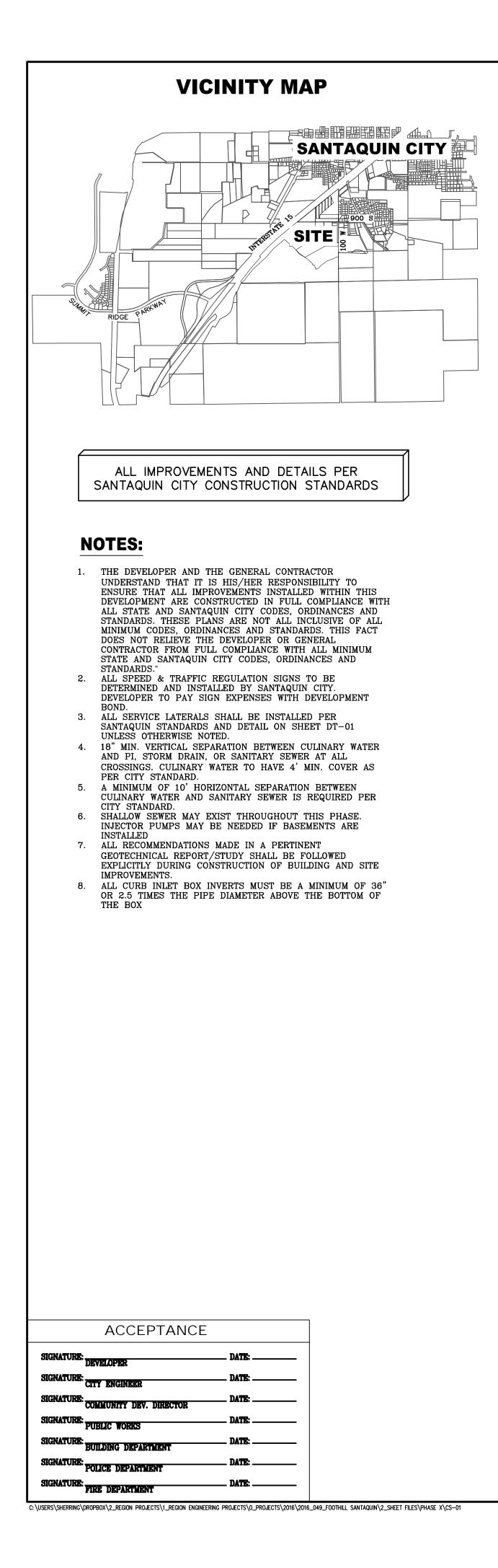


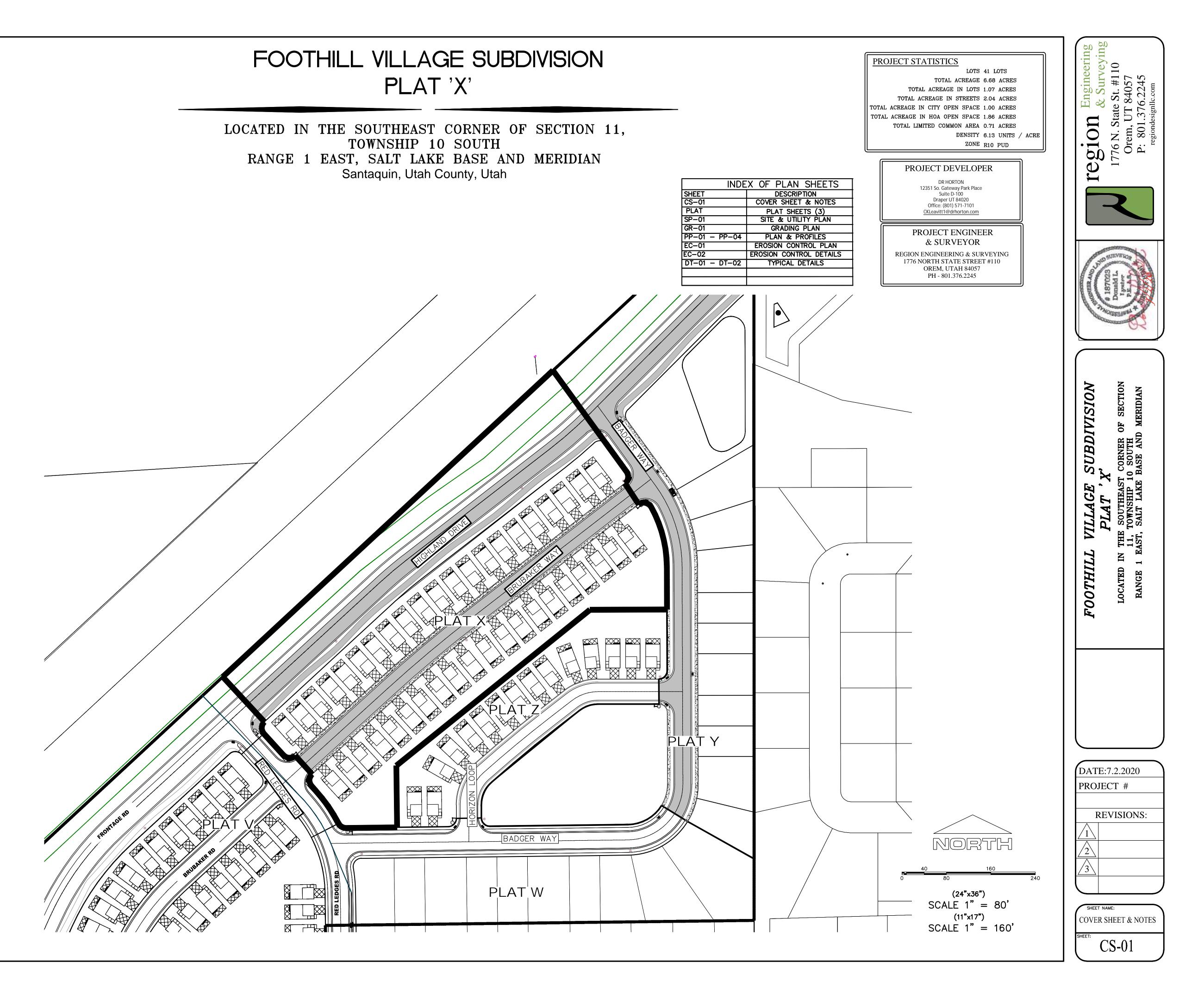




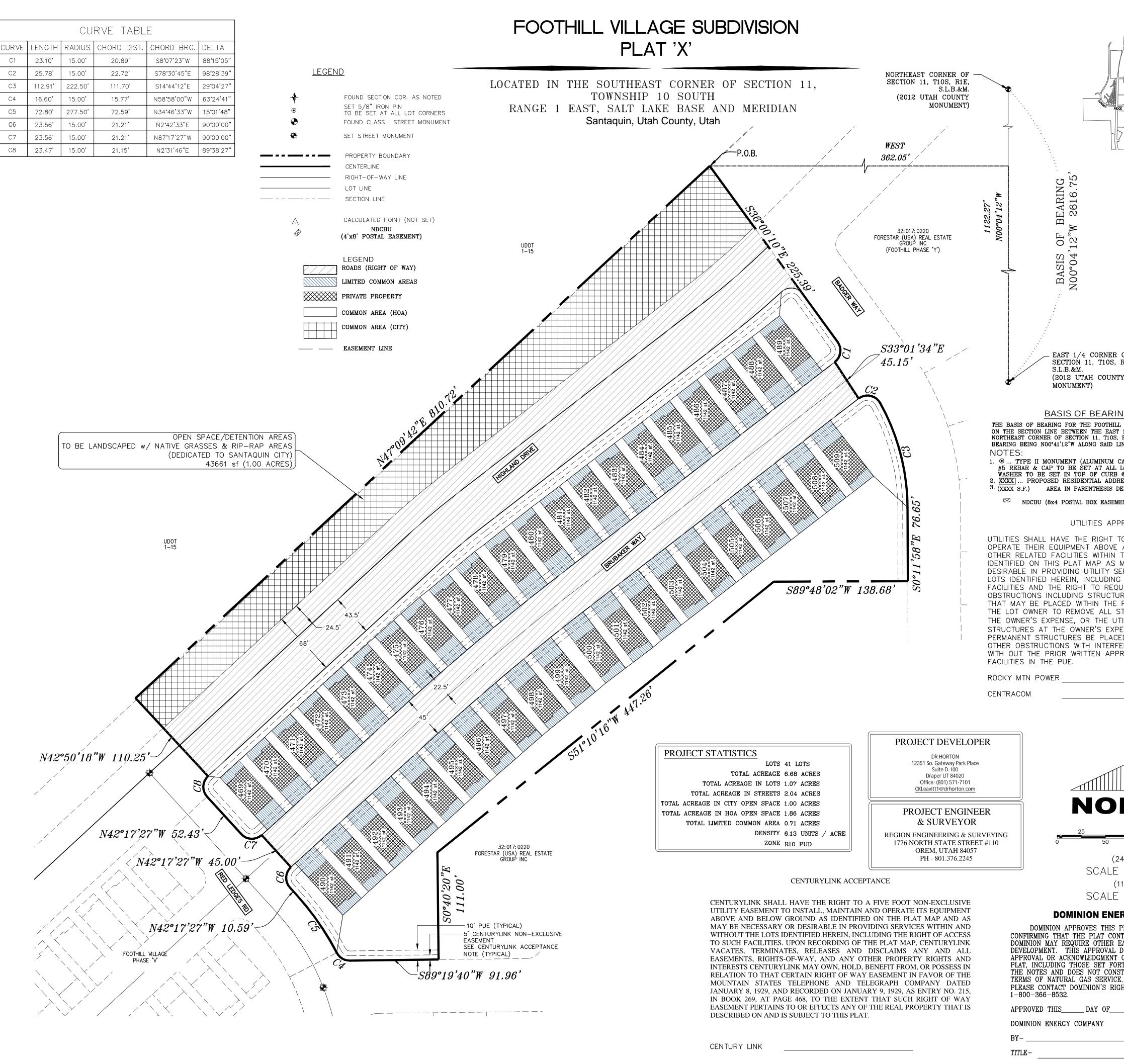




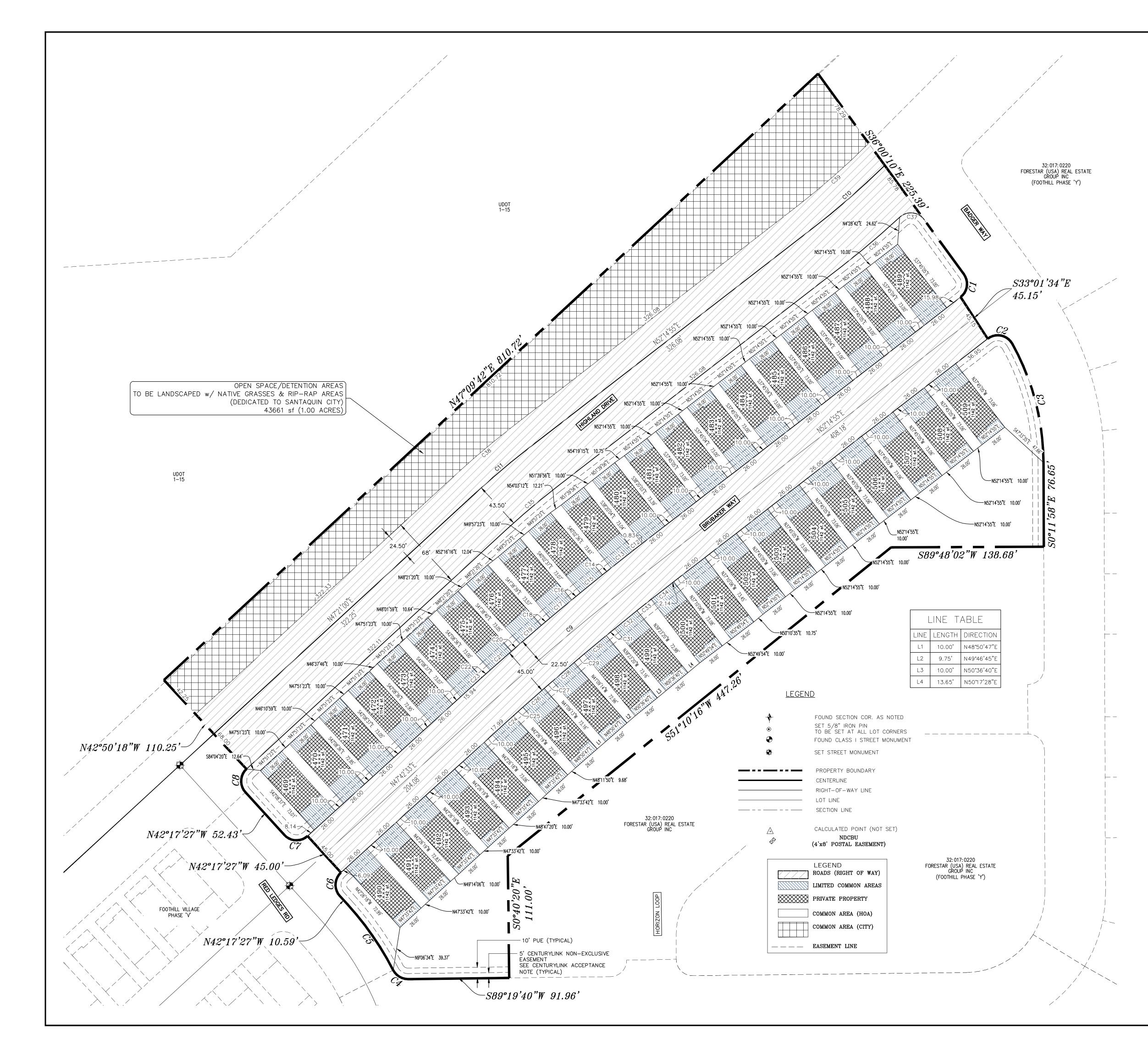






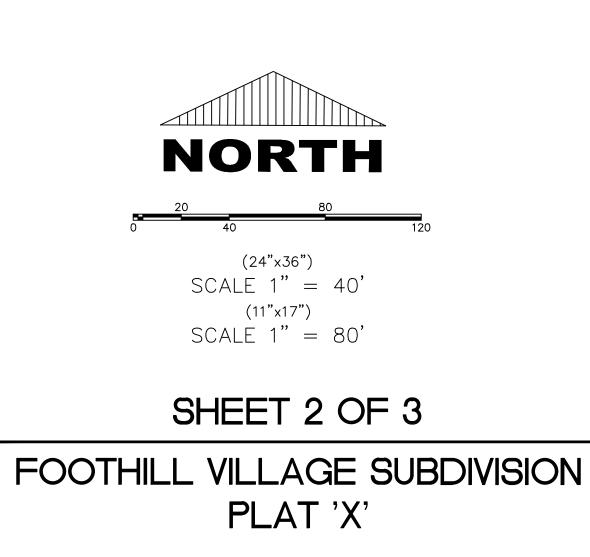


VICINITY MAP	Surveyor's Certificate
	I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND
	THAT THE SAME HAS BEEN CORRECT. THAT THIS IS TRUE AND CORRECT. Boundary Description
SITE SITE	BEGINNING AT A POINT LOCATED N00°04'12"W ALONG THE SECTION LINE 1122.27 FEET AND WEST 362.05 FEET FROM THE EAST QUARTER CORNER OF SECTION 11, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN;
DOE PARMAN	THENCE, S 36° 00' 10" E FOR A DISTANCE OF 225.39 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 88° 15' 05", HAVING A RADIUS OF 15.00 FEET, AND
	WHOSE LONG CHORD BEARS S 08° 07' 23" W FOR A DISTANCE OF 20.89 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE. THENCE, S 33° 01' 34" E FOR A DISTANCE OF 45.15 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH 98° 28' 39", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORI
	BEARS S 78° 30' 45" E FOR A DISTANCE OF 22.72 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE. SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 29° 04' 27", HAVING A RADIUS OF 222.50 FEET, AND WHOSE LONG CHORD BEARS S 14° 44' 12" E FOR A DISTANCE OF 111.70 FEET.
	THENCE, S 00° 11' 58" E FOR A DISTANCE OF 76.65 FEET TO A POINT ON A LINE. THENCE, S 89° 48' 02" W FOR A DISTANCE OF 138.68 FEET TO A POINT ON A LINE. THENCE, S 51° 10' 16" W FOR A DISTANCE OF 447.26 FEET TO A POINT ON A LINE.
	THENCE, S 00° 40' 20" E FOR A DISTANCE OF 111.00 FEET TO A POINT ON A LINE. THENCE, S 89° 19' 40" W FOR A DISTANCE OF 91.96 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH 63° 24' 41", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORE
	BEARS N 58° 58' 00" W FOR A DISTANCE OF 15.77 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE. SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 15° 01' 48", HAVING A RADIUS OF 277.50 FEET, AND WHOSE LONG CHORD BEARS N 34° 46' 33" W FOR A DISTANCE OF 72.59 FEET.
	THENCE, N 42° 17' 27" W FOR A DISTANCE OF 10.59 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 90° 00' 00", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS N 02° 42' 33" E FOR A DISTANCE OF 21.21 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE. THENCE, N 42° 17' 27" W FOR A DISTANCE OF 45.00 FEET TO THE BEGINNING OF A
	NON-TANGENTIAL LINE. INERGE, N 42 17 27 WHOR A DISTANCE OF 43.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 90° 00' 00", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS N 87° 17' 27" W FOR A DISTANCE OF 21.21 FEET. THENCE, N 42° 17' 27" W FOR A DISTANCE OF 52.43 FEET TO THE BEGINNING OF A CURVE,
	SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 89° 38' 27", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS N 02° 31' 46" E FOR A DISTANCE OF 21.15 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE. THENCE, N 42° 50' 18" W FOR A DISTANCE OF 110.25 FEET TO A POINT ON A LINE.
	THENCE N 47° 09' 42" E A DISTANCE OF 810.72 FEET TO THE POINT OF BEGINNING CONTAINS: ± 6.68 ACRES AND 41 TOTAL LOTS
	JONAL LAND
2 OF R1E,	。
TY	MULLEN SA TR OF WIT AN
NG	DATE SURVEYOR
LL VILLAGES PLAT 'X' IS T 1/4 CORNER AND THE R, R1E, SLB&M WITH THE	OWNERS DEDICATION KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE
LINE. CAP AND REBAR) TO BE SET.	PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSEI THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.
LOT CORNERS. NAIL AND BRASS @ PROJECTION OF SIDE LOT LINES. RESS	IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF, A.D. 20
DENOTES BUILDABLE AREA MENT)	
PROVAL	
TO INSTALL, MAINTAIN AND AND BELOW GROUND AND ALL THE PUBLIC UTILITY EASEMENTS	STATE OF UTAH S.S.
MAY BE NECESSARY OR SERVICES WITHIN AND WITHOUT THE G THE RIGHT OF ACCESS TO SUCH	COUNTY OF UTAH ON THIS DAY OF, A.D. 20 PERSONALLY APPEARED BEFORE
QUIRE REMOVAL OF ANY URES, TREES AND VEGETATION PUE. THE UTILITY MAY REQUIRE	METHE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THEOF, A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND
STRUCTURES WITHIN THE PUE AT ITILITY MAY REMOVE SUCH	THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY. MY COMMISSION EXPIRES
PENSE. AT NO TIME ANY CED WITHIN THE PUE OR ANY FERES WITH THE USE OF THE PUE	A NOTARY PUBLIC COMMISSIONED IN UTAH
PROVAL OF THE UTILITIES WITH	NOTARY ADDRESS PRINTED FULL NAME OF NOTARY
	ACCEPTANCE BY LEGISLATIVE BODY THEOF
	COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS; EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS DAY OF, A.D. 20
	APPROVED MAYOR OF SANTAQUIN
RTH	
100150	ATTEST
24"x36") E 1" = 50'	ENGINEER (See Seal Below) CLERK-RECORDER (See Seal Below) (See Seal Below)
$(11^{*} \times 17^{*})$ $(1^{*} = 100^{*})$	SHEET 1 OF 3
	FOOTHILL VILLAGE SUBDIVISION
PLAT SOLELY FOR THE PURPOSE OF NTAINS PUBLIC UTILITY EASEMENTS. EASEMENTS IN ORDER TO SERVE THIS DOES NOT CONSTITUTE ACCEPTANCE,	PLAT 'X'
OF ANY TERMS CONTAINED IN THE ORTH IN THE OWNERS DEDICATION AND STITUTE A GUARANTEE OF PARTICULAR	UTAH COUNTY, UTAH
E. FOR FURTHER INFORMATION GHT OF WAY DEPARTMENT AT	SCALE: 1" = 50 FEET NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL COUNTY-RECORDER SEAL
, 20	
	This form approved by Utah County and the municipalities therein.
	approved 2, ovan opano, and mainopanolog and one of the



		CU	rve tabl	E	
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	23.10'	15.00'	20.89'	S8°07'23"W	88°15'05
C2	25.78'	15.00'	22.72'	S78°30'45"E	98°28'39
C3	112.91'	222.50'	111.70'	S14°44'12"E	29°04'27
C4	16.60'	15.00'	15.77'	N58°58'00"W	63°24'41
C5	72.80'	277.50'	72.59'	N34°46'33"W	15°01'48
C6	23.56'	15.00'	21.21'	N2°42'33"E	90°00'00
C7	23.56'	15.00'	21.21'	N87°17'27"W	90°00'00
C8	23.47'	15.00'	21.15'	N2°31'46"E	89°38'27
С9	197.44'	2492.00'	197.39'	N49°58'44"E	4°32'23
C10	87.46'	750.00'	87.41'	N48°54'29"E	6°40'52
C11	64.13'	750.00'	64.11'	N49°47'57"E	4°53'57
C12	9.17'	2514.50'	9.17'	N52°08'39"E	0°12'32'
C13	26.00'	2514.50'	26.00'	N51°44'36"E	0°35'33
C14	10.00'	2514.50'	10.00'	N51°20'00"E	0°13'41'
C15	26.00'	2514.50'	26.00'	N50°55'23"E	0°35'33
C16	10.00'	2514.50'	10.00'	N50°30'46"E	0°13'40'
C17	26.00'	2514.50'	26.00'	N50°06'10"E	0°35'33
C18	9.98'	2514.50'	9.98'	N49°41'34"E	0°13'39'
C19	26.00'	2514.50'	26.00'	N49°16'58"E	0°35'33
C20	10.00'	2514.50'	10.00'	N48°52'21"E	0°13'40'
C21	26.00'	2514.50'	26.00'	N48°27'45"E	0°35'33
C22	10.00'	2514.50'	10.00'	N48°03'08"E	0°13'40'
C23	10.06'	2514.50'	10.06'	N47°49'25"E	0°13'45'
C24	8.01'	2469.50'	8.01'	S47°48'07"W	0°11'09'
C25	11.32'	2469.50'	11.32'	S48°01'34"W	0°15'45'
C26	26.00'	2469.50'	26.00'	S48°27'33"W	0°36'12'
C27	10.00'	2469.50'	10.00'	S48°52'36"W	0°13'55'
C28	26.00'	2469.50'	26.00'	S49°17'40"W	0°36'12'
C29	12.00'	2469.50'	12.00'	S49°44'07"W	0°16'42'
C30	26.00'	2469.50'	26.00'	S50°10'34"W	0°36'12'
C31	10.00'	2469.50'	10.00'	S50°35'37"W	0°13'55'
C32	26.00'	2469.50'	26.00'	S51°00'41"W	0°36'12'
C33	16.47'	2469.50'	16.47'	S51°30'14"W	0°22'55
C34	23.87'	2469.50'	23.87'	S51°58'19"W	0°33'13'
C35	60.41'	706.50'	60.39'	S49°47'57"W	4°53'57
C36	69.18'	793.50'	69.16'	S49°45'03"W	4°59'44
C37	25.33'	15.00'	22.42'	N84°22'29"W	96°44'39
C38	66.22'	774.50'	66.20'	S49°47'57"W	4°53'57
C39	88.23'	725.50'	88.18'	S48°45'53"W	6°58'05

				
	LOT ADDRESS			
LOT			ADDRESS	
469	832	S	BRUBAKER	WAY
470	828	S	BRUBAKER	WAY
471	824	S	BRUBAKER	WAY
472	820	S	BRUBAKER	WAY
473	816	S	BRUBAKER	WAY
474	812	S	BRUBAKER	WAY
475	808	S	BRUBAKER	WAY
476	804	S	BRUBAKER	WAY
477	800	S	BRUBAKER	WAY
478	???	S	BRUBAKER	WAY
479	796	S	BRUBAKER	WAY
480	792	S	BRUBAKER	WAY
481	788	S	BRUBAKER	WAY
482	784	S	BRUBAKER	WAY
483	780	S	BRUBAKER	WAY
484	776	S	BRUBAKER	WAY
485	772	S	BRUBAKER	WAY
486	768	S	BRUBAKER	WAY
487	764	S	BRUBAKER	WAY
488	760	S	BRUBAKER	WAY
489	756	S	BRUBAKER	WAY
490	831	S	BRUBAKER	WAY
491	827	S	BRUBAKER	WAY
492	823	S	BRUBAKER	WAY
493	819	S	BRUBAKER	WAY
494	815	S	BRUBAKER	WAY
495	811	S	BRUBAKER	WAY
496	807	S	BRUBAKER	WAY
497	803	S	BRUBAKER	WAY
498	799	S	BRUBAKER	WAY
499	795	S	BRUBAKER	WAY
500	791	S	BRUBAKER	WAY
501	787	S	BRUBAKER	WAY
502	783	S	BRUBAKER	WAY
503	779	S	BRUBAKER	WAY
504	775	S	BRUBAKER	WAY
505	771	S	BRUBAKER	WAY
506	767	S	BRUBAKER	WAY
507	763	S	BRUBAKER	WAY
508	759	S	BRUBAKER	WAY
509	755	S	BRUBAKER	WAY



