

DEVELOPMENT REVIEW COMMITTEE MEETING NOTICE AND AGENDA

Notice is hereby given that the Santaquin City Development Review Committee will hold a regular meeting on **Tuesday March 10, 2020**, in the **City Offices**, 275 West Main Street at **10 A.M.**

AGENDA

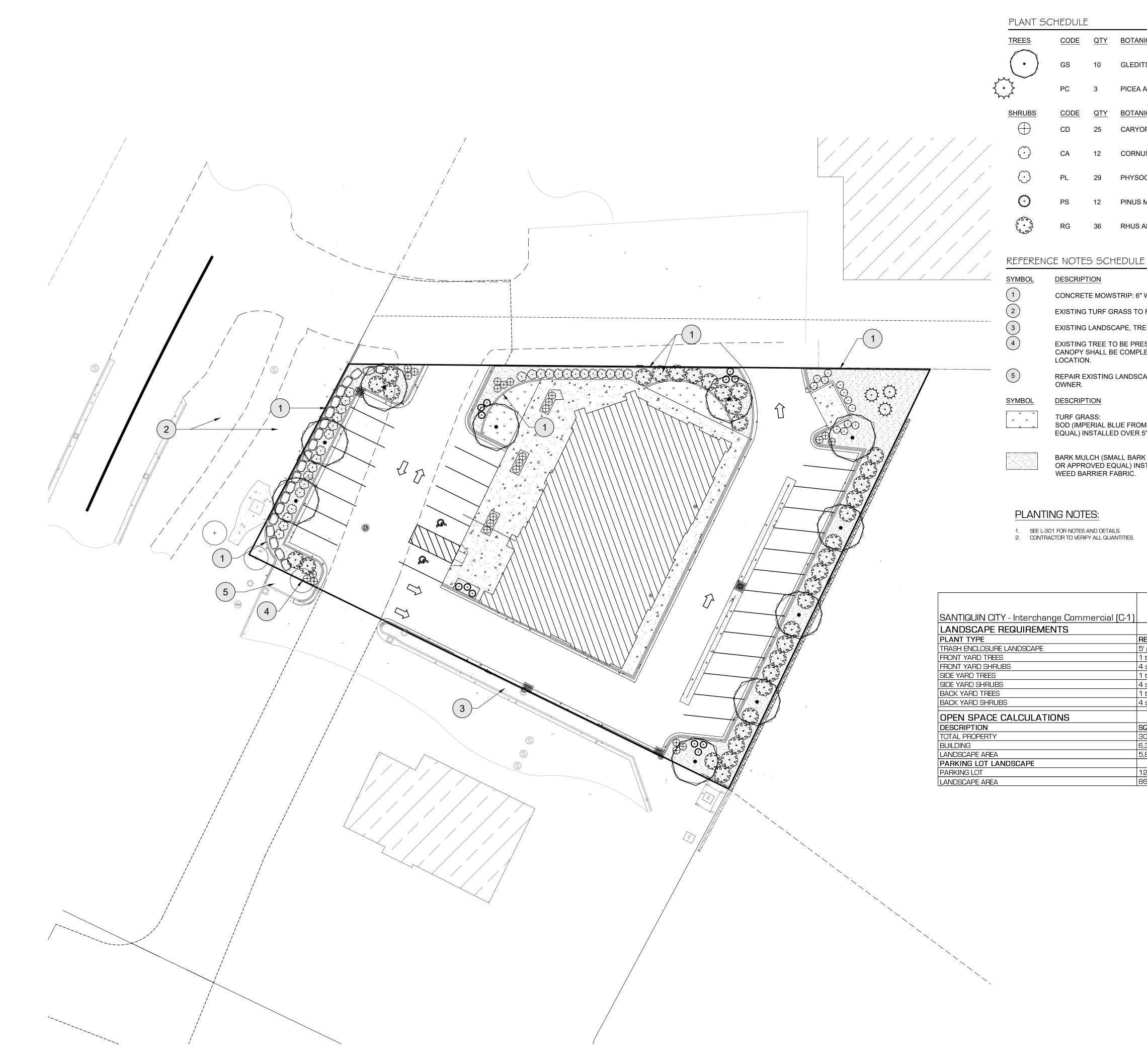
- 1. Parker View Subdivision Final Plat Review A final review of a 3 lot subdivision located at the corner of Main Street and Highland Drive.
- 2. Orchards G-3 Final Plat A final review of a 22 lot subdivision located at approximately 920 N. and 20 E.
- **3.** Bylund Commercial Site Plan A site plan review of a commercial building located at approximately 94 N. State Road 198.
- 4. Foothill Plat I Final Review A final review of a 22 lot subdivision located at approximately Red Cliff Drive and Foothill Village Boulevard.
- Foothill Plat L Final A final review of a 29 lot subdivision located at approximately Eagle Road and Red Cliff Drive.
- 6. Approval of Minutes for Meeting Held February 25, 2020
- 7. Adjournment

If you are planning to attend this public meeting and, due to a disability, need assistance in understanding or participating in the meeting, please notify the City ten (10), or more hours in advance and we will, within reason, provide what assistance may be required

CERTIFICATION OF POSTING

This agenda is hereby properly advertised this 6th day of March 2020, through posting of copies of this agenda in three public places within the city, namely the **City Office, Zions Bank**, and the **United States Post Office.**

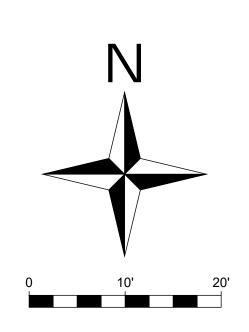
Kira Petersen, Deputy Recorder



BOTANICAL / COMMON NAME	SIZE
GLEDITSIA TRIACANTHOS INERMIS `SHADEMASTER` / SHADEMASTER LOCUST	CONTAINER
PICEA ABIES `CUPRESSINA` / NORWAY SPRUCE	CONTAINER
BOTANICAL / COMMON NAME	CONT
CARYOPTERIS X CLANDONENSIS `DARK KNIGHT` / BLUE MIST SHRUB	5 GAL
CORNUS SERICEA `ARCTIC FIRE` / ARCTIC FIRE DOGWOOD	5 GAL.
PHYSOCARPUS OPULIFOLIUS `LITTLE DEVIL` TM / DWARF NINEBARK	5 GAL
PINUS MUGO `SLOWMOUND` / MUGO PINE	5 GAL.
RHUS AROMATICA `GRO-LOW` / GRO-LOW FRAGRANT SUMAC	5 GAL.

	QTY	DETAIL
STRIP: 6" WIDE		/
RASS TO REMAIN		
APE, TREES, AND SHRUBS TO REMAIN.		
) BE PRESERVED. ANY DIGGING UNDER TREE E COMPLETED BY HAND. FIELD VERIFY		
LANDSCAPE AS NEEDED. COORDINATE WITH		
	<u>QTY</u>	DETAIL
UE FROM CHANSHARE SOD OR APPROVED D OVER 5" TOPSOIL LAYER.	812 SF	1
ALL BARK MULCH FROM MILLER COMPANIES LC (UAL) INSTALLED AT DEPTH OF 3" WITHOUT ABRIC	5,319 SF	/

(C-1)			
	REQUIREMENT	NUMBER REQUIRED	NUMBER PLANNED
	5' per side with 4 shrubs	5' and 4 shrubs	5' and 4 shrubs
	1 tree	2	2
	4 shrubs per 40 l.f.	9	16
	1 tree	6	7
	4 shrubs per 40 l.f.	24	32
	1 tree	5	4
	4 shrubs per 40 l.f.	19	21
	SQUARE FEET		
	30,870		
	6,315		
	5,848		
		PERCENTAGE REQUIRED	PERCENTAGE PLANNED
	12,868		
	867	6.0%	6.7%