_UTAH COUNTY, UTAH

SCALE: 1" = 40 FEET

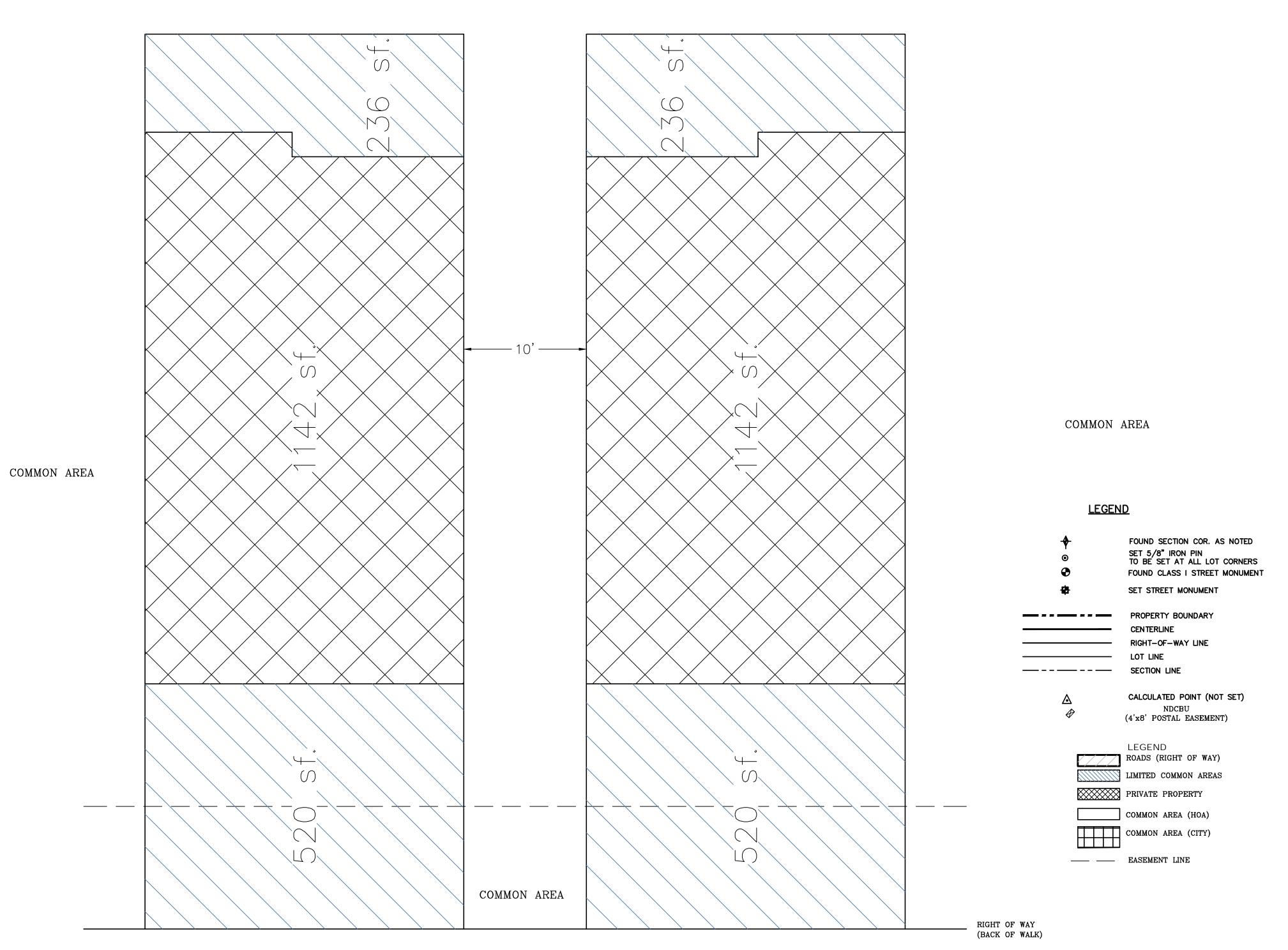
This form approved by Utah County and the municipalities therein.

TYPICAL PATIO HOME LAYOUT

PUBLIC ROAD

2' CURB & GUTTER

5' SIDEWALK



COMMON AREA

FOOTHILL VILLAGE SUBDIVISION PLAT 'X'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN Santaquin, Utah County, Utah

NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

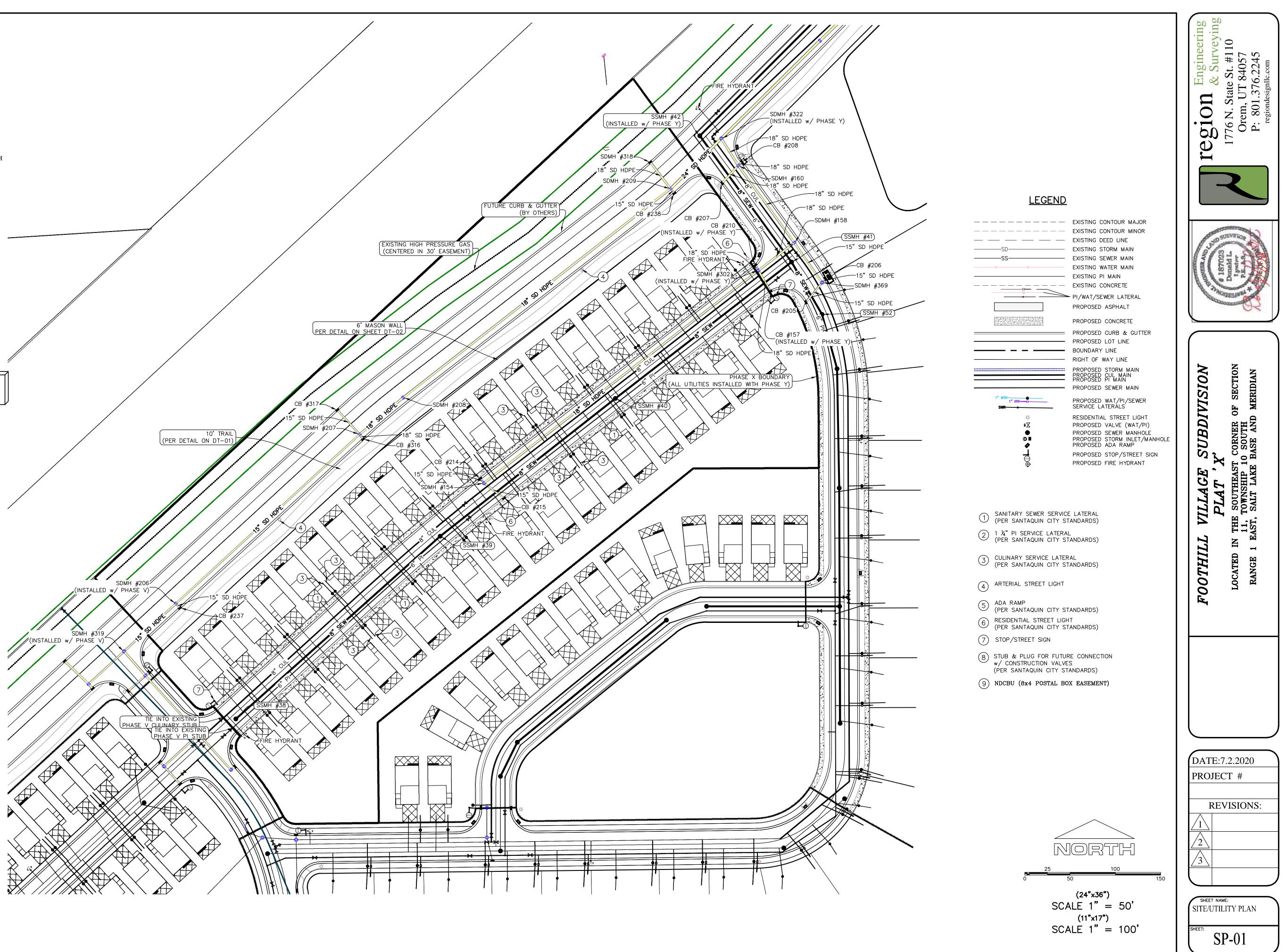
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

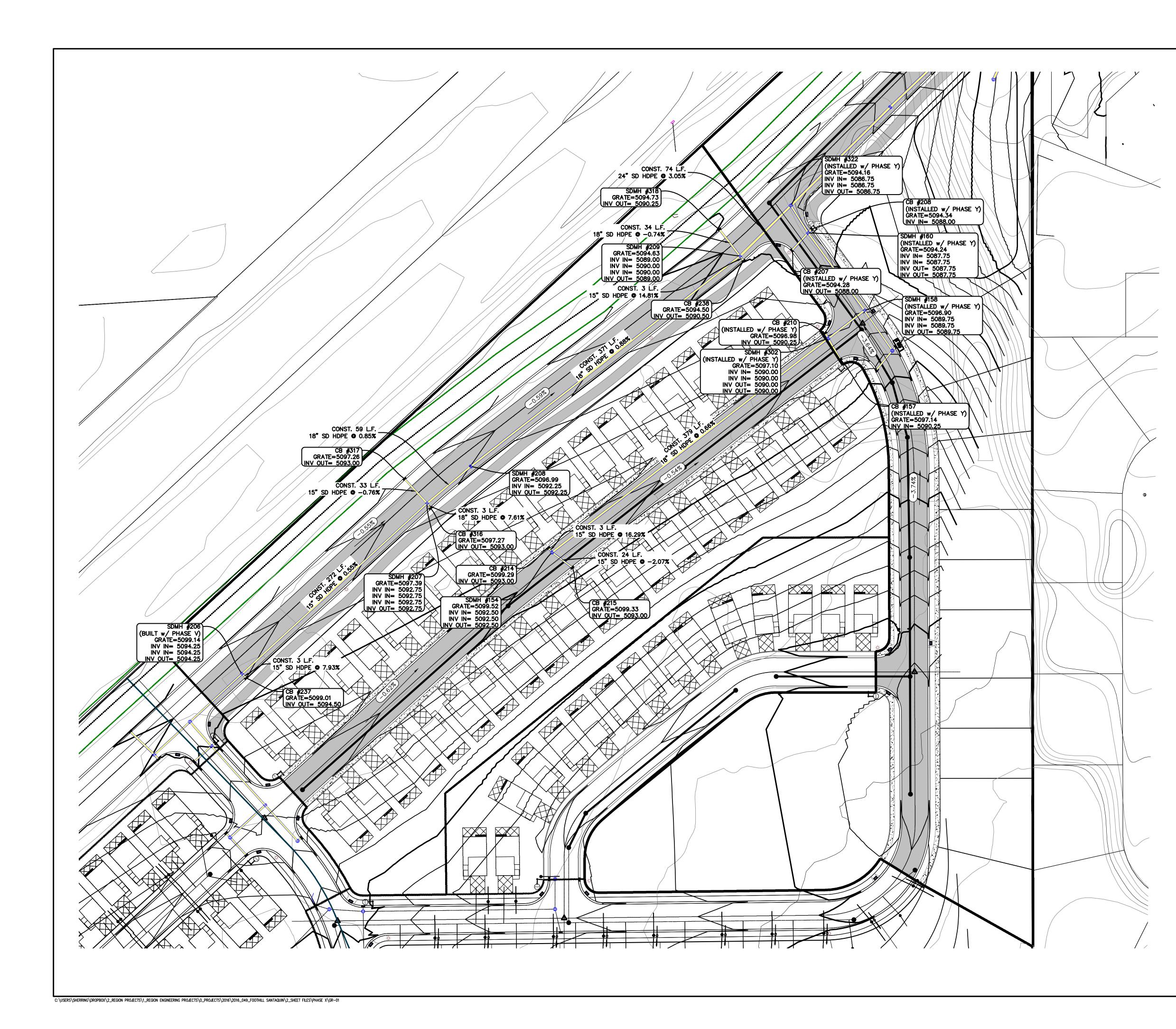
NOTES:

- 1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS."
- 2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- 3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01
- UNLESS OTHERWISE NOTED.
 4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
- A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
- 6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE
- INSTALLED 7. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED
- EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
 8. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

C:\USERS\SHERRING\DROPBOX\2_REGION PROJECTS\1_REGION ENGINEERING PROJECTS\0_PROJECTS\2016\2016_049_FOOTHILL SANTAQUIN\2_SHEET FILES\PHASE X\SP-01





NOTES TO CONTRACTOR:

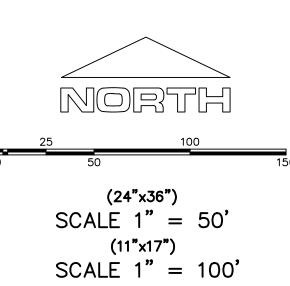
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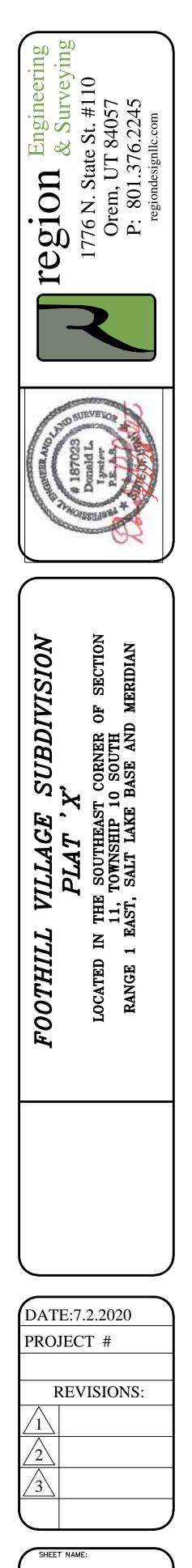
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTES:

THE BOX

- 1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS."
- 2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER
- AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL
 CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS
 PER CITY STANDARD.
 5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN
- CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
 6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE.
- SHALLOW SEWER MAT EAST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED
 ALL RECOMMENDATIONS MADE IN A PERTINENT
 GEOTIONICAL DEPOSIT (THUS CHAIL DE FOLLOWER)
- GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
 8. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36" OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF

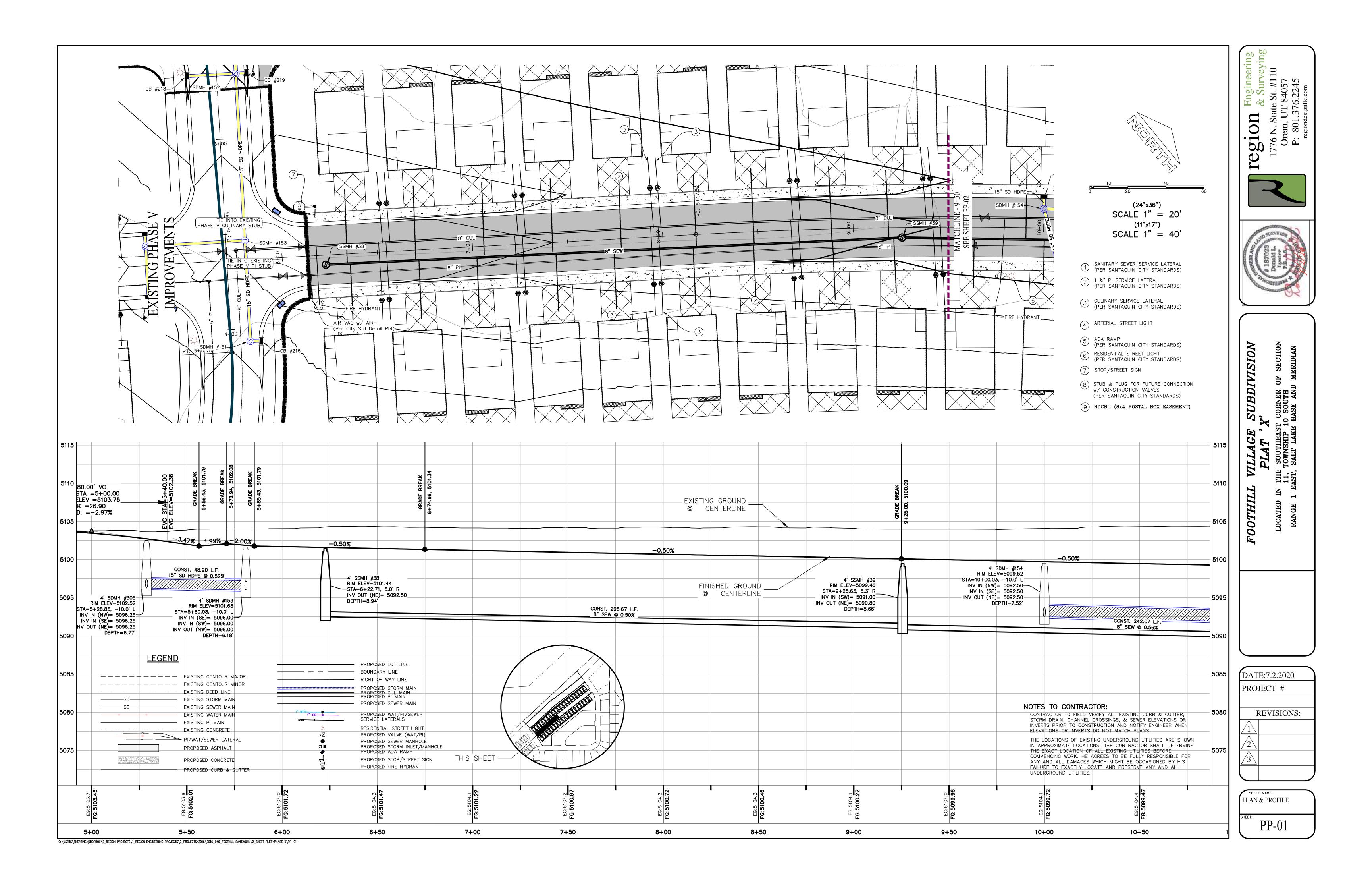


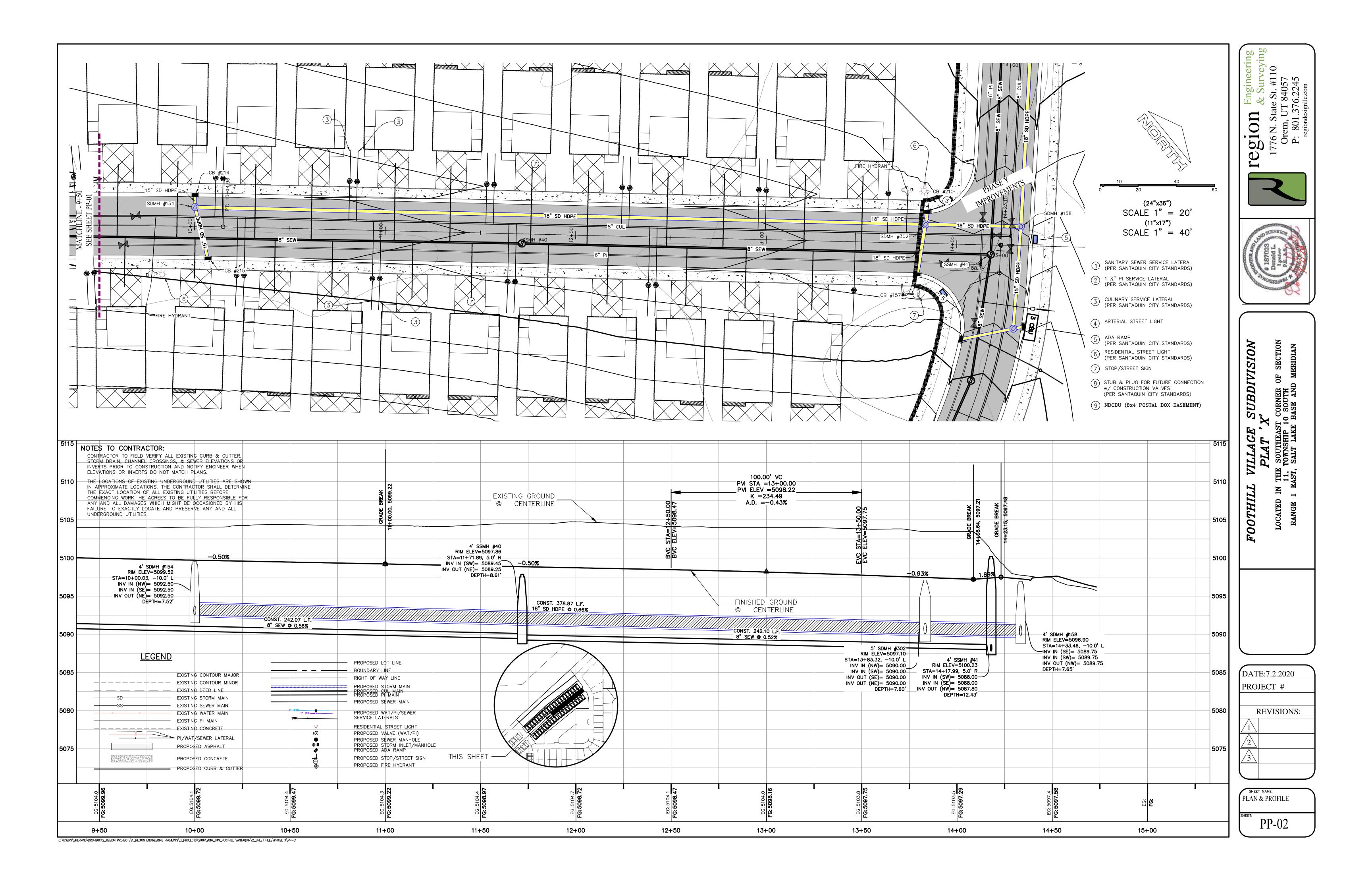


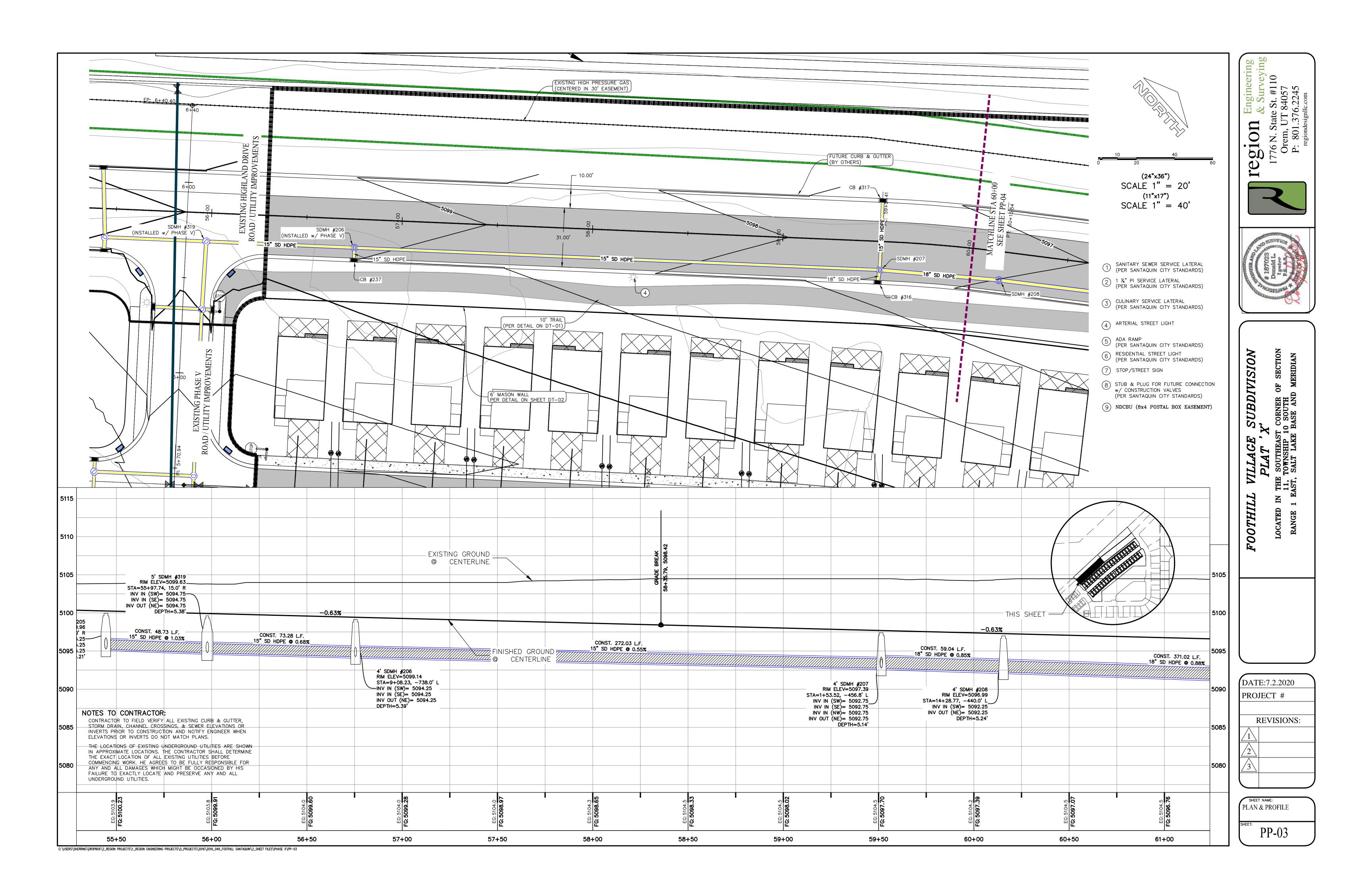
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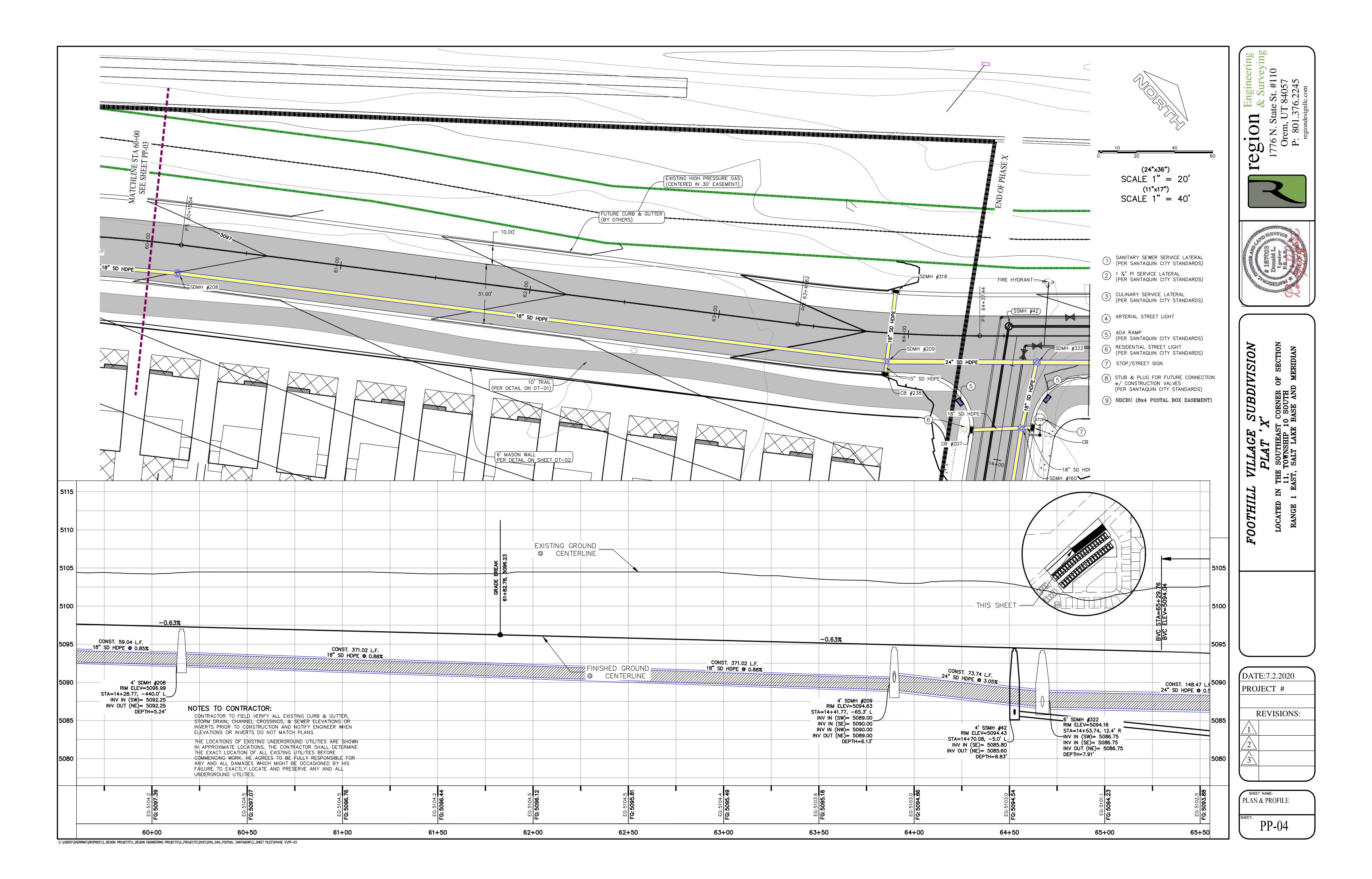
GRADING PLAN