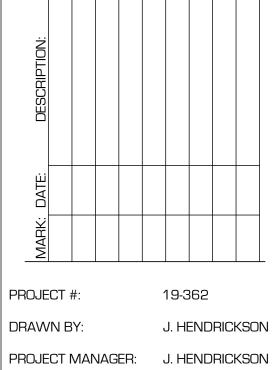


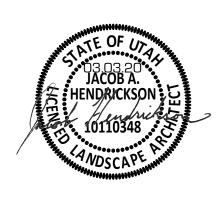
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC, AN SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY OTHER PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET OF PAPER. THESE PLANS ARE PRODUCED IN COLOR AND SHOULD BE PLOTTED AS SUCH.



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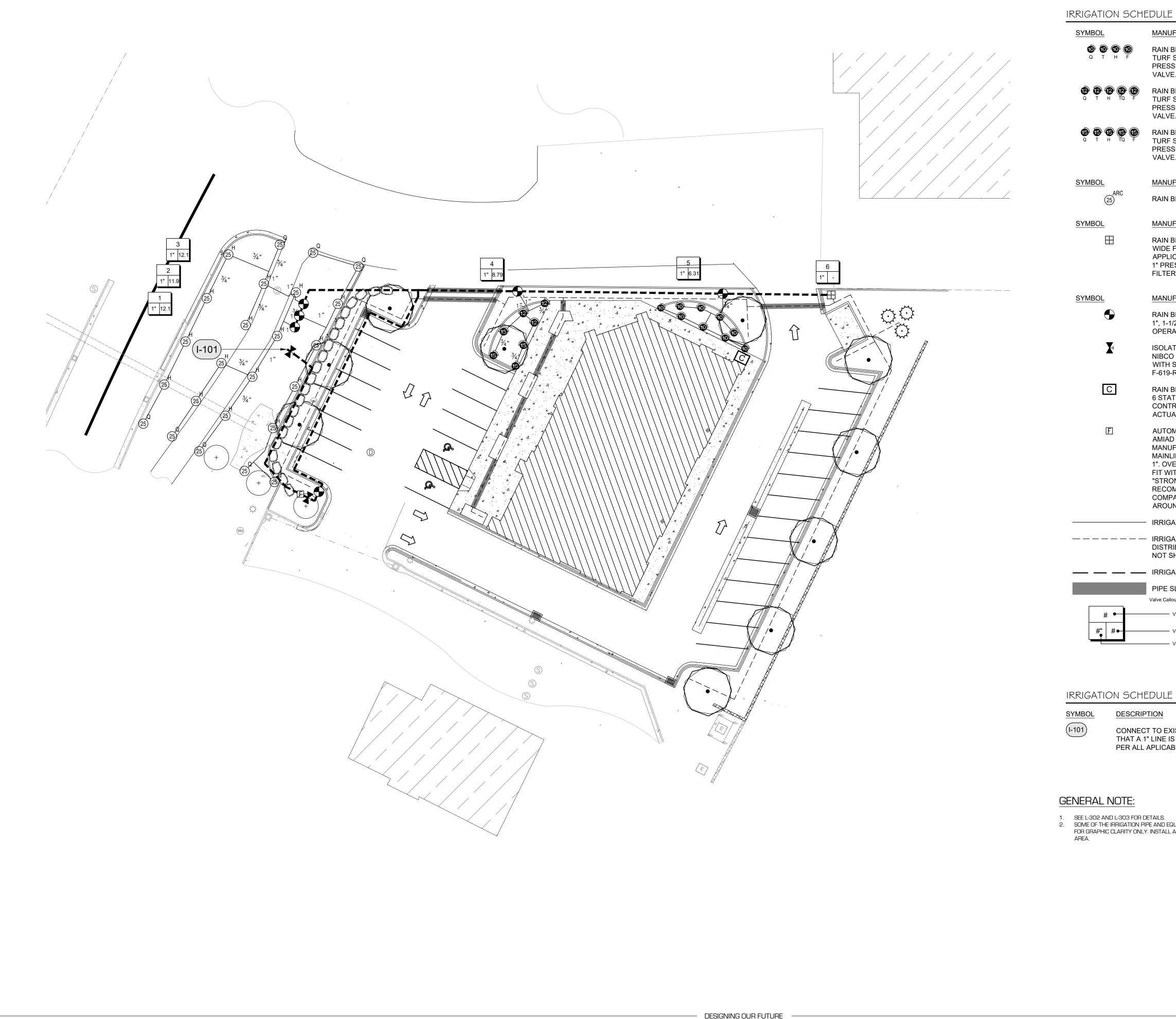