GR-01



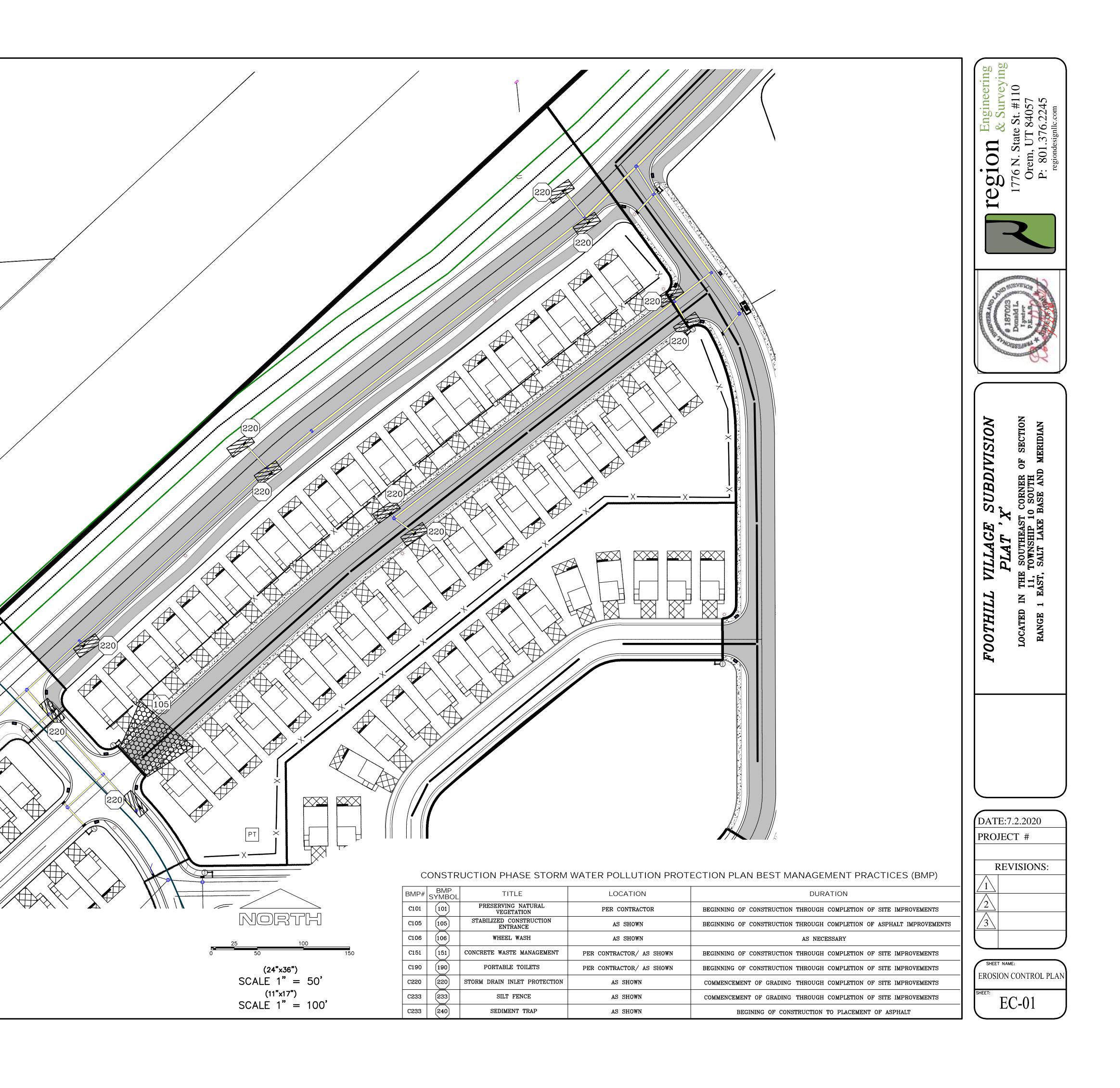


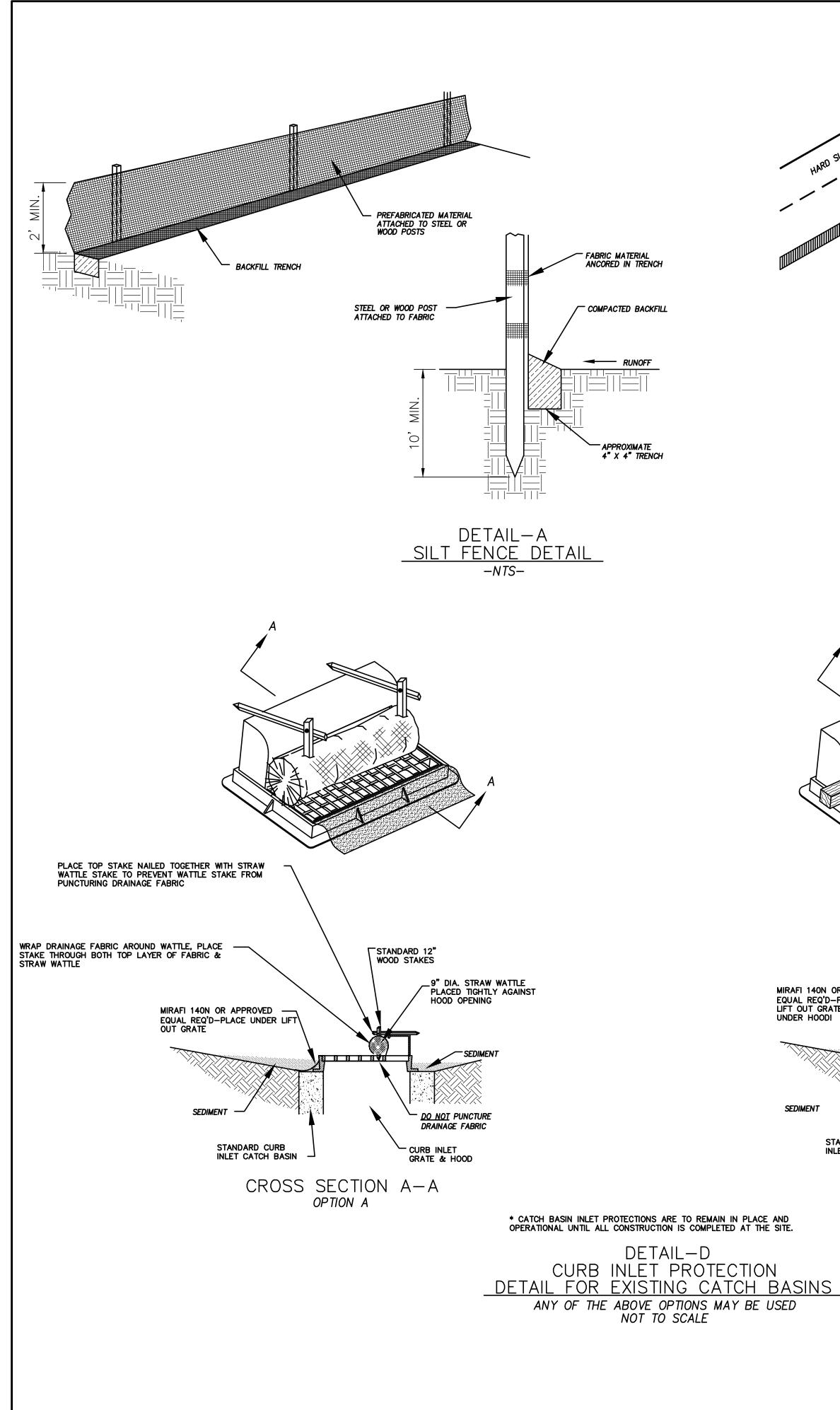




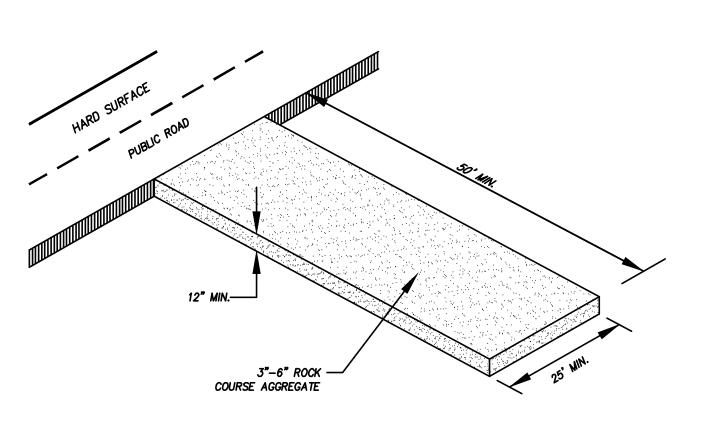
X		LEGEND:	
	X	PROPOSED SILT FENCE	
		(SEE SHEET EC-02) FLOW ARROW	
(-	(m) (6000000000000000000000000000000000000	PROPOSED VEHICLE TRACKING CONTROL	
Ĺ		(SEE SHEET EC-02) PROPOSED CURB INLET PROTECTION	
	(220)	(SEE SHEET EC-02)	
	PT	PORTABLE TOILETS	
NOTES:			
BY THE	SE NOTES ARE ENCO	NFORESEEN CONDITIONS NOT COVERED UNTERED DURING GRADING	
NOTIFIE	D FOR DIRECTION.	IGINEER IS TO BE IMMEDIATELY	
NECESS AND TH	ARY CUTS AND FILLS E RELATED OFF-SITE	WITHIN THE LIMITS OF THIS PROJECT E WORK, SO AS TO GENERATE THE	
3. CONTRA	CTOR IS TO TAKE FU	GRADES AND SLOPES SHOWN. ILL RESPONSIBILITY FOR ALL RING IS TO BE DESIGNED AND	
PROVIDE	ED BY THE CONTRACT	FOR TO PREVENT UNDERMINING OF R FACILITIES AND/OR CAVING OF THE	
	NTRACTOR IS WARNEI	D THAT AN EARTHWORK BALANCE WAS	
MATERIA	AL REQUIRED OR LEF	NT OF THIS PROJECT. ANY ADDITIONAL TOVER MATERIAL FOLLOWING COMES THE RESPONSIBILITY OF THE	
CONTRA 5. THE GR	CTOR. ADING CONTRACTOR 1	IS RESPONSIBLE TO COORDINATE WITH	
PROJEC'		R THE REQUIREMENTS OF THE LUTION PREVENTION PLAN (SWPPP)	
6. ALL CU' EFFECTI	T AND FILL SLOPES A IVE EROSION CONTRO	ARE TO BE PROTECTED UNTIL L HAS BEEN ESTABLISHED.	
BUILDIN	IG OR CONSTRUCTION	R WITHOUT A SPECIAL PERMIT FOR PURPOSED INCLUDING CONSOLIDATION 'ROL IS PROHIBITED. THE CONTRACTOR	
IS TO C 8. THE CO	OBTAIN ALL NECESSAF NTRACTOR IS TO MAI	RY PERMITS FOR CONSTRUCTION WATER. NTAIN THE STREETS, SIDEWALKS, AND	
CONDITI	ON. ALL SPILLS OF S	DF-WAY IN A CLEAN, SAFE AND USABLE SOIL, ROCK OR CONSTRUCTION DEBRIS ED FROM THE PUBLICLY OWNED	
PROPER	TY DURING CONSTRU	CTION AND UPON COMPLETION OF THE OPERTY, PRIVATE OR PUBLIC IS TO BE	
9. IN THE	EVENT THAT ANY TE	FE AND USABLE CONDITION. MPORARY CONSTRUCTION ITEM IS	
AGREES	TO PROVIDE AND IN	WN ON THESE DRAWINGS, THE OWNER ISTALL SUCH ITEM AT HIS OWN CTION OF THE ENGINEERING	
DEPART		ONSTRUCTION INCLUDES DITCHES,	
	PROJEC	T INFORMATION SIGN	
	ANY ACTIVITY THAT REC AND MAINTAIN A PRO	QUIRES A GRADING PERMIT SHALL INSTALL JECT INFORMATION SIGN IN ACCORDANCE	
	ANY ACTIVITY THAT REC AND MAINTAIN A PRO WITH THE	QUIRES A GRADING PERMIT SHALL INSTALL JECT INFORMATION SIGN IN ACCORDANCE : FOLLOWING REQUIREMENTS: TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING	
ANY TY 2. THE SIC ENTRAN	ANY ACTIVITY THAT REC AND MAINTAIN A PRO. WITH THE GN SHALL BE INSTALLED PRIOR T 'PE OF EARTH-MOVING OPERATIO GN SHALL BE INSTALLED AT A PI ICE OF THE CONSTRUCTION SITE.	QUIRES A GRADING PERMIT SHALL INSTALL JECT INFORMATION SIGN IN ACCORDANCE FOLLOWING REQUIREMENTS: TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ONS. ROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE	
ANY TY 2. THE SIC ENTRAN SIGN B/ PROPER 3. 3. THE	ANY ACTIVITY THAT REC AND MAINTAIN A PRO- WITH THE SN SHALL BE INSTALLED PRIOR T 'PE OF EARTH-MOVING OPERATIO SN SHALL BE INSTALLED AT A PH ICE OF THE CONSTRUCTION SITE. ACK FROM THE MAIN INGRESS/ E SIGHT TRIANGLE CLEARANCES. SIGN MAY BE REMOVED ONCE FI	QUIRES A GRADING PERMIT SHALL INSTALL JECT INFORMATION SIGN IN ACCORDANCE E FOLLOWING REQUIREMENTS: TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING INS. ROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR INAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF	
ANY TY 2. THE SIG ENTRAN SIGN BJ PROPER 3. 3. THE THE SIT 4. THE SIG	ANY ACTIVITY THAT REG AND MAINTAIN A PRO- WITH THE SN SHALL BE INSTALLED PRIOR T PE OF EARTH-MOVING OPERATIO GN SHALL BE INSTALLED AT A PI ACK FROM THE MAIN INGRESS/ E SIGHT TRIANGLE CLEARANCES. SIGHT TRIANGLE CLEARANCES. SIGH MAY BE REMOVED ONCE FI TE FOR WHICH THE PERSON IS RI GN SHALL BE A MINIMUM OF 48"	QUIRES A GRADING PERMIT SHALL INSTALL JECT INFORMATION SIGN IN ACCORDANCE : FOLLOWING REQUIREMENTS: TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING DNS. ROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR INAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF ESPONSIBLE AND IS APPROVED BY THE CITY. × 48" AND THE FOLLOWING INFORMATION SHALL BE	
ANY TY 2. THE SIG ENTRAN SIGN B/ PROPER 3. 3. THE THE SIT 4. THE SIG DISPLAY WRITTEN	ANY ACTIVITY THAT REG AND MAINTAIN A PRO- WITH THE SN SHALL BE INSTALLED PRIOR T PE OF EARTH-MOVING OPERATIO GN SHALL BE INSTALLED AT A PI ACK FROM THE MAIN INGRESS/ E SIGHT TRIANGLE CLEARANCES. SIGHT TRIANGLE CLEARANCES. SIGH MAY BE REMOVED ONCE FI TE FOR WHICH THE PERSON IS RI GN SHALL BE A MINIMUM OF 48"	QUIRES A GRADING PERMIT SHALL INSTALL JECT INFORMATION SIGN IN ACCORDANCE : FOLLOWING REQUIREMENTS: TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING DNS. ROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR INAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF ESPONSIBLE AND IS APPROVED BY THE CITY.	
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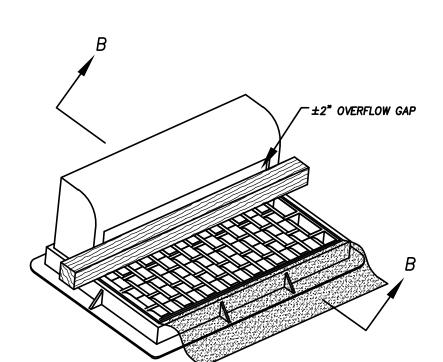


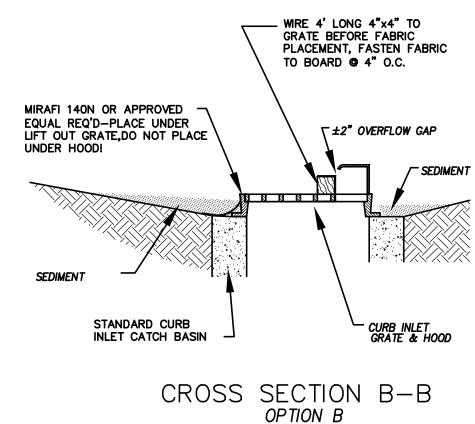


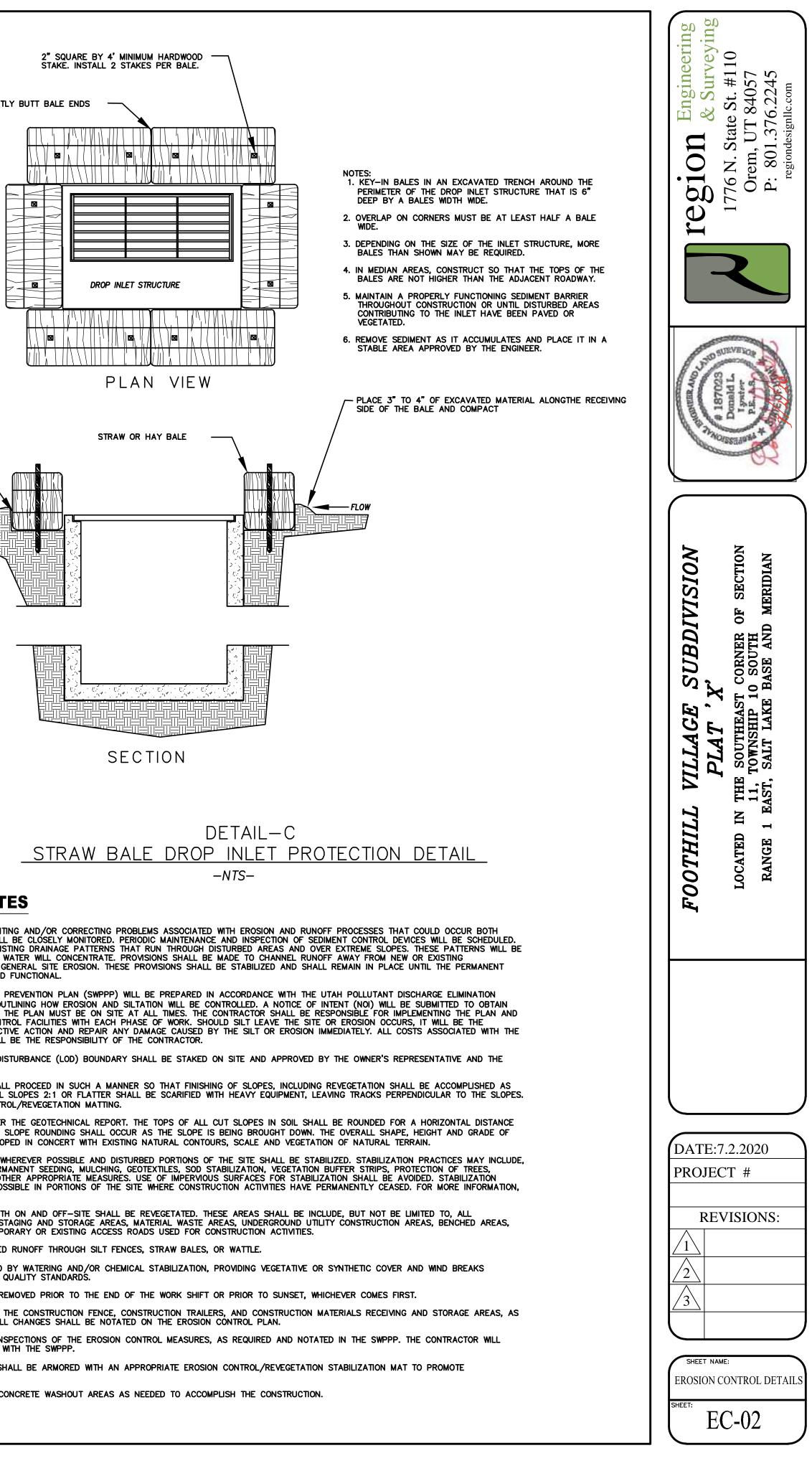
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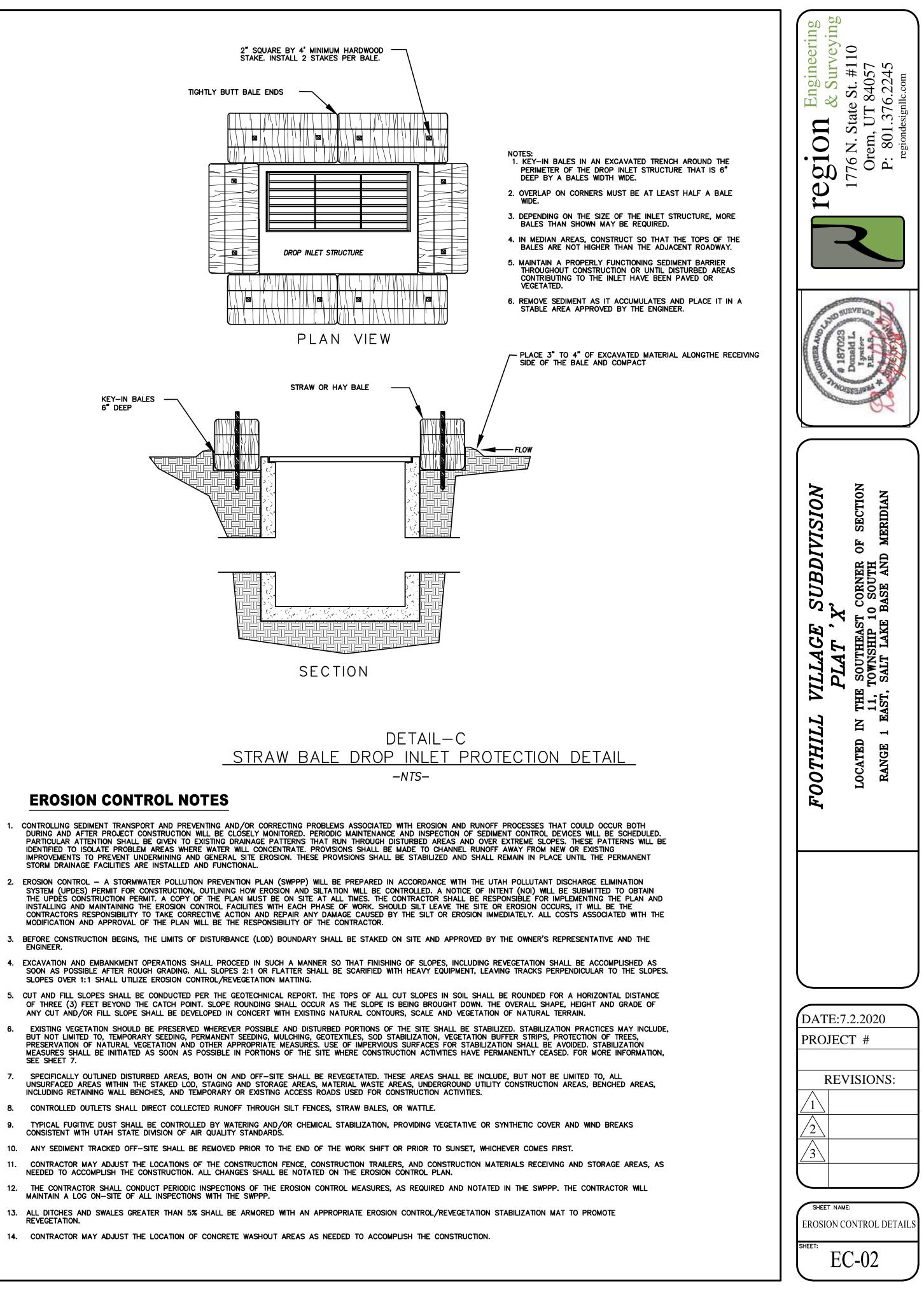


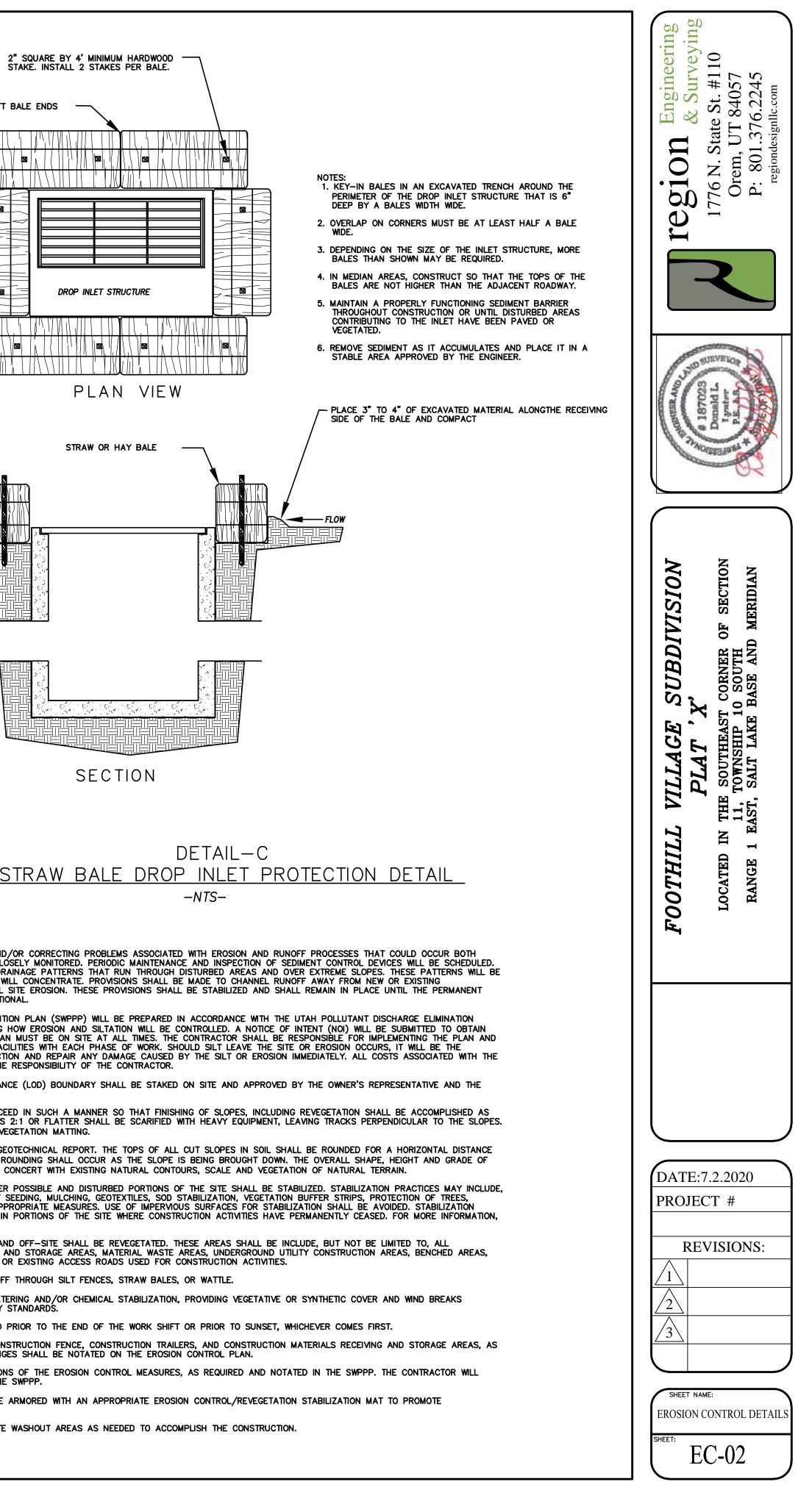










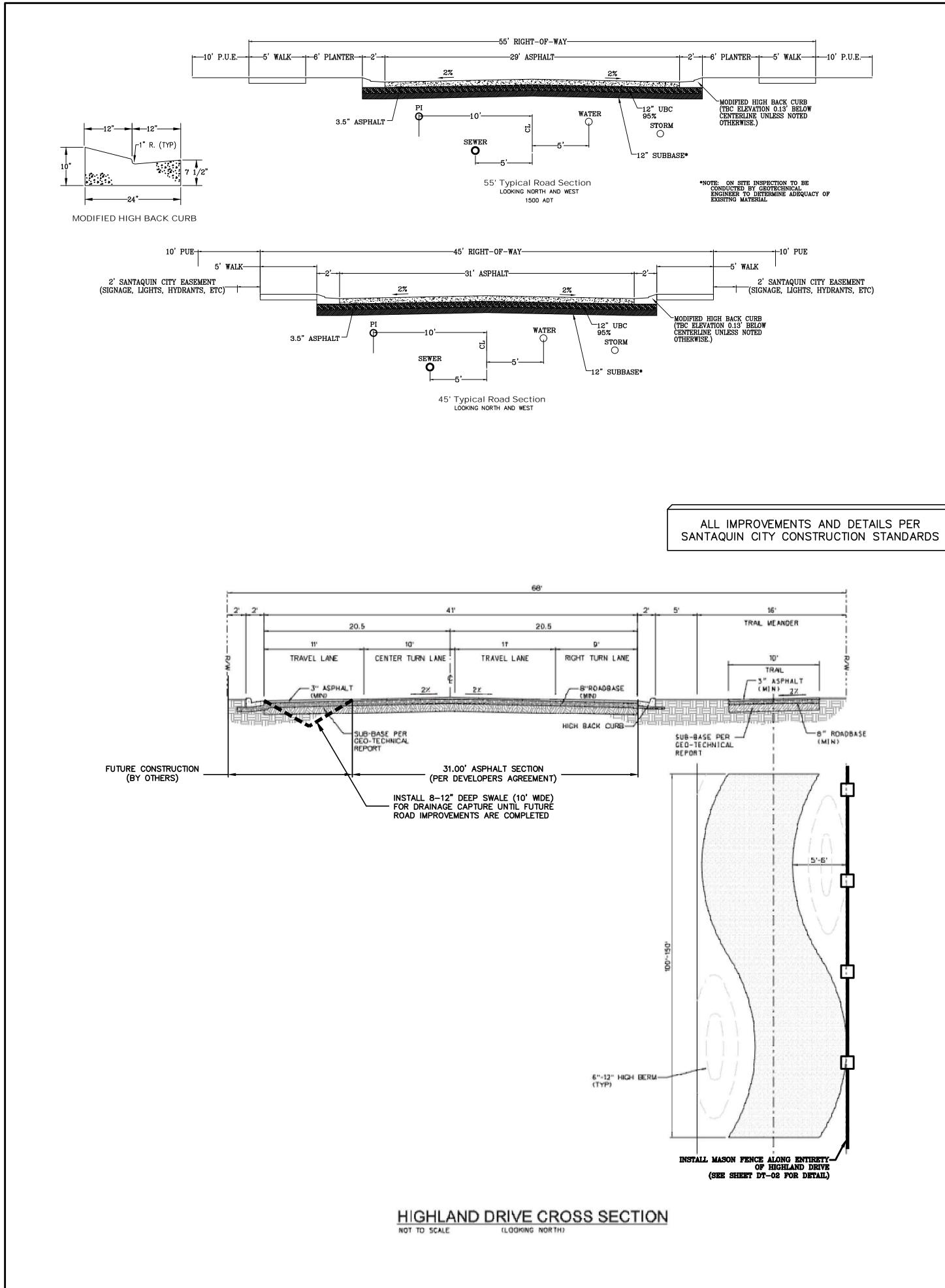


EROSION CONTROL NOTES

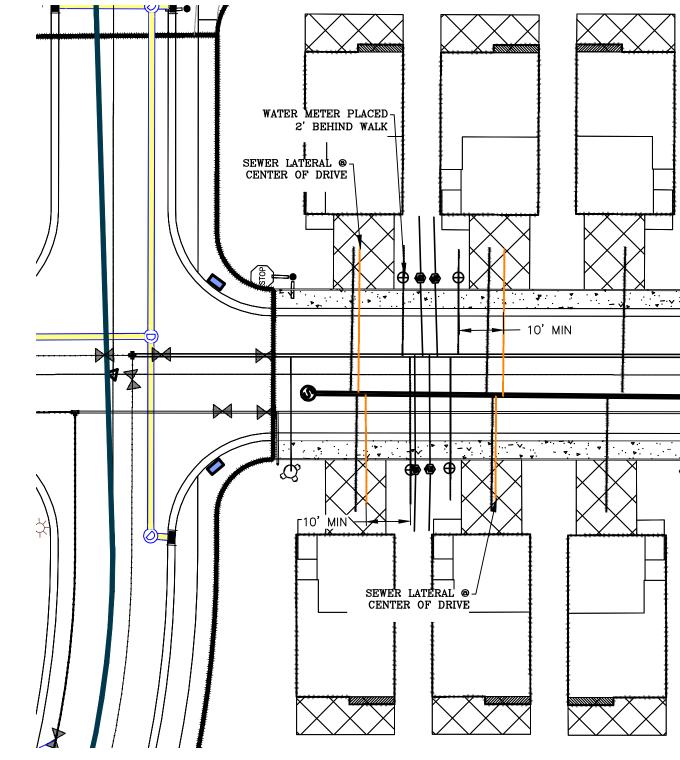
- STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
- ENGINEER.
- SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
- SEE SHEET 7.
- 7.
- CONSISTENT WITH UTAH STATE DIVISION OF AIR QUALITY STANDARDS.

- MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.

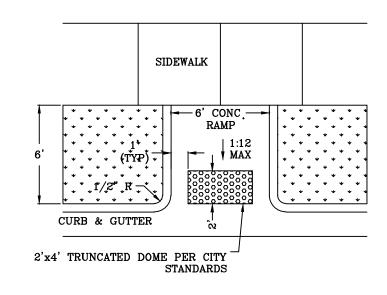
REVEGETATION.



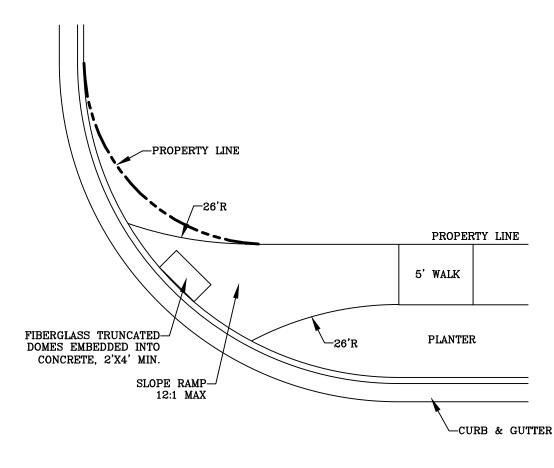
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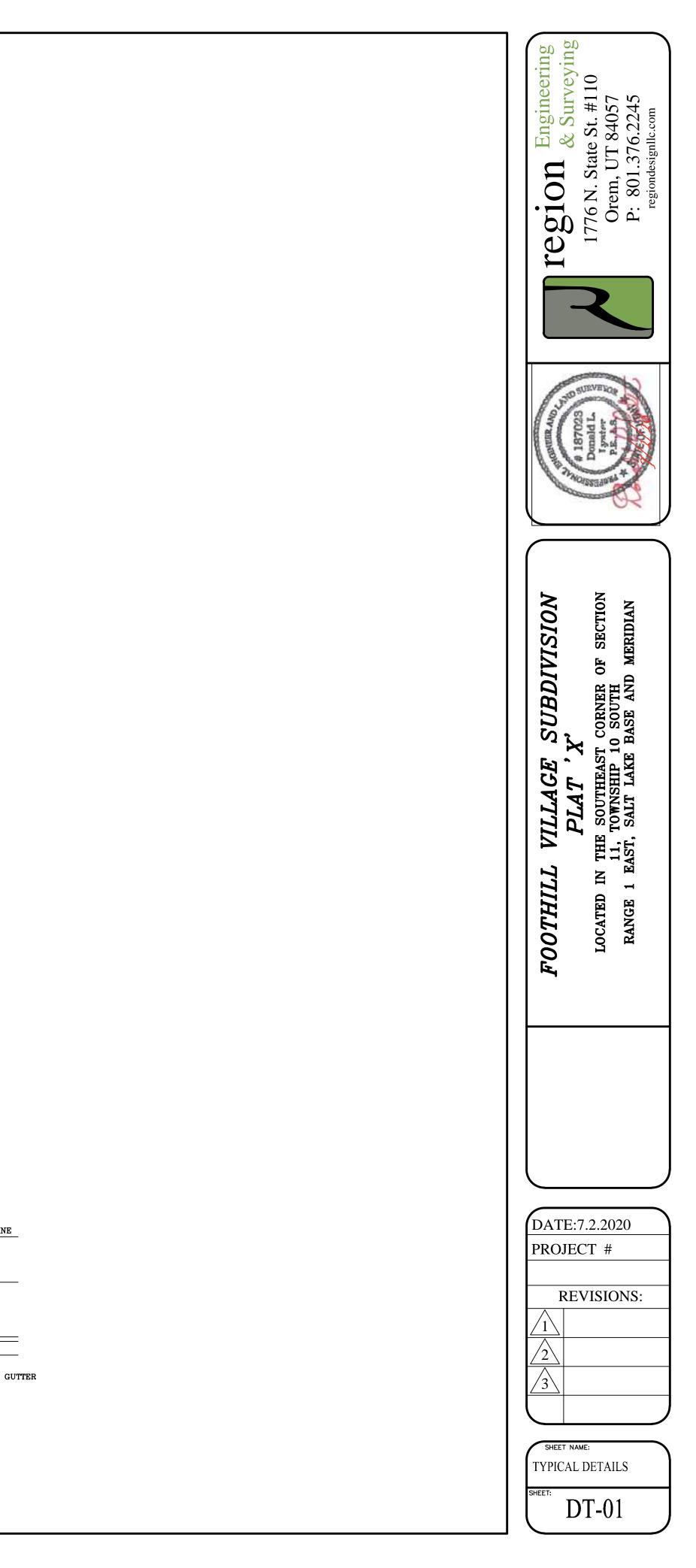