03.03.20

ISSUED:



L-101



 SEE L-302 AND L-303 FOR DETAILS.
 SOME OF THE IRRIGATION PIPE AND EQUIPMENT IS SHOWN WITHIN HARDSCAPE AREAS FOR GRAPHIC CLARITY ONLY. INSTALL ALL PIPE AND EQUIPMENT IN THE LANDSCAPE AREA.

QTY	PSI	
9	30	
3	30	
4	30	
<u>QTY</u>	<u>PSI</u>	<u>GPM</u>
24	35	
QTY		
1		
QTY		
6		
2		
1		
1		
585.4 L.F.		
683.4 L.F.		
431.3 L.F.		
147.3 L.F.		
	9 3 4 4 <u>QTY</u> 24 <u>QTY</u> 1 2 1 1 1 1 1 585.4 L.F. 683.4 L.F. 683.4 L.F. 683.4 L.F.	9 30 3 30 3 30 4 30 QTY PSI 24 35 QTY 35 QTY 1 1

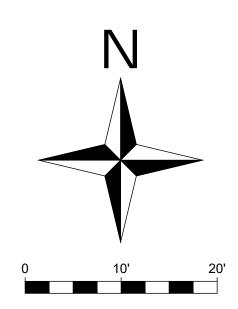
Valve Flow

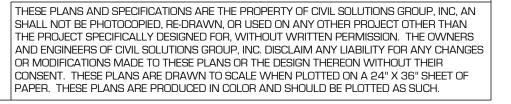
Valve Callout

Valve Size

------ Valve Number

CONNECT TO EXISTING SECONDARAY IRRIGATION. FIELD VERIFY THAT A 1" LINE IS AVAILABLE FOR THIS PROPERTY. CONNECT PER ALL APLICABLE CITY CODES AND REGULATIONS.





ciuilsolutionsgroup_{inc.} 13.3762 3192 '4.1432 435.21 .216.3 301.874 <u>а</u> Б — OO HE VALLEY CACH SALT AIL BUILDING Y 198 COUNTY, UTAH 84655 \overline{O} BYLUND RET 94 NORTH HIGHW/ SANTAQUIN, UTAH

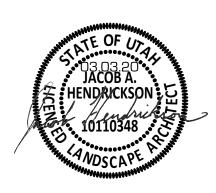
PROJECT #: 19-362

DRAWN BY:

ISSUED:

J. HENDRICKSON PROJECT MANAGER: J. HENDRICKSON

03.03.20







LANDSCAPE NOTES & SPECIFICATIONS:

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO ANY SITE WORK, IRRIGATION AND LANDSCAPE WORK; CONTRACTOR SHALL REPORT ANY CONFLICTS TO THE OWNERS REPRESENTATIVE
- 2. THE CONTRACTOR(S) AND SUBCONTRACTORS ARE 100% RESPONSIBLE FOR ANY DAMAGE OCCURRED BY CONTRACTOR/SUBCONTRACTORS TO BUILDINGS, VEHICLES, TREES, SIDEWALKS, CURBS, DRIVES, UTILITIES AND ALL PROPERTY OF THE OWNER. IF ANY DAMAGE OCCURS TO THE OWNER'S BUILDINGS, SITE, LANDSCAPE, AND PROPERTY THE CONTRACTOR MUST REPORT IT IMMEDIATELY AND WORK OUT A SOLUTION WITH OWNER'S REP.
- 3. TIME IS OF THE ESSENCE AND THE OWNER IS RELYING ON THE LANDSCAPING TO BE
- COMPLETED IN A PROFESSIONAL AND TIMELY MANNER TO PROMOTE BUSINESS. CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION FROM THE PLANS OR SPECIFICATIONS MUST HAVE WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE.