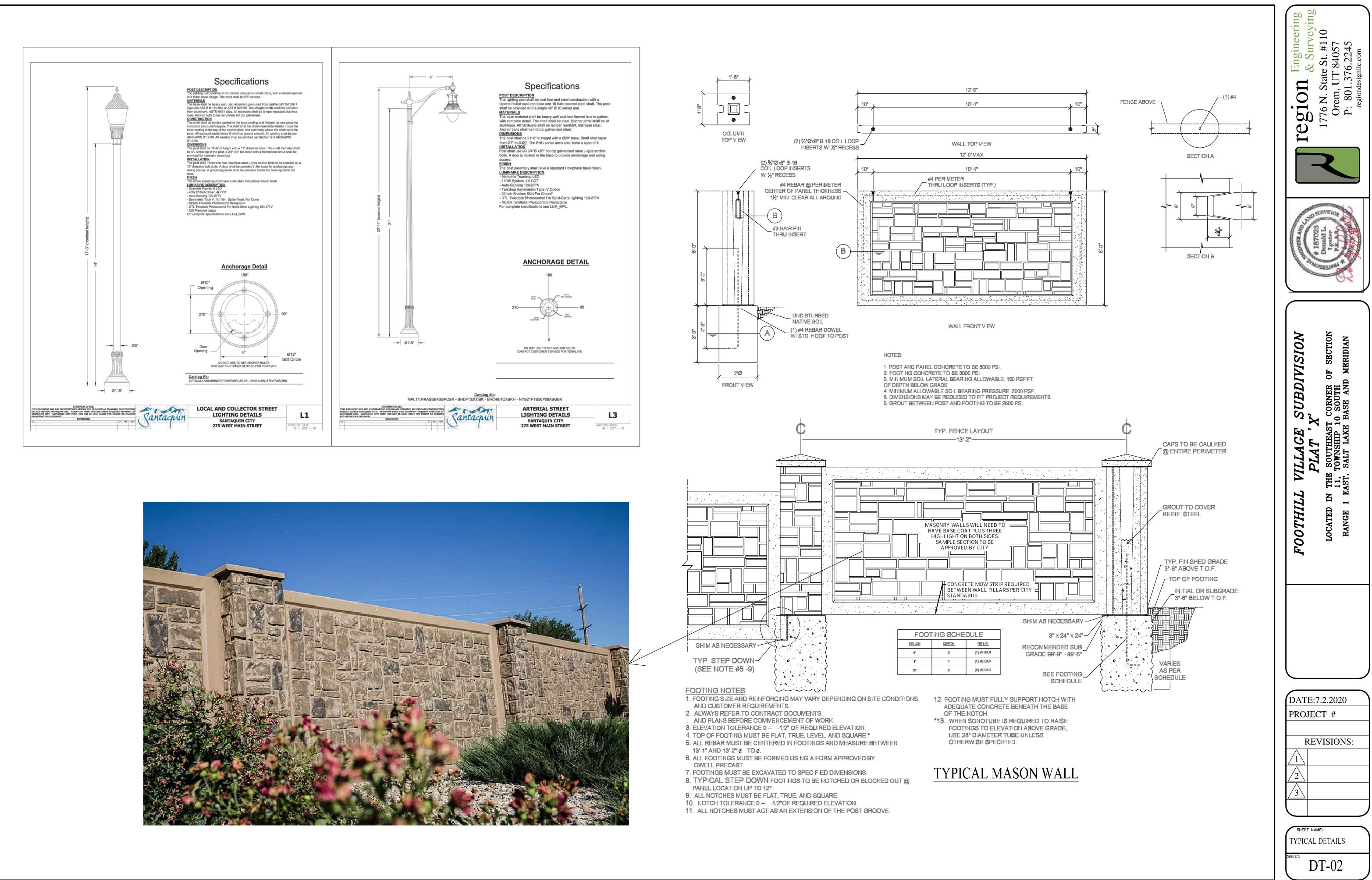


MID-BLOCK RAMP DETAIL

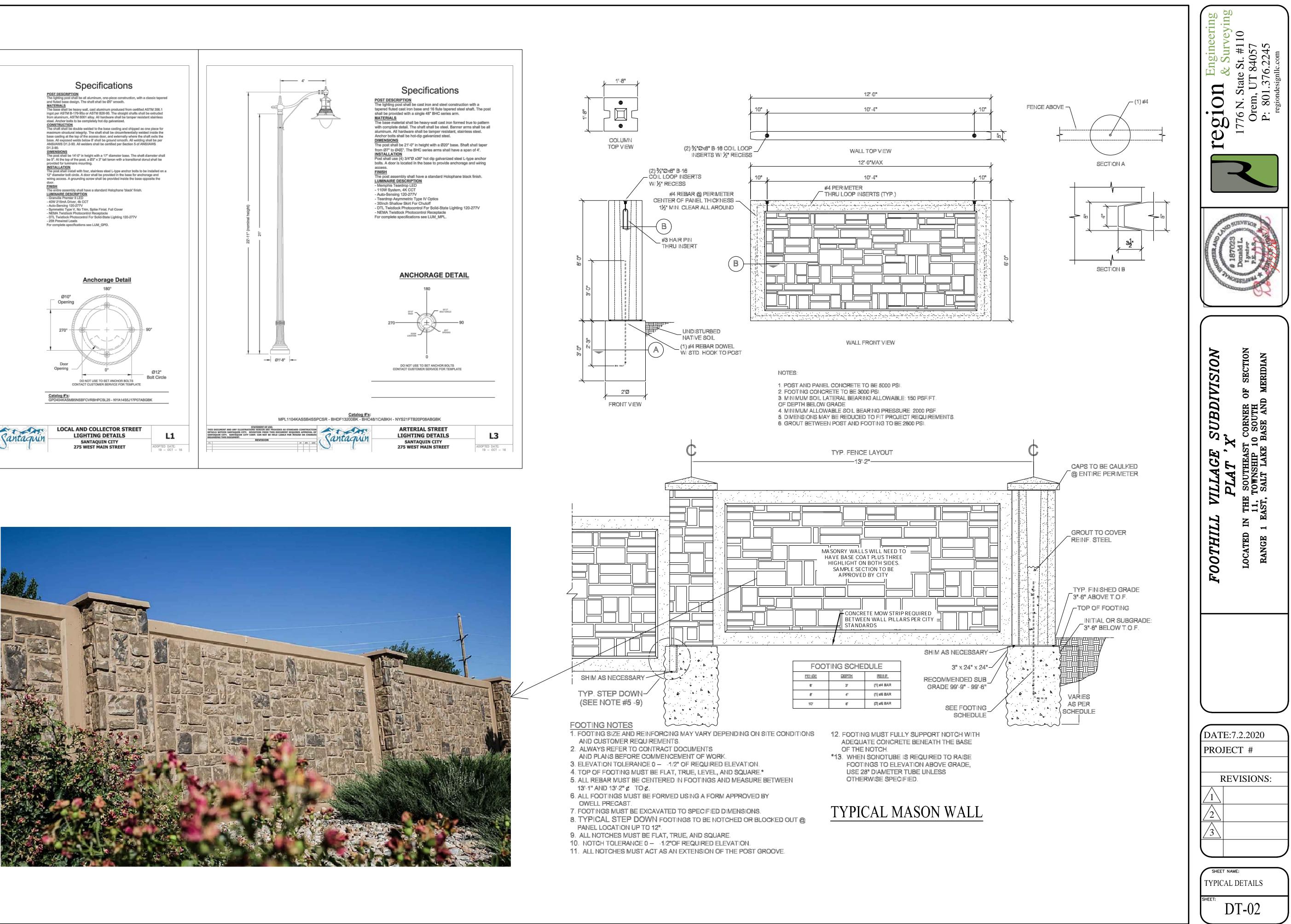


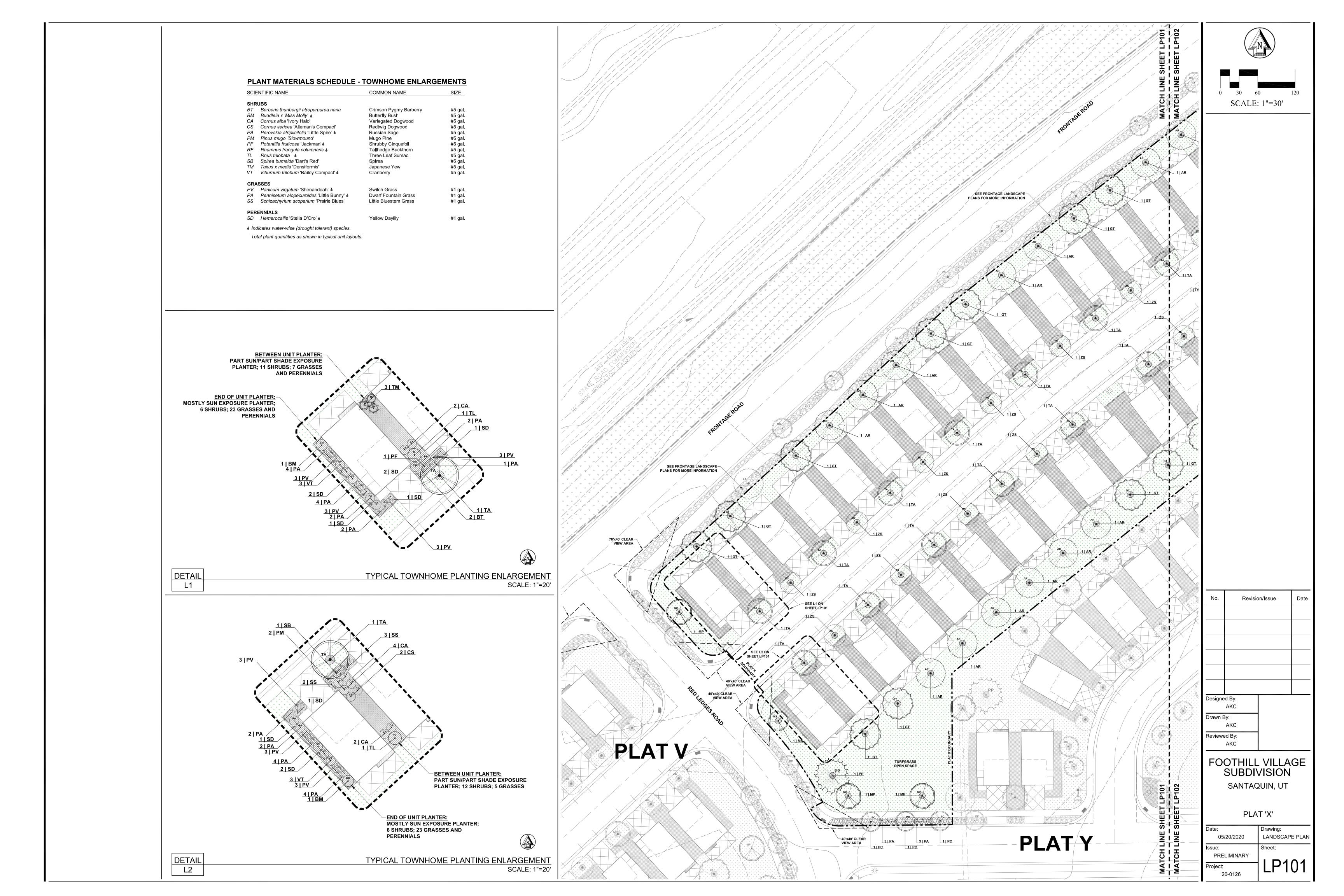


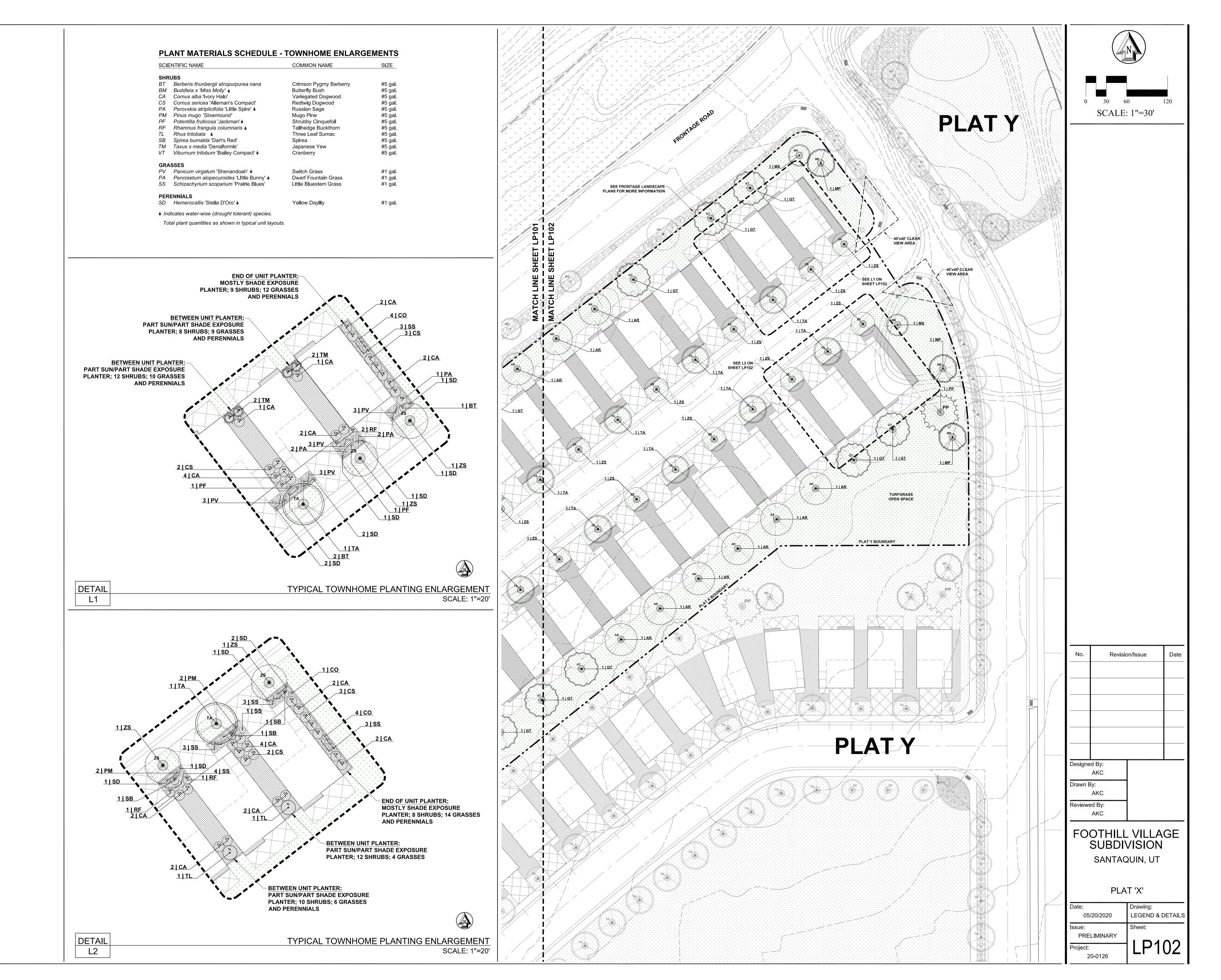


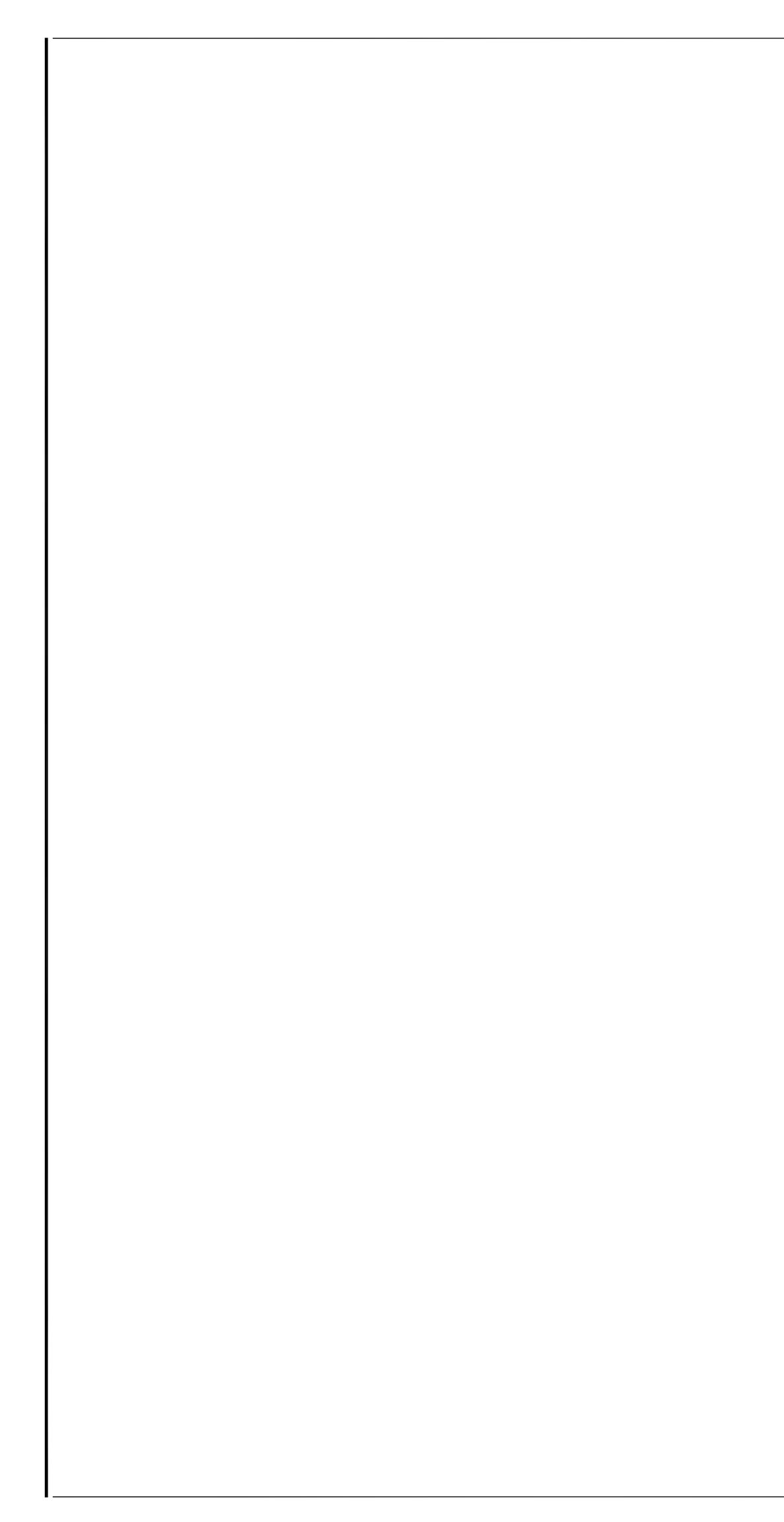


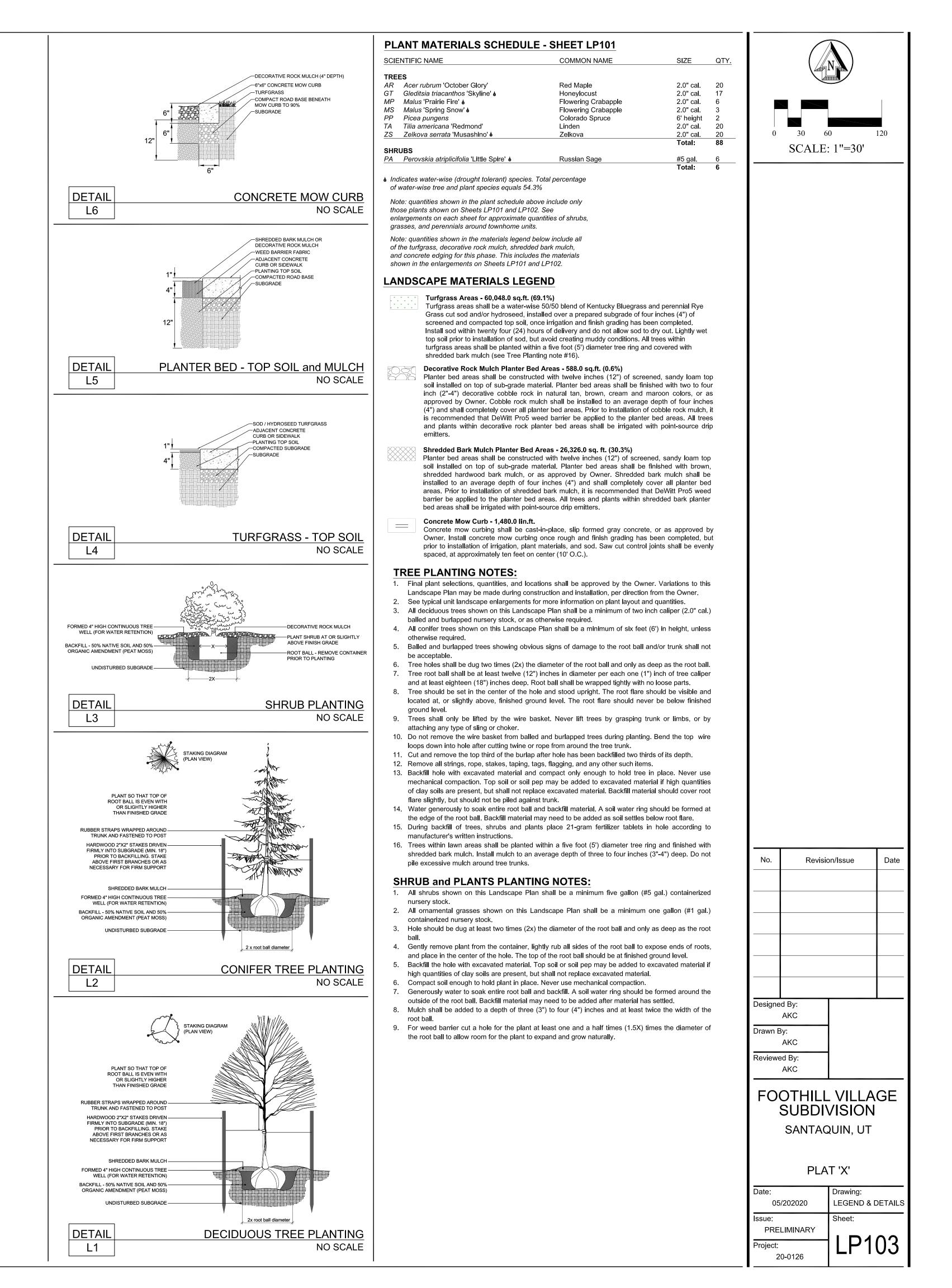
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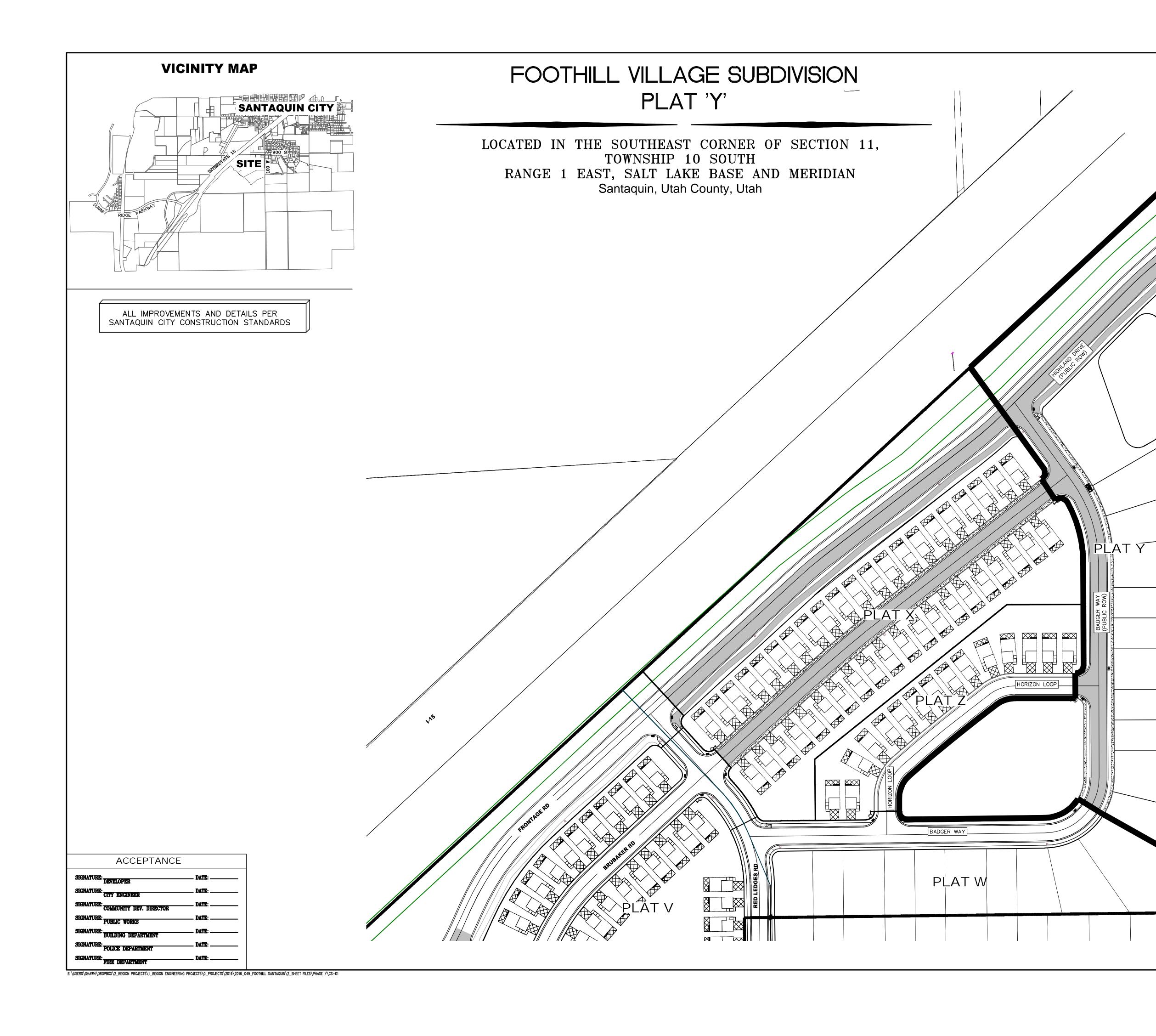


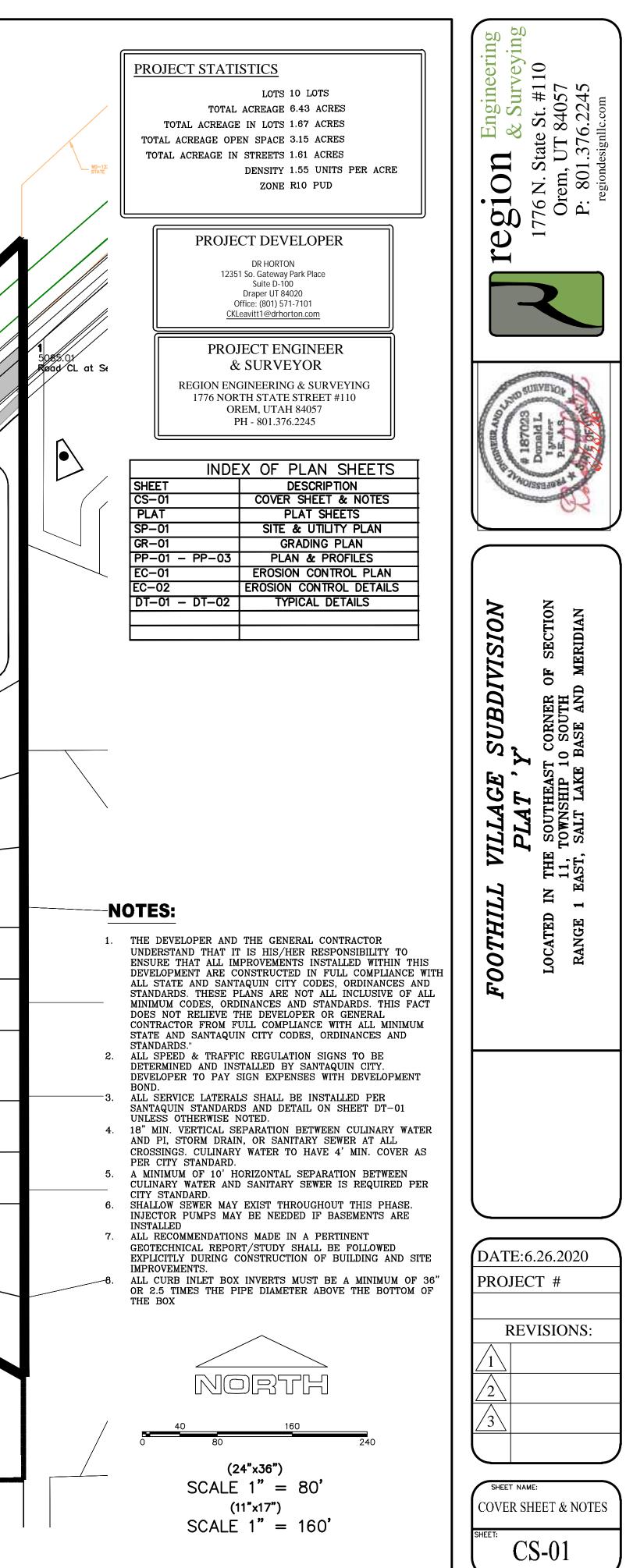






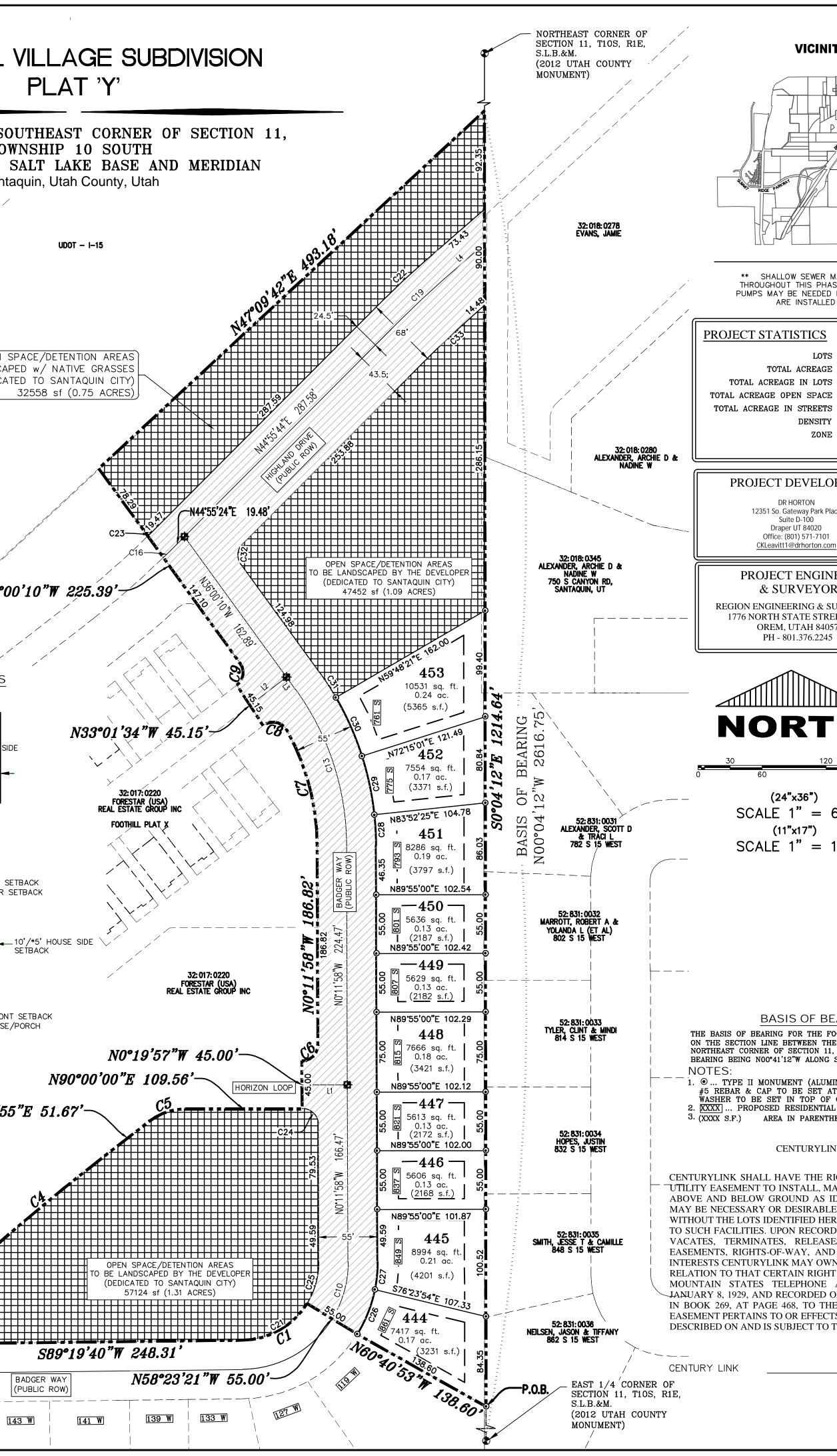






Ĺ	URVE TABL	E		
URVE LENGTH RADIU	S CHORD DIST.	CHORD BRG.	DELTA	FOOTHILL VILL
C1 73.03' 72.50		S60°28'09"W	57°43'01"	PI
C2 23.74' 15.00	21.34'	N45°20'10"W	90*40'20"	
23 46.42' 55.00	45.05'	N24'10'42"E	48 ° 21'24"	
4 152.26' 2241.5)' 152.23'	N50°18'10"E	3 • 53'31 "	LOCATED IN THE SOUTHE
55.00	35.59'	N71°07'28"E	37*45'05"	TOWNSHI DANCE 1 EAST SALT
6 23.61' 15.00	21.25'	N44°54'01"E	90"11'58"	RANGE 1 EAST, SALT Santaquin, I
112.91' 222.5	' 111.70 '	N14°44'12"W	29°04'27"	Cantaquin, C
25.78' 15.00	22.72'	N78'30'45"W	98°28'39"	
23.10' 15.00		N8°07'23"E	88*15'05"	
0 55.52' 100.00		N15'42'20"E	31°48'37"	
3 156.22' 250.00 6 8.37' 750.00		N18*06'04"W	35*48'12"	
8.37' 750.00 9 53.39' 750.00		N45'14'53"E N46'58'04"E	0°38'21" 4°04'42"	
1 73.03' 72.50		S60°28'09"W	⁴ 04 42 57°43'01"	
2 55.13' 774.50		N46'58'04"E	4'04'42"	
23 4.46' 725.50		N45'06'17"E	0°21'08"	
4 23.51' 15.00	21.18'	N45°05'59"W	89'48'02"	OPEN SPACE/
5 40.25' 72.50	39.74'	N15*42'20"E	31 ° 48'37"	TO BE LANDSCAPED w/ (DEDICATED TO
6 45.08' 127.50	44.84	S21*28'58"W	2015'21"	(DEDICATED TO 32558
7 25.71' 127.50	25.67	S5*34'40"W	11 ° 33'16"	
28 28.71' 277.50	' 28.69'	S3°09'47"E	5 ° 55'37"	
29 56.30' 277.50	' 56.20'	S11 ° 56'17"E	11*37'24"	
60.27' 277.5	' 60.15'	S23*58'19"E	12*26'40"	
31 28.13' 277.50		S33*05'54"E	5*48'31"	
2 21.19' 15.00	19.47'	S4°27'47"W	80°55'54"	
33 50.29' 706.50	' 50.28 '	S46°58'04"W	4°04'42"	
	_			
LINE TABLE		LEGEN	<u>ND</u>	
NE LENGTH DIRECTI	N	Δ		R. AS NOTED
1 42.50' N90°00'0	"W	∲ ⊚	SET 5/8"	/ N36°00'10
2 43.23' N5214'5	"Е	٠ ۲		LOT CORNERS
3 14.54' N36°00'1	" W		SET STRE	ENT
4 52.19' N49°00'2)"E	·		
UTILITIES SHALL	UTILITIES A		1 (4'x8' P05	(NOT SET) 10'
AND OPERATE TH GROUND AND ALI THE PUBLIC UTILI PLAT MAP AS MA PROVIDING UTILIT LOTS IDENTIFIED ACCESS TO SUCH REQUIRE REMOVA STRUCTURES, TRI PLACED WITHIN T LOT OWNER TO F PUE AT THE OWN REMOVE SUCH ST AT NO TIME ANY WITHIN THE PUE INTERFERES WITH PRIOR WRITTEN A FACILITIES IN THE ROCKY MTN POW	EIR EQUIPMENT OTHER RELATE IY EASEMENTS Y BE NECESSA SERVICES WIT FACILITIES ANI OF ANY OBST ES AND VEGET TE PUE. THE U EMOVE ALL STR ER'S EXPENSE, RUCTURES AT PERMANENT ST DR ANY OTHER THE USE OF T PPROVAL OF TH PUE.	ABOVE AND E D FACILITIES IDENTIFIED ON RY OR DESIRA HIN AND WITHO NG THE RIGHT THE RIGHT T RUCTIONS INCL ATION THAT M TILITY MAY RE CUCTURES WITH OR THE UTILIT THE OWNER'S I RUCTURES BE OBSTRUCTION HE PUE WITH	BELOW WITHIN THIS BLE IN OUT THE OF OF IUDING AY BE QUIRE THE IN THE TY MAY EXPENSE. PLACED S WITH OUT THE	ACCEPTANCE NOTE BELOW BUILDING SETBACKS (MINIMUM) 25' REAR SETBACK 25' REAR SETBACK *20' REAR SETBACK *20' REAR SETBACK *20' REAR SETBACK *20' REAR SETBACK *20' REAR SETBACK *20' REAR SETBACK *20' REAR SETBACK *20' REAR SETBACK TO GARAGE DOOR CORNER CLEAR ZONE, AS PER CITY CODE *0' FRONT SETBACK TO 20' FRONT SETBACK
CENTRACOM				*FOR LOTS LESS THAN 110' IN DEPTH
DOMINION APPR CONFIRMING THAT TH DOMINION MAY REQUI DEVELOPMENT. THIS APPROVAL OR ACKNOW PLAT, INCLUDING THO THE NOTES AND DOES TERMS OF NATURAL O	E OTHER EASEME APPROVAL DOES I LEDGMENT OF AN E SET FORTH IN NOT CONSTITUTE AS SERVICE. FOI NION'S RIGHT OF	OLELY FOR THE PUBLIC UTILITY INTS IN ORDER NOT CONSTITUTE Y TERMS CONTA THE OWNERS D A GUARANTEE R FURTHER INFO	PURPOSE (EASEMENTS TO SERVE T ACCEPTAN(INED IN TH EDICATION A OF PARTICU ORMATION INT AT	N52°14'55"E 5.

149 W



	Surveyor's Certificate	
	I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT	
	THAT THE SAME HAS BEEN CORRECT. THAT THIS IS TRUE AND CORRECT. Boundary Description	Ar
	BEGINNING AT A POINT LOCATED N00°04'12"W ALONG THE SECTION LINE 242.96 FEET FROM THE EAST QUARTER CORNER SECTION 11, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN;	С
SITE SITE	THENCE, N 60° 40' 53" W FOR A DISTANCE OF 138.60 FEET TO A POINT ON A LINE. THENCE, N 58° 23' 21" W FOR A DISTANCE OF 55.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE,	
	SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 57° 43' 01", HAVING A RADIUS OF 72.50 FEET, AND WHOSI LONG CHORD BEARS S 60° 28' 09" W FOR A DISTANCE OF 69.98 FEET.	Ξ
	THENCE, S 89° 19' 40" W FOR A DISTANCE OF 248.31 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 90° 40' 20", HAVING A RADIUS OF 15.00 FEET, AND WHOSI	Ē
	LONG CHORD BEARS N 45° 20' 10" W FOR A DISTANCE OF 21.34 FEET. THENCE, N 00° 00' 00" E FOR A DISTANCE OF 23.24 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH 48° 21' 24", HAVING A RADIUS OF 55.00 FEET, AND WHOSE LONG CHORD	
	BEARS N 24° 10' 42" E FOR A DISTANCE OF 45.05 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE. SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 03° 53' 31", HAVING A RADIUS OF 2241.50 FEET, AND WHO	
	LONG CHORD BEARS N 50° 18' 10" E FOR A DISTANCE OF 152.23 FEET. THENCE, N 52° 14' 55" E FOR A DISTANCE OF 51.67 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 37° 45' 05", HAVING A RADIUS OF 55.00 FEET, AND WHOS	F
WER MAY EXIST PHASE. INJECTOR	LONG CHORD BEARS N 71° 07' 28" E FOR A DISTANCE OF 35.59 FEET. THENCE, N 90° 00' 00" E FOR A DISTANCE OF 109.56 FEET TO A POINT ON A LINE.	-
EDED IF BASEMENTS ALLED **	THENCE, N 00° 19' 57" W FOR A DISTANCE OF 45.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 90° 11' 58", HAVING A RADIUS OF 15.00 FEET, AND WHOSE	
	LONG CHORD BEARS N 44° 54' 01" E FOR A DISTANCE OF 21.25 FEET. THENCE, N 00° 11' 58" W FOR A DISTANCE OF 186.82 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE LEFT THROUGH 29° 04' 27", HAVING A RADIUS OF 222.50 FEET, AND WHOSE LONG CHORD	`
<u>CS</u>	BEARS N 14° 44' 12" W FOR A DISTANCE OF 111.70 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE. SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 98° 28' 39", HAVING A RADIUS OF 15.00 FEET, AND WHOSE	
LOTS 10 LOTS EAGE 6.43 ACRES	LONG CHORD BEARS N 78° 30' 45" W FOR A DISTANCE OF 22.72 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE.	
LOTS 1.67 ACRES	THENCE, N 33° 01' 34" W FOR A DISTANCE OF 45.15 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 88° 15' 05", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CUORD BEARS N 08° 07' 03" F FOR A DISTANCE OF 20 80 FEET.	
PACE 3.15 ACRES EETS 1.61 ACRES	LONG CHORD BEARS N 08° 07' 23" E FOR A DISTANCE OF 20.89 FEET. THENCE, N 36° 00' 10" W FOR A DISTANCE OF 225.39 FEET TO A POINT ON A LINE. THENCE, N 47° 09' 42" E FOR A DISTANCE OF 493.18 FEET TO A POINT ON A LINE.	
ISITY 1.55 UNITS PER ACRE	THENCE S 00° 04' 12" E A DISTANCE OF 1214.64 FEET TO THE POINT OF BEGINNING	
ZONE R10 PUD	CONTAINS: ± 6.48 ACRES AND 10 TOTAL LOTS	
ELOPER		
	SLONAL LAND OR	
Park Place))20	No. 368356	
-7101 ton.com	ROBBIN J. MULLEN	
GINEER YOR	AFE OF UT B	
I OK G & SURVEYING	DATE SURVEYOR	
STREET #110 84057	OWNERS DEDICATION	
.2245	KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP. HAVE CAU	IE SI
	PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAU THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICAT THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.	Ē
	IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS THIS	
	DAY OF , A.D. 20	
ты		
120	LIMITED COMPANY ACKNOWLEDGEMENT	
180	STATE OF UTAH	
) = 60'	S.S. COUNTY OF UTAH	
)	ON THIS DAY OF, A.D. 20 PERSONALLY APPEARED BEFO ME THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLED)R
= 120'	TO ME THAT (S)HE IS THEOF	
	A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.	NĽ
		- 44
	MY COMMISSION EXPIRES	
	MY COMMISSION EXPIRES A NOTARY PUBLIC COMMISSIONED IN UTAH	
	A NOTARY PUBLIC COMMISSIONED IN UTAH	
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NOTES TO CONTRACTOR:

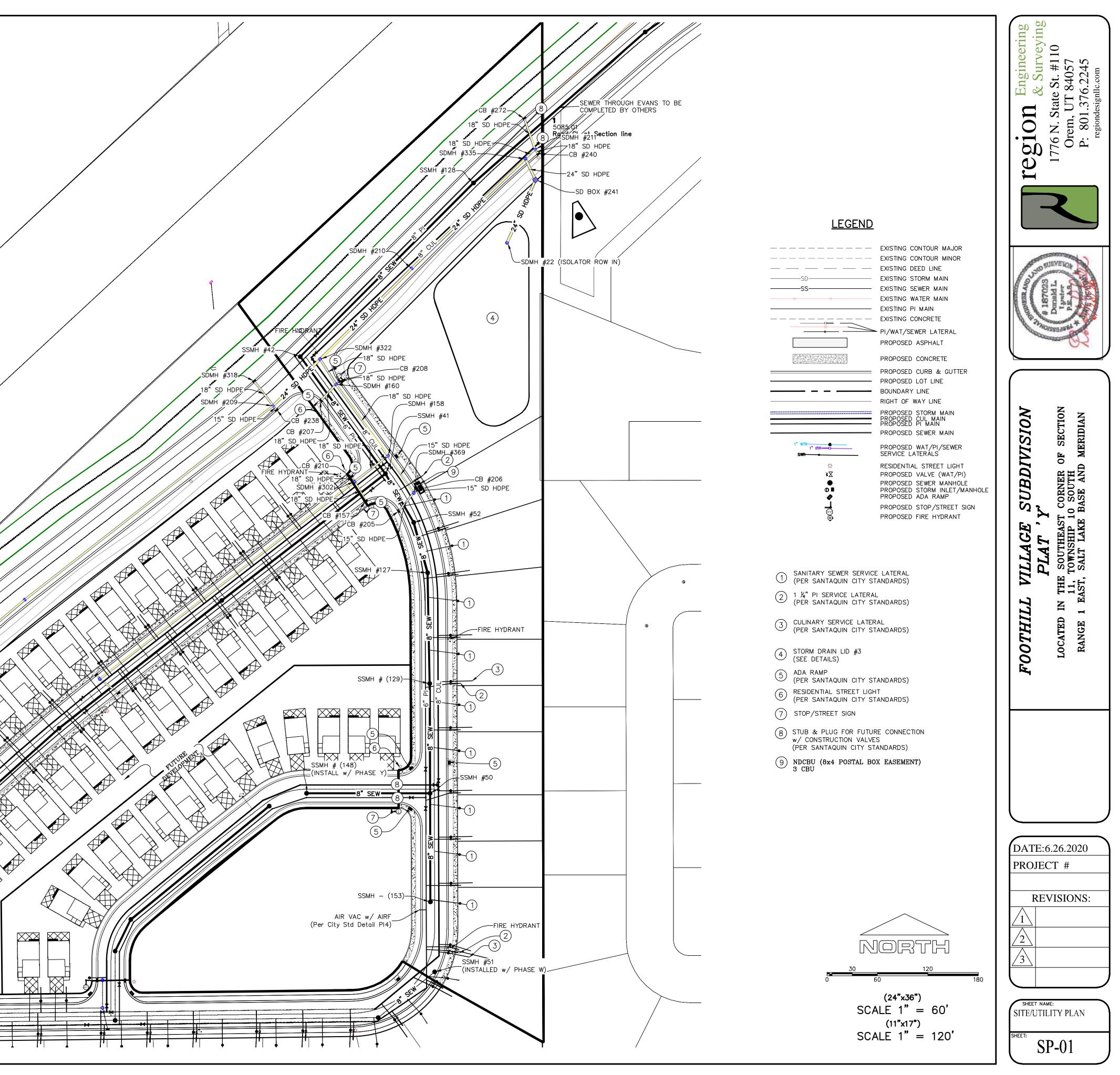
CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

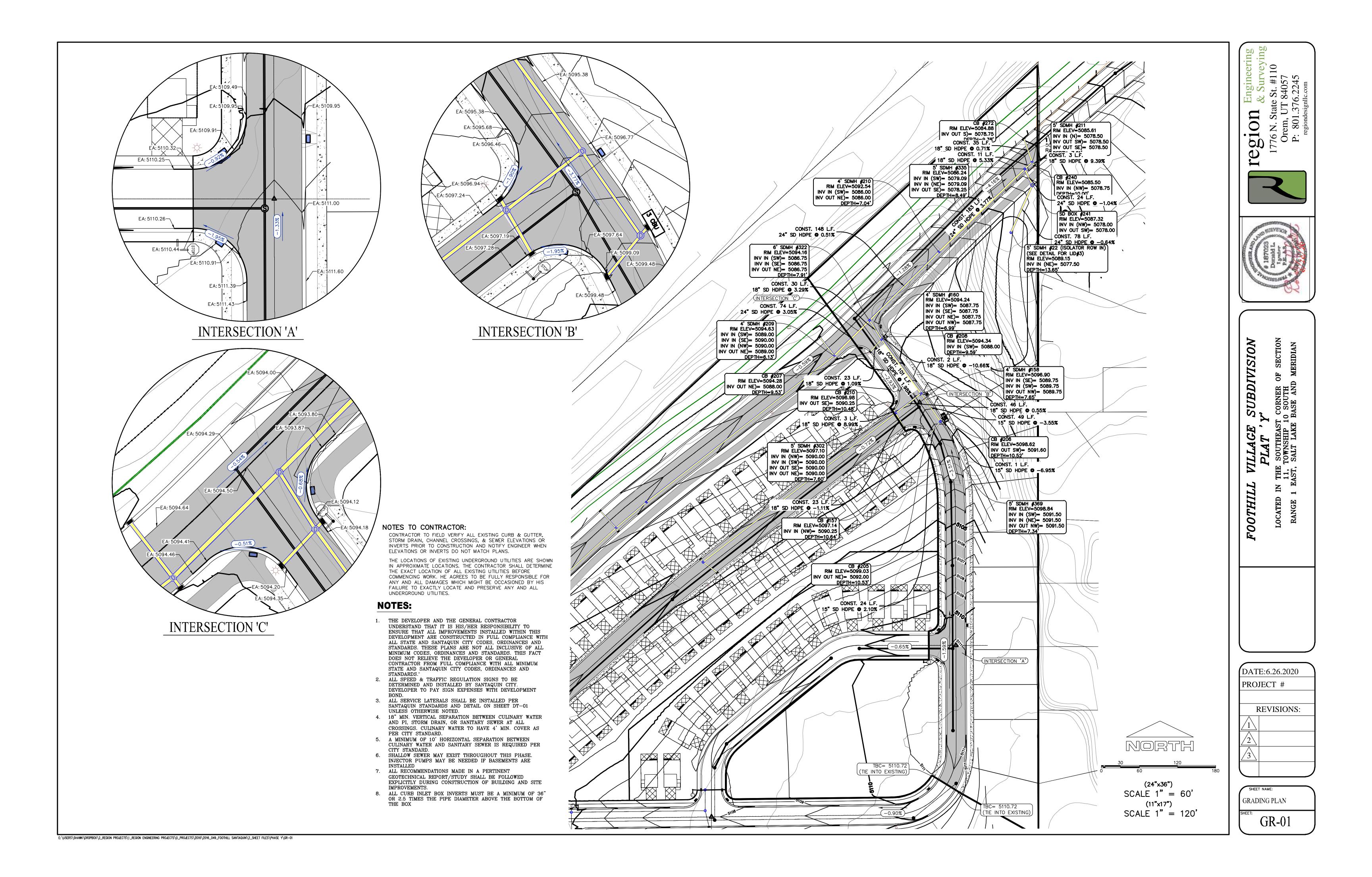
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

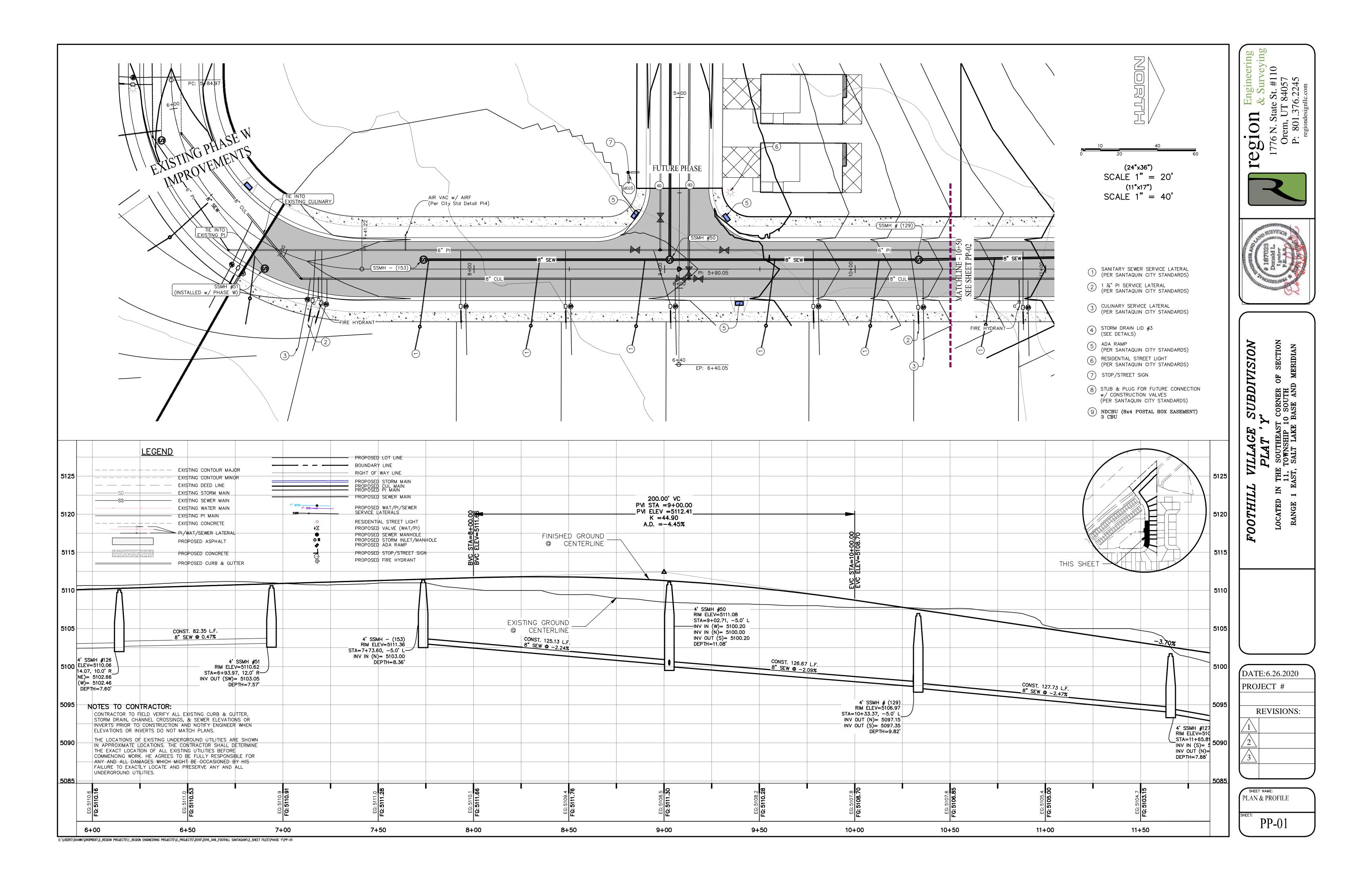
NOTES:

- 1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS."
- 2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- 3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01
- UNLESS OTHERWISE NOTED. 4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
- A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
 SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE.
- INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED
 ALL RECOMMENDATIONS MADE IN A PERTINENT
- GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
 8. ALL CURB INLET BOX INVERTS MUST BE A MINIMUM OF 36"
- OR 2.5 TIMES THE PIPE DIAMETER ABOVE THE BOTTOM OF THE BOX

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

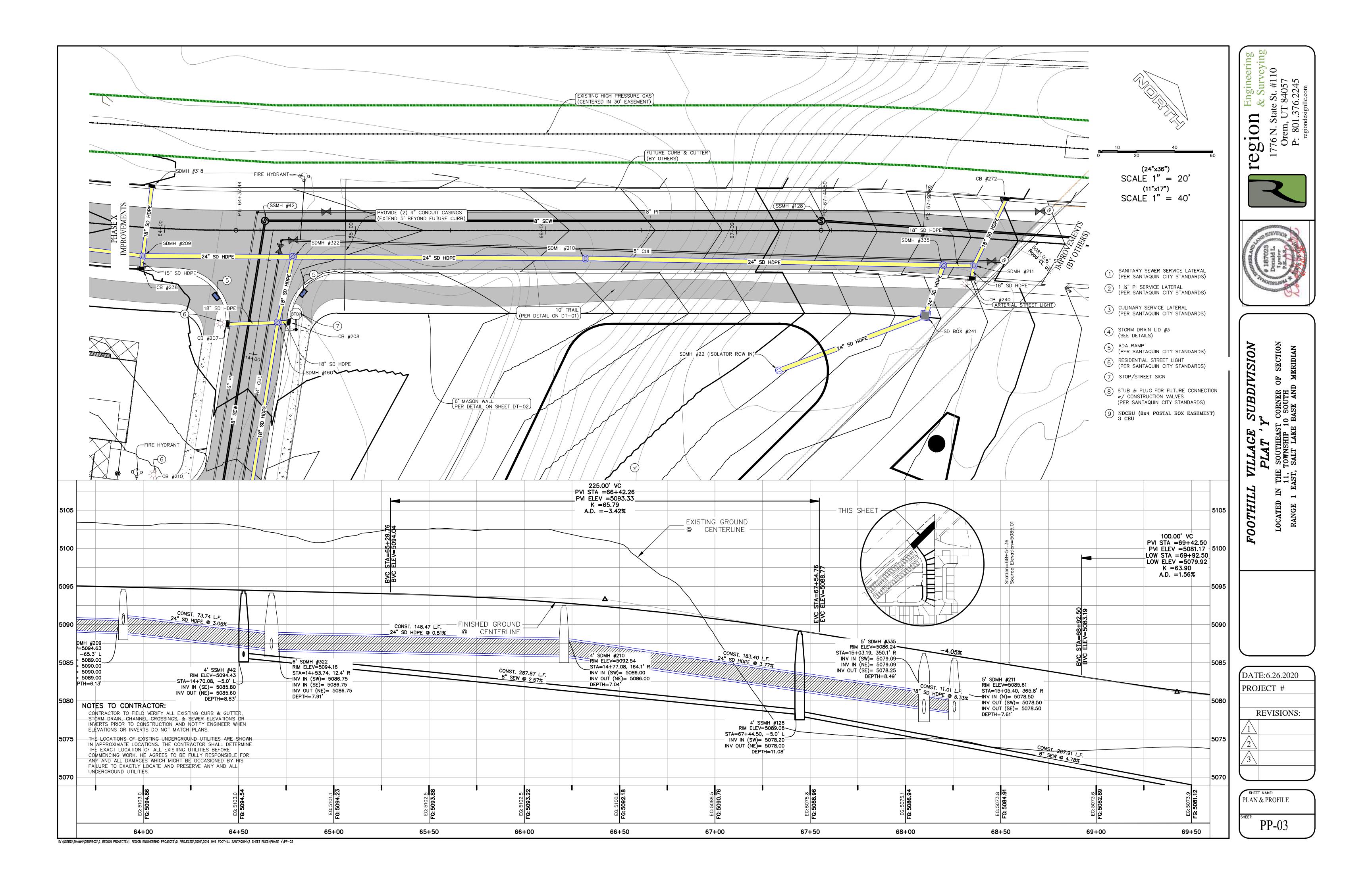






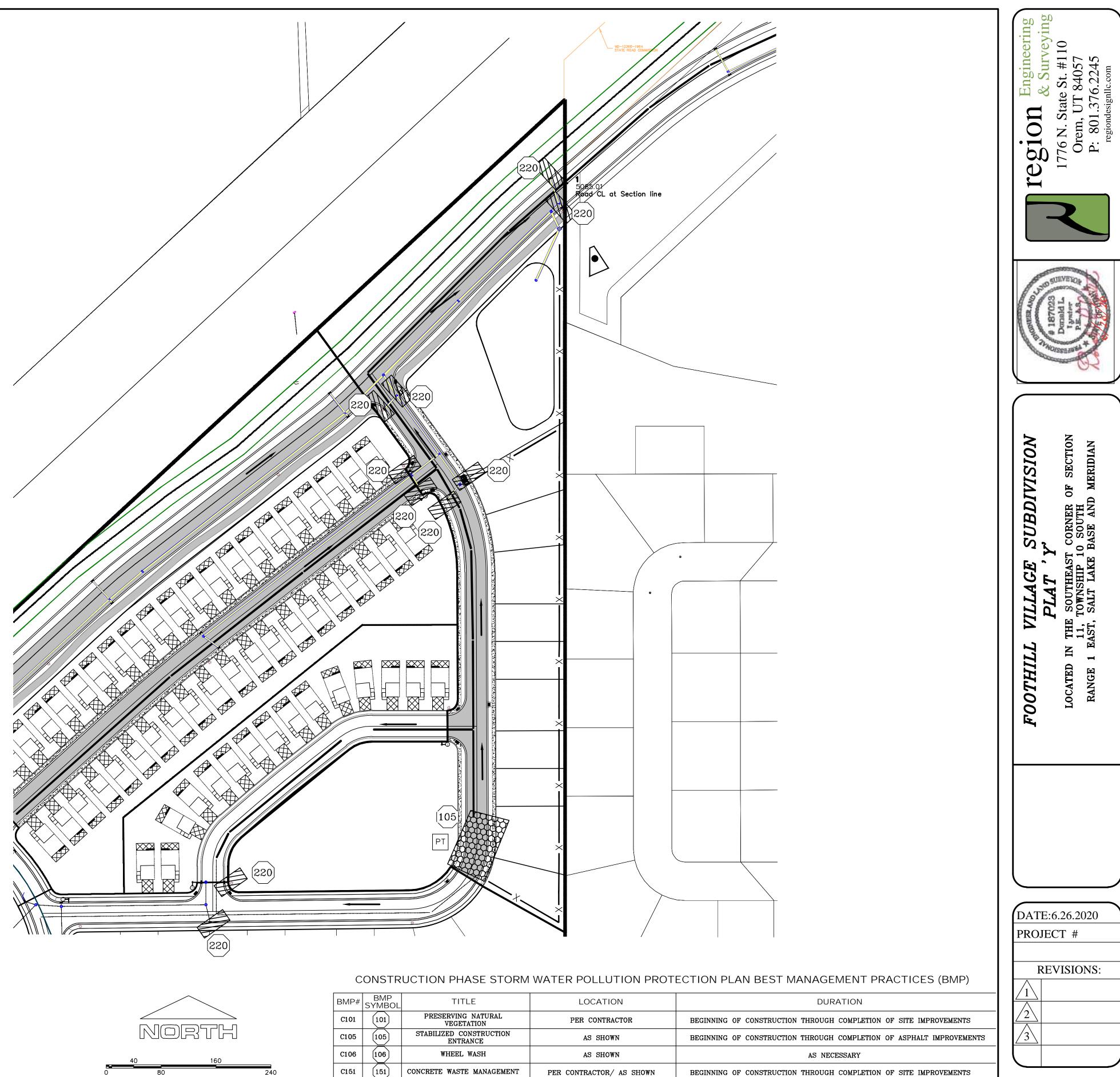


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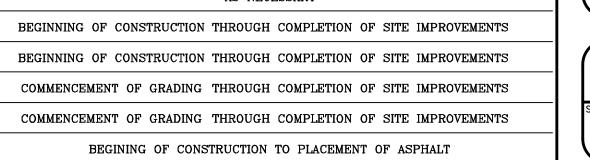


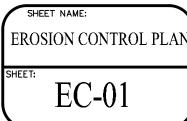
_	LE	GEND:
		POSED SILT FENCE SHEET EC-02)
	FLOW	ARROW
	105 7777777	POSED VEHICLE TRACKING CONTROL SHEET EC-02)
		POSED CURB INLET PROTECTION
		SHEET EC-02) TABLE TOILETS
<u>10</u> 1.	TES: IN THE EVENT THAT ANY UNFORESI	EEN CONDITIONS NOT COVERED
	BY THESE NOTES ARE ENCOUNTERE OPERATIONS, THE OWNER/ENGINEER NOTIFIED FOR DIRECTION.	
2.	IT IS THE RESPONSIBILITY OF THE NECESSARY CUTS AND FILLS WITHIN	THE LIMITS OF THIS PROJECT
3.	AND THE RELATED OFF-SITE WORK, DESIRED SUBGRADE, FINISH GRADES CONTRACTOR IS TO TAKE FULL RES	S AND SLOPES SHOWN.
	EXCAVATION. ADEQUATE SHORING IS PROVIDED BY THE CONTRACTOR TO	TO BE DESIGNED AND PREVENT UNDERMINING OF
4.	ANY ADJACENT FEATURES OR FACIL EXCAVATION. THE CONTRACTOR IS WARNED THAT	AN EARTHWORK BALANCE WAS
	NOT NECESSARILY THE INTENT OF ' MATERIAL REQUIRED OR LEFTOVER EARTHWORK OPERATIONS BECOMES	MATERIAL FOLLOWING
5.	CONTRACTOR. THE GRADING CONTRACTOR IS RESP	ONSIBLE TO COORDINATE WITH
	THE OWNER TO PROVIDE FOR THE PROJECT STORM WATER POLLUTION AND ASSOCIATED PERMIT.	PREVENTION PLAN (SWPPP)
	ALL CUT AND FILL SLOPES ARE TO EFFECTIVE EROSION CONTROL HAS THE USE OF POTABLE WATER WITHO	BEEN ESTABLISHED.
	BUILDING OR CONSTRUCTION PURPO OF BACKFILL OR DUST CONTROL IS	SED INCLUDING CONSOLIDATION PROHIBITED. THE CONTRACTOR
8.	IS TO OBTAIN ALL NECESSARY PERM THE CONTRACTOR IS TO MAINTAIN T ALL OTHER PUBLIC RIGHT-OF-WAY	THE STREETS, SIDEWALKS, AND
	CONDITION. ALL SPILLS OF SOIL, RC IS TO BE PROMPTLY REMOVED FROM PROPERTY DURING CONSTRUCTION A	M THE PUBLICLY OWNED
0	PROJECT. ALL ADJACENT PROPERTY, MAINTAINED IN A CLEAN, SAFE AND	PRIVATE OR PUBLIC IS TO BE USABLE CONDITION.
9.	REQUIRED THAT IS NOT SHOWN ON AGREES TO PROVIDE AND INSTALL 3	THESE DRAWINGS, THE OWNER SUCH ITEM AT HIS OWN
	EXPENSE AND AT THE DIRECTION O DEPARTMENT. TEMPORARY CONSTRU BERMS, ROAD SIGNS AND BARRICAD	CTION INCLUDES DITCHES,
	PROJECT INFO	RMATION SIGN
	ANY ACTIVITY THAT REQUIRES A G AND MAINTAIN A PROJECT INFORI	RADING PERMIT SHALL INSTALL MATION SIGN IN ACCORDANCE
	ANY ACTIVITY THAT REQUIRES A G	RADING PERMIT SHALL INSTALL MATION SIGN IN ACCORDANCE G REQUIREMENTS:
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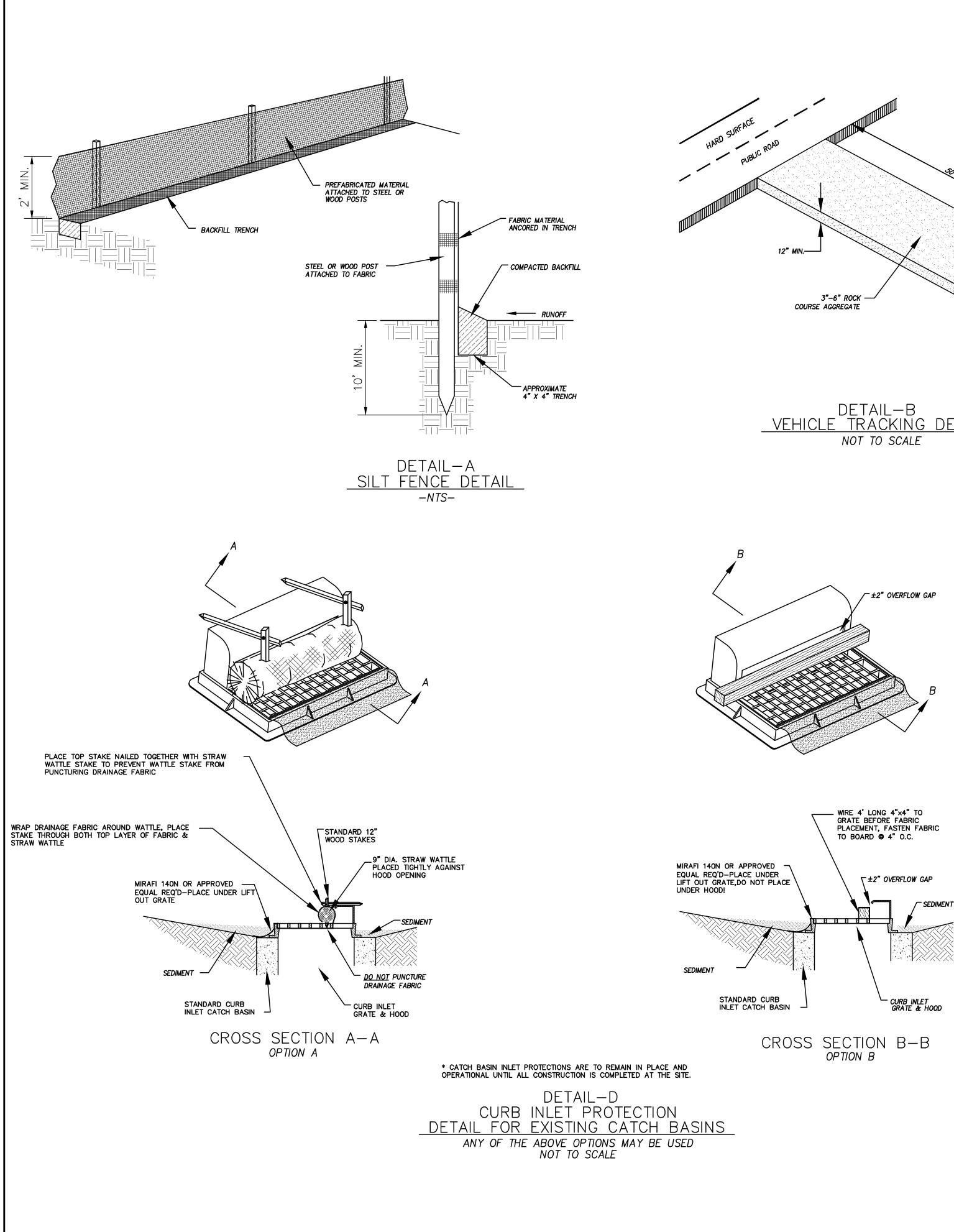
E:\USERS\SHAWN\DROPBOX\2_REGION PROJECTS\1_REGION ENGINEERING PROJECTS\0_PROJECTS\2016\2016_049_FOOTHILL SANTAQUIN\2_SHEET FILES\PHASE Y\EC-01



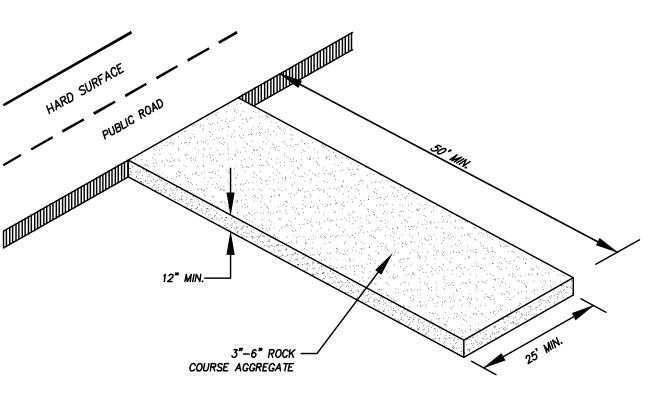
	BMP#	BMP SYMBOL	TITLE	LOCATION
	C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR
NORTH	C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN
40 160	C106	106	WHEEL WASH	AS SHOWN
80 240	C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN
(24"x36")	C190	190	PORTABLE TOILETS	PER CONTRACTOR/ AS SHOWN
SCALE 1" = 80'	C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN
(11"×17") SCALE 1" = 160'	C233	233	SILT FENCE	AS SHOWN
SCALE I = IOU	C233	240	SEDIMENT TRAP	AS SHOWN



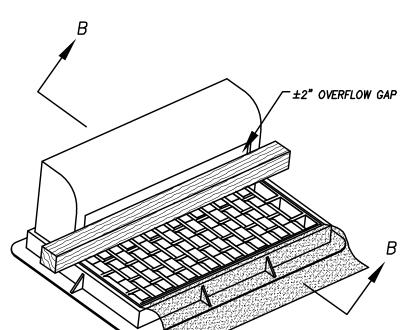


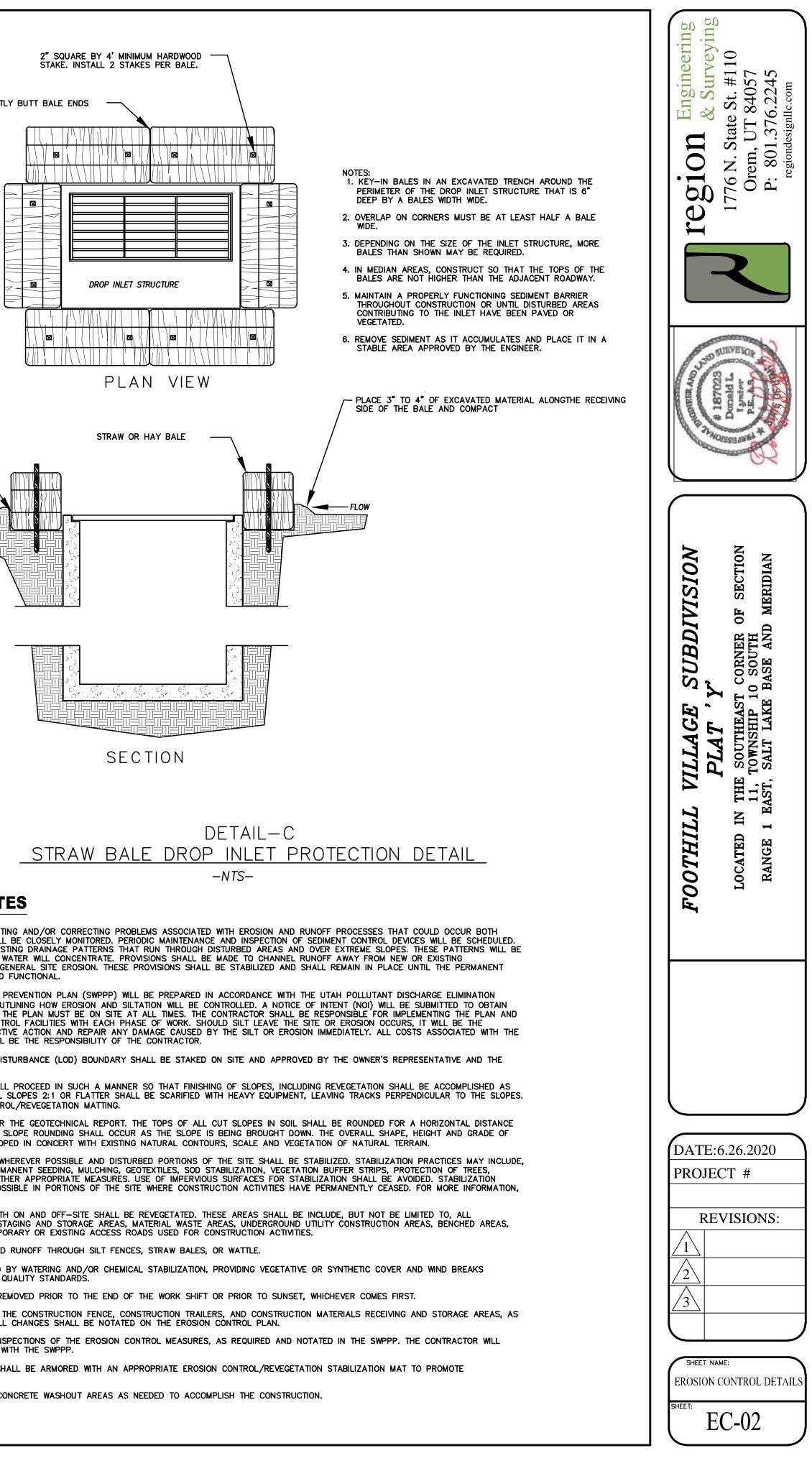


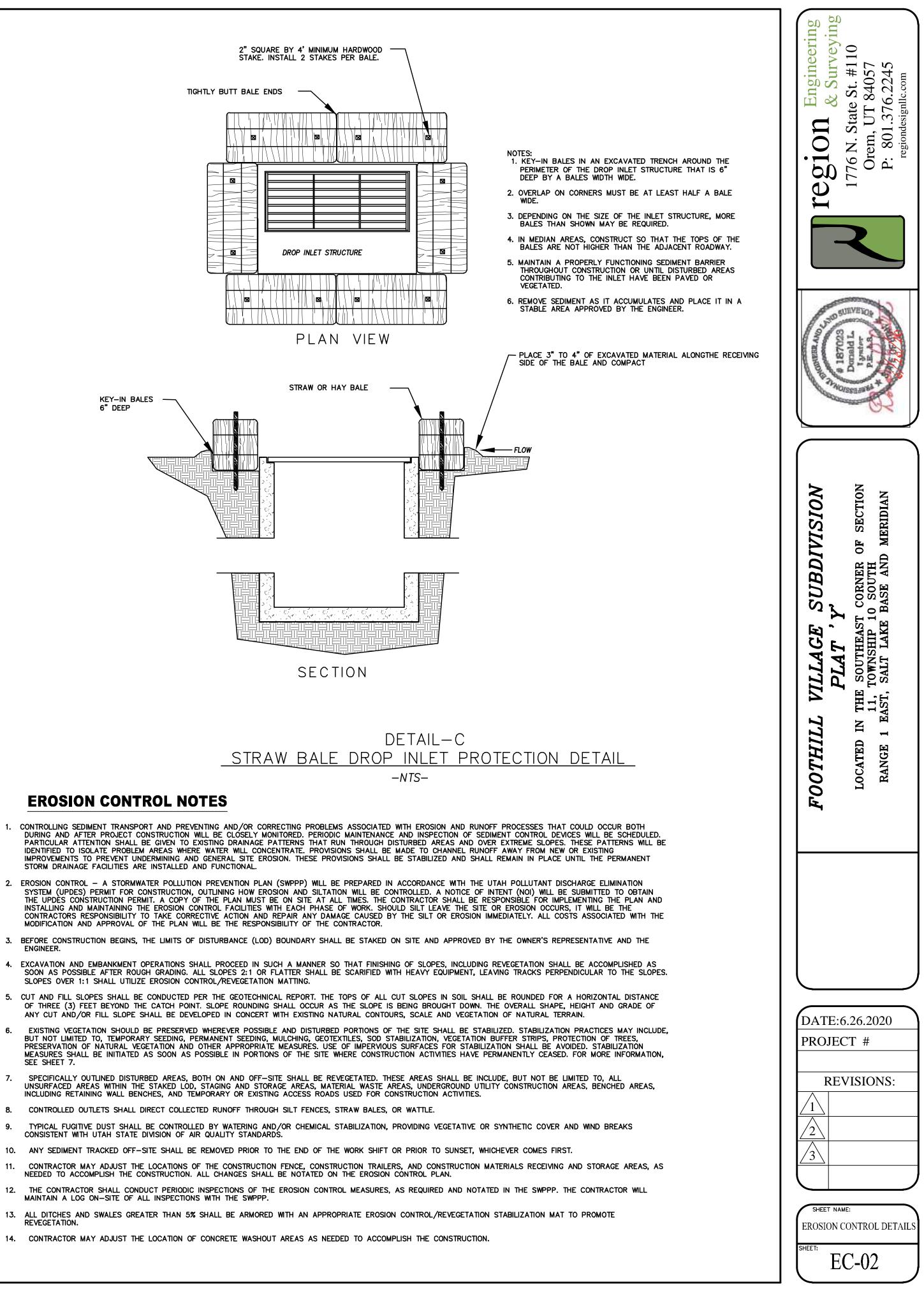
E: \USERS\SHAWN\DROPBOX\2_REGION PROJECTS\1_REGION ENGINEERING PROJECTS\0_PROJECTS\2016\2016_2049_FOOTHILL SANTAQUIN\2_SHEET FILES\PHASE Y\EC-02

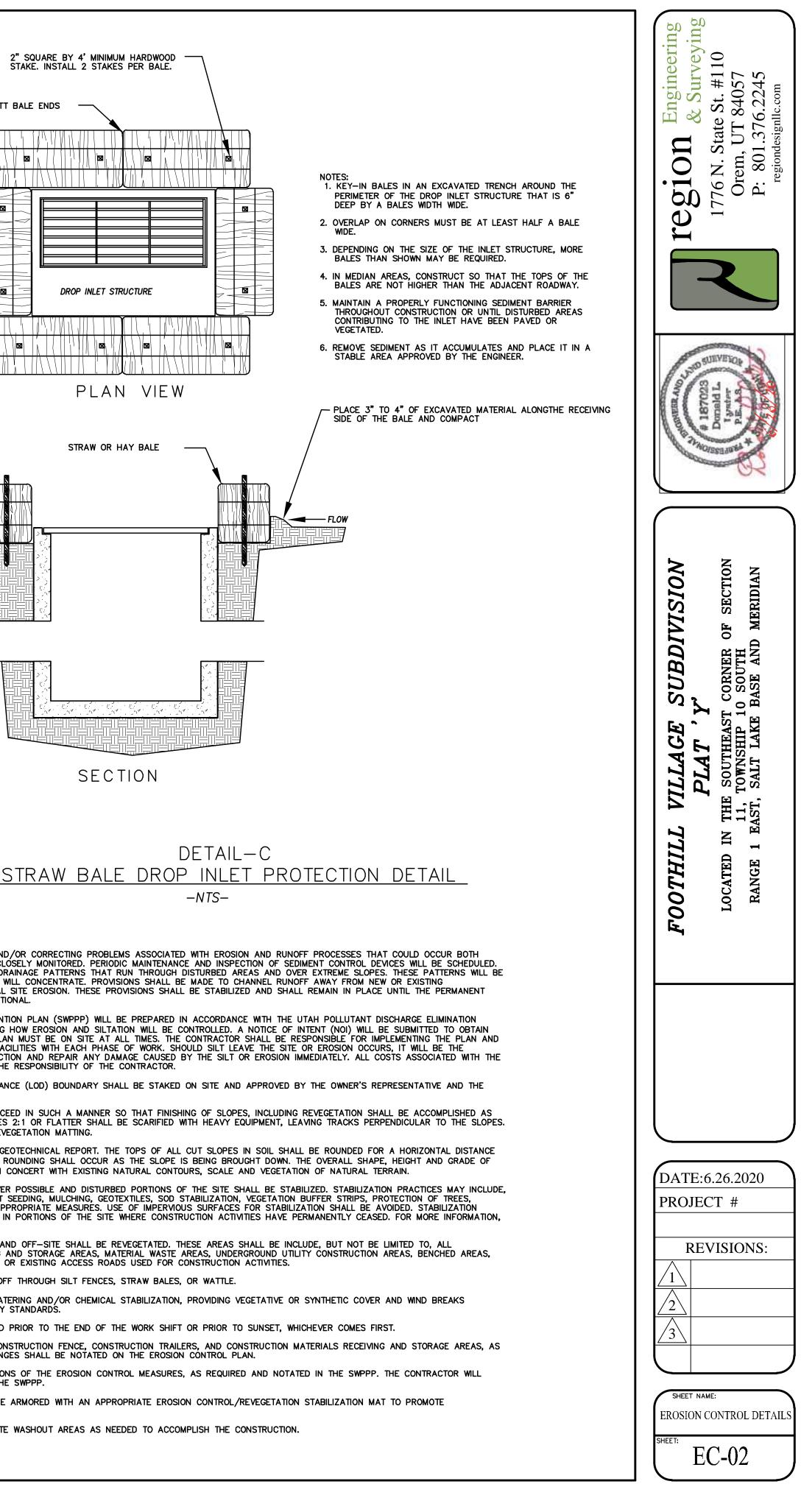










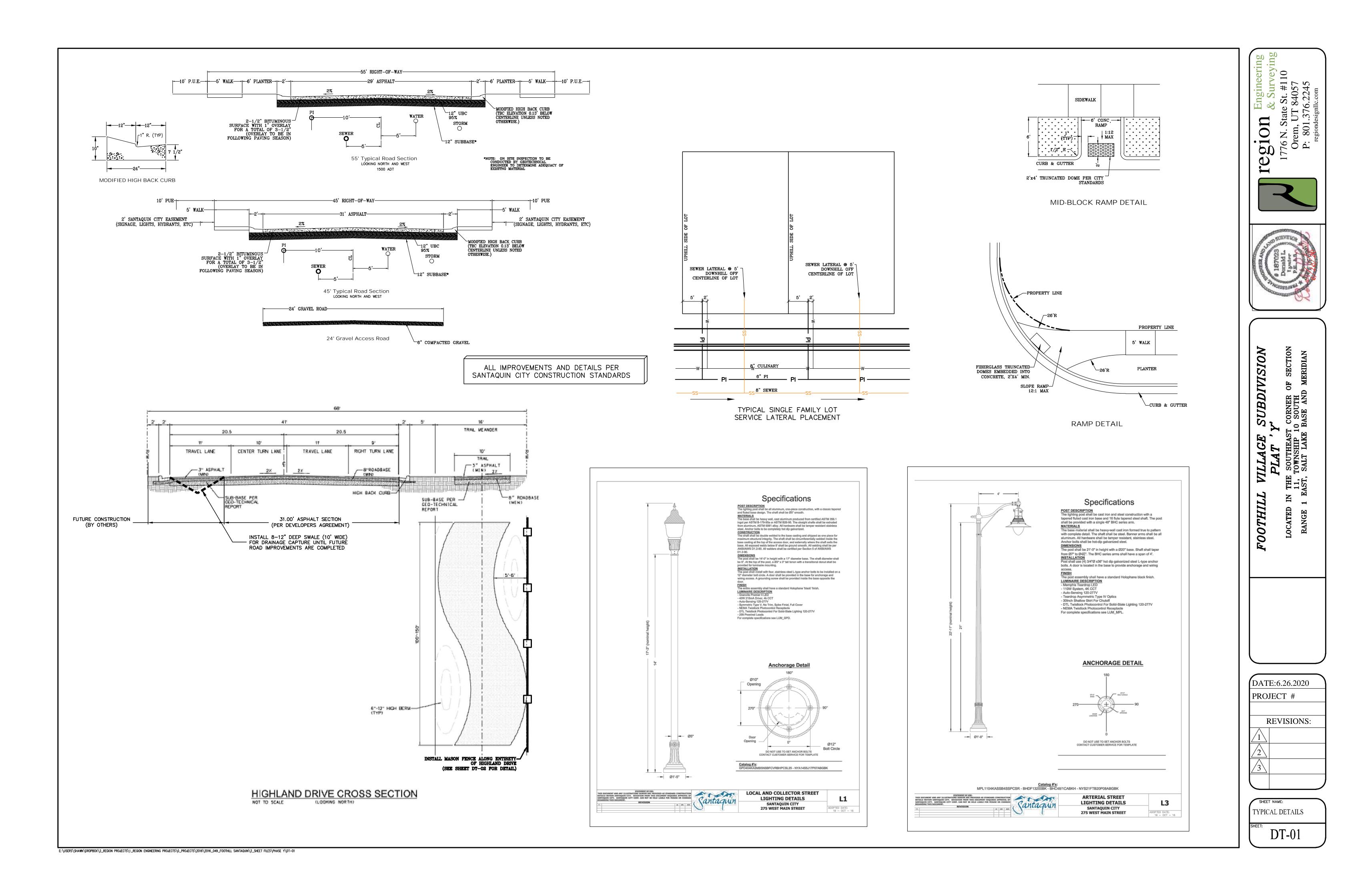


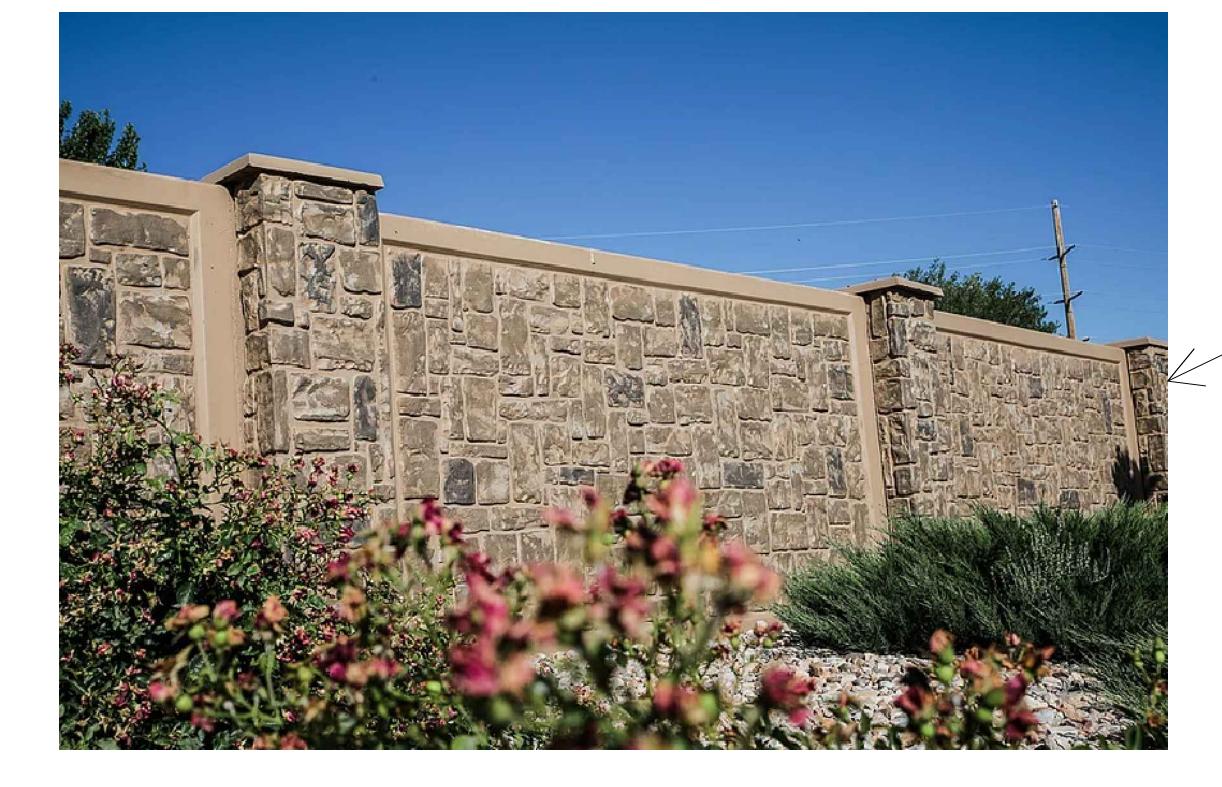
EROSION CONTROL NOTES

- STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
- ENGINEER.
- SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
- SEE SHEET 7.
- 7.
- 9. CONSISTENT WITH UTAH STATE DIVISION OF AIR QUALITY STANDARDS.

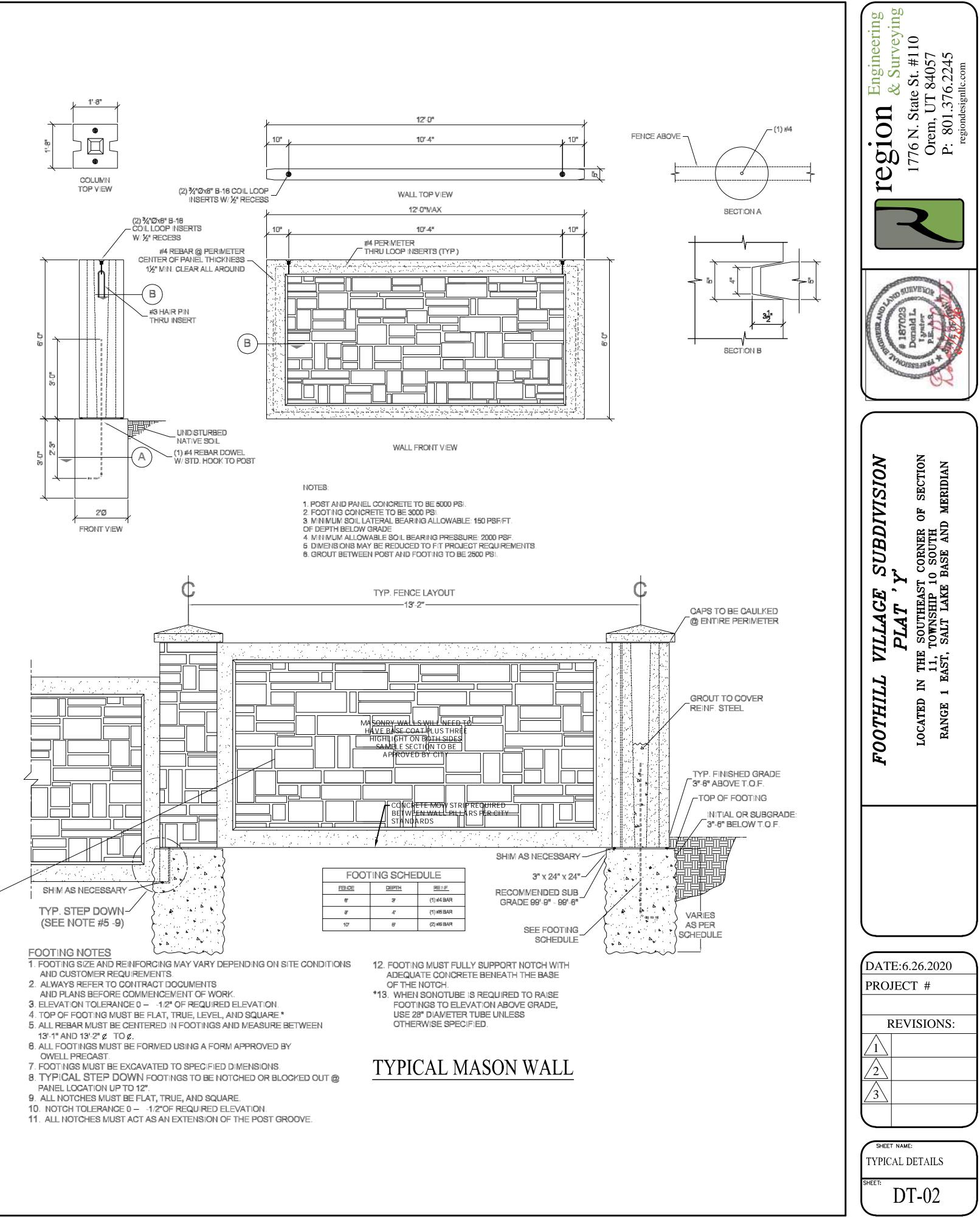
- MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.

REVEGETATION.

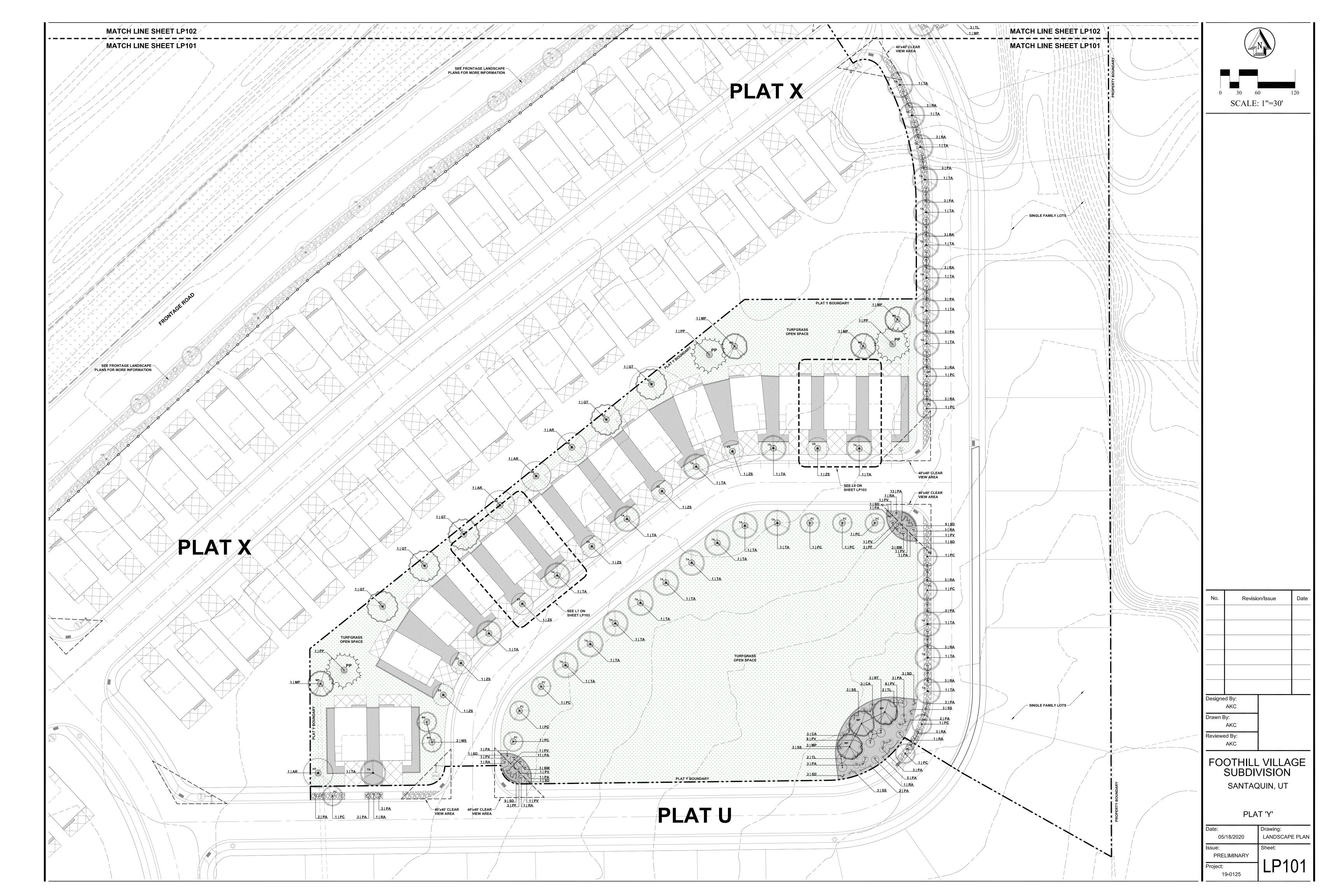


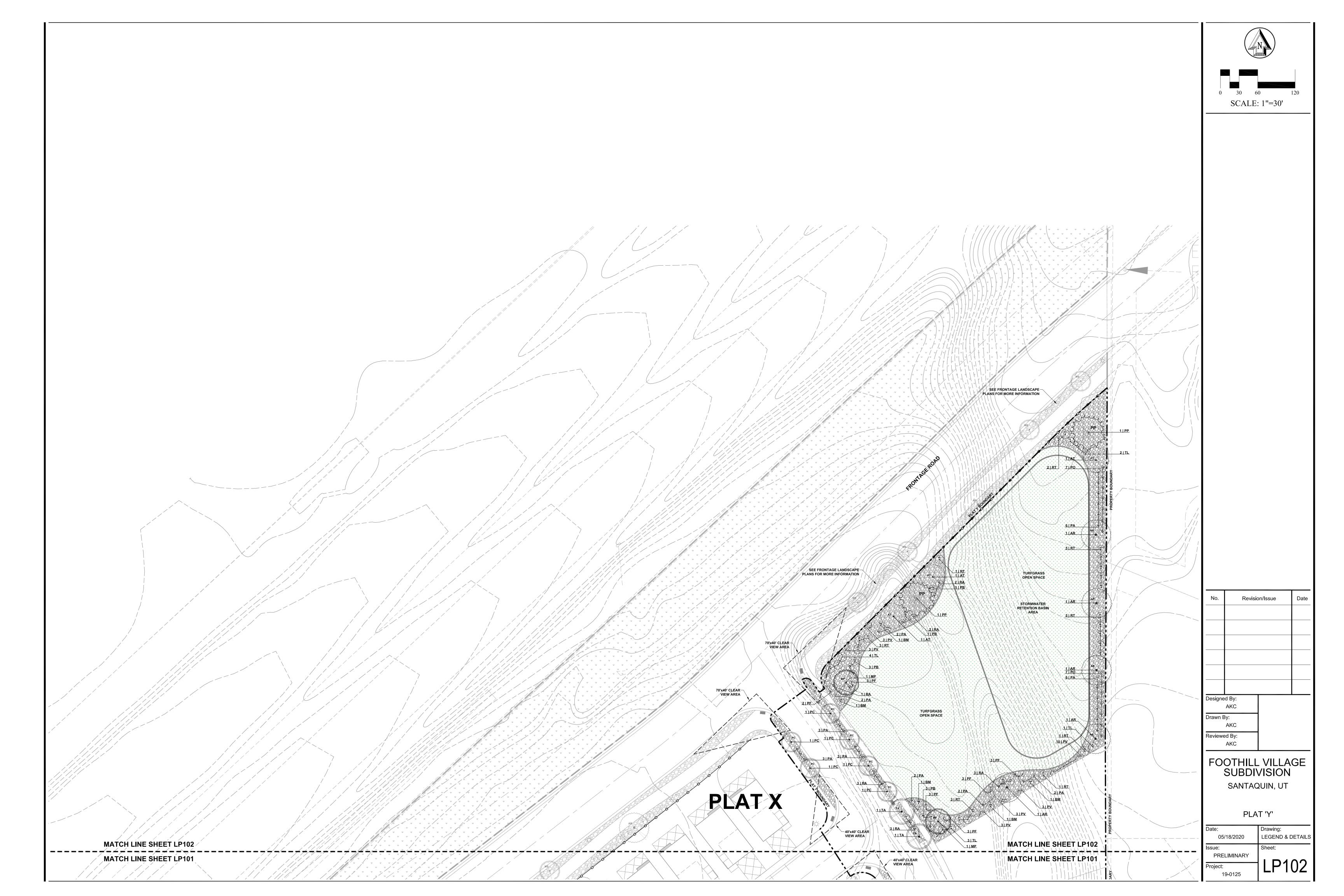


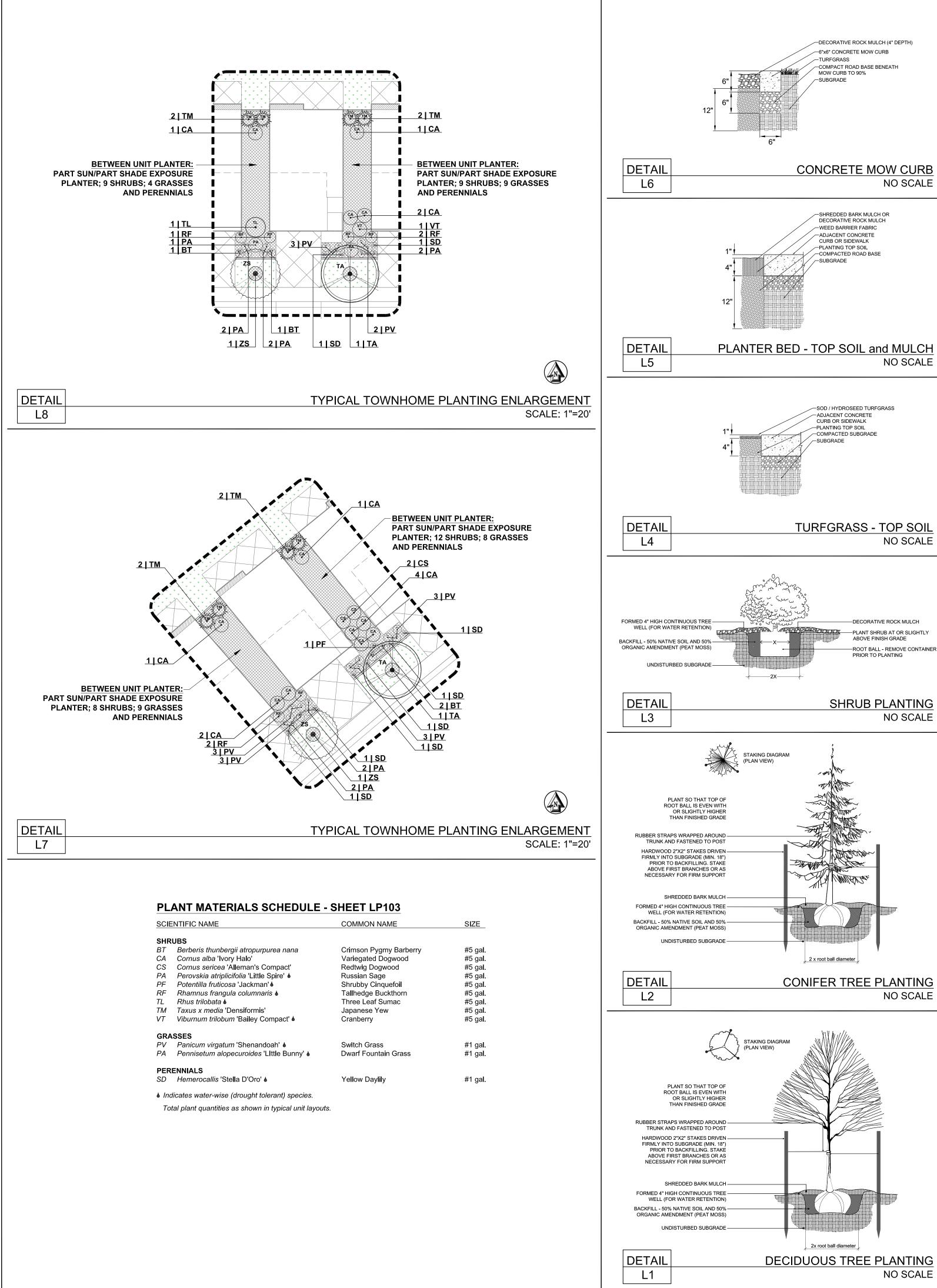
E: USERS/SHAWN/DROPBOX/2_REGION PROJECTS/1_REGION ENGINEERING PROJECTS/0_PROJECTS/2016/2016_049_FOOTHILL SANTAQUIN/2_SHEET FILES/PHASE Y/DT-01



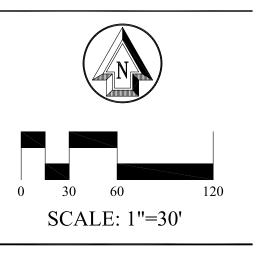








ARAcer rubrum 'October Glory'Red Maple2.0" cal.9ATAcer tatarica ▲Tatarian Maple2.0" cal.3GTGleditsia triacanthos 'Skyline' ▲Honeylocust2.0" cal.5MPMalus 'Prairie Fire' ▲Flowering Crabapple2.0" cal.9MSMalus 'Spring Snow' ▲Flowering Crabapple2.0" cal.2PPPicea pungensColorado Spruce6' height5PCPyrus calleryana 'Cleveland Select'Flowering Pear2.0" cal.19TATilia americana 'Redmond'Linden2.0" cal.7ZSZelkova serrata 'Musashino' ▲Zelkova2.0" cal.7Total:89SHRUBSBMBuddleia x 'Miss Molly' ▲Butterfly Bush#5 gal.11PAPerovskia atriplicifolia 'Little Spire' ▲Russian Sage#5 gal.64PFPotentilla fruticosa 'Jackman' ▲Shrubby Cinquefoil#5 gal.23PBPrunus besseyi ▲Western Sandcherry#5 gal.8RARhus aromatica 'Grow Low' ▲Fragrant Sumac#5 gal.51TLRhus trilobata ▲Three Leaf Sumac#5 gal.14	THEE and the Discrete field of the product of th	Prove and the second secon	PLAN	١T	MATERIALS SCHEDULE -	SHEETS LP101 and I	_P102	
 Ale de autoeur Cachede Bary Parley Parley Autoeur Carbon and Car	Mark Accorder (Salaber Gary) Field Mark 2.0 Yes 9 Mark Segments Segments 2.0 Yes 9 Mark Segments 2.0 Yes 2.0 Yes 9 Mark Segments 2.0 Yes 2.0 Yes 10 Mark Segments 2.0 Yes 10 10 Mark Segments 2.0 Yes 10 10 10 Mark Segments 2.0 Yes 10	 Mark Andrew Concher Glamy Performanta and Performantand And Performanta and Performanta and Performanta and Perfo		IFIC	NAME	COMMON NAME	SIZE	QTY.
Total Total Perspective Processes approaches Liberari Builden Same Total Perspective Processes approaches Liberari Builden Same Total Perspective Processes approaches Liberari Builden Same Total Perspective Processes Builden Same Total Perspective Perspective Processes Total Builden Same Total Perspective Perspec	Total Total Parameter Productions (Main Mary) * Putching Sage # 5 gain # 1 Productions (Main Mary) * Putching Sage # 5 gain # 1 Productions (Main Mary) * Putching Sage # 5 gain # 1 Productions (Main Mary) * Putching Sage # 5 gain # 1 Productions (Main Mary) * Putching Sage # 5 gain # 1 Productions (Main Mary) * Putching Sage # 1 gain # 1 Productions (Main Mary) * Putching Sage # 1 gain # 1 Productions (Main Mary) * Putching Sage # 1 gain # 1 Productions (Main Mary) * Putching Sage # 1 gain # 1 Productions (Main Mary) * Putching Sage # 1 gain # 1 Productions (Main Mary) * Putching Sage # 1 gain # 1 Productions (Main Mary) * Putching Sage Mary # 1 gain # 1 Productions (Main Mary) * Putching Sage Mary # 1 gain # 1 Productions (Main Mary) * Putching Sage Mary # 1 gain	Test Test Part Part of the shart of the source of the sou	AT AG GT G MP M MS M PP P PC P TA Ti	cer iledit falus falus icea yrus ilia a	tatarica tsia triacanthos 'Skyline' s 'Prairie Fire' s 'Spring Snow' pungens s calleryana 'Cleveland Select' mericana 'Redmond'	Tatarian Maple Honeylocust Flowering Crabapple Flowering Crabapple Colorado Spruce Flowering Pear Linden	2.0" cal. 2.0" cal. 2.0" cal. 2.0" cal. 6' height 2.0" cal. 2.0" cal.	3 5 9 2 5 19 30
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 Sheddel Bark Mulch Planter Bed Areas - 14,739.0 sq. ft. (10.4%) Planter bed areas shall be constructed with twelve inches (12) of screened, sandy loam top installad on top of subgrade material. Planter bed areas shall be limited with hown, shredded bark mulch, or as approved by Owner. Shredded bark mulch shall be installad to an overage depth of four inches (4') and shall completely over all planter bed areas. All trees and all completely over all planter bed areas. Prior to installation of shredded bark mulch, it is recommended that DeWitt ProS weeds barre be applied to the planter bed areas. All trees and all completely over all planter bed areas. All trees and plants within shredded bark mulch, planter bed areas shall be singleted with shredded bark mulch, it is recommended that DeWitt ProS weeds barrene the anglied to the planter bed areas. All trees and plants within shredded bark mulch, it is recommended that DeWitt ProS weeds by Orneret Mov Curch (2480 bint). 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There should be est in the center of the hole and			Turfgrass areas shall be a water-wise 50 Grass cut sod and/or hydroseed, installed screened and compacted top soil, once in Install sod within twenty four (24) hours of top soil prior to installation of sod, but ave turfgrass areas shall be planted within a t shredded bark mulch (see Tree Planting Decorative Rock Mulch Planter Bed Ar Planter bed areas shall be constructed w soil installed on top of sub-grade materia inch (2"-4") decorative cobble rock in n approved by Owner. Cobble rock mulch (4") and shall completely cover all planter is recommended that DeWitt Pro5 weed and plants within decorative rock planter	 /50 blend of Kentucky Bluegrass and over a prepared subgrade of four rrigation and finish grading has been of delivery and do not allow sod to oid creating muddy conditions. All five foot (5') diameter tree ring and note #16). eas - 14,830.0 sq.ft. (10.4%) with twelve inches (12") of scree al. 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