PLANTING NOTES:

- 5. THE PLANTING PLAN IS DIAGRAMMATIC, AND ALL PLANT LOCATIONS ARE APPROXIMATE. IF NECESSARY ADJUST PLANTING LOCATION TO ACCOMMODATE UTILITIES AND OTHER UN-FORESEEN OBSTACLES.
- 6. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED ON PLANT SCHEDULE.
- 7. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES AND NOTIFY THE LANDSCAPE
- ARCHITECT OF ANY DISCREPANCIES BETWEEN QUANTITIES AND SYMBOLS SHOWN. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF
- EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT, SOLAR NEEDS, WATER NEEDS, AND CULTURE ONLY AS APPROVED BY THE OWNER'S REP. 9. PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS SHALL BE MOISTENED BEFORE PLANTINGS.
- 10. ALL GRASS SEED AREAS SHALL RECEIVE A MINIMUM OF SIX (5) INCHES OF IMPORTED TOPSOIL AND TEN (8) INCHES IN PLANTING BEDS. ALL TOPSOIL USED ON THIS PROJECT SHALL MEET THE FOLLOWING CRITERIA:
- 10.1. pH: 5.5 8.0
- 10.2. MINIMUM 1% PERCENT ORGANIC MATTER) 10.3. TEXTURE (PARTICLE SIZE PER USDA SOIL CLASSIFICATION): SAND: <70%, CLAY: <30% 10.4. SILT: = BALANCE
- 10.5. STONE FRAGMENTS (GRAVELS OR ANY SOIL PARTICLE GREATER THAN 2 MM IN SIZE): <5% (BY VOLUME)
- 11. IN ADDITION, THE SOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM AND SHALL BE CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL BE FREE OF STONES. LUMPS, CLODS OF HARD EARTH, PLANTS OR THEIR ROOTS, STICKS AND OTHER EXTRANEOUS MATTER. THE SOIL SHALL CONTAIN NO NOXIOUS WEEDS NOR THEIR SEEDS. IT SHALL NOT BE USED FOR PLANTING OPERATIONS WHILE IN A FROZEN OR MUDDY CONDITION.
- 12. THE FOLLOWING PROCEDURES SHALL BE FOLLOWED IN PLACING ALL TOPSOIL: 12.1. SUB-GRADE MATERIAL SHALL BE ROUGH GRADED TO PLUS OR MINUS 0.1 FEET OF A FINAL ROUGH GRADE WHICH WILL ALLOW THE CONTRACTOR TO ACHIEVE FINAL FINISH GRADE THROUGH THE INSTALLATION OF IMPORTED TOPSOIL.
- 12.2. SCARIFY SURFACE OF SUB-GRADE TO A TWO (2) INCH DEPTH TO PROVIDE TRANSITION ZONE BETWEEN SUB-GRADE AND TOPSOIL. PLACE TOPSOIL ON SUB-GRADE AND FINE GRADE TO FINAL FINISH GRADE AND TOPSOIL DEPTHS AS INDICATED ON THE DRAWINGS AND IN THESE NOTES.
- 12.3. FINISH GRADE TO BE 1" BELOW TOP OF CURB OR WALK FOR TURF AREAS, 2" FOR PLANTER BEDS.
- 12.4. LANDSCAPE CONTRACTOR SHALL MAINTAIN A MINIMUM 3% DRAINAGE AWAY FROM ALL BUILDINGS, STRUCTURES, AND WALLS. FINISHED GRADES SHALL BE SMOOTHED TO ELIMINATE STANDING WATER, UNLESS SPECIFIED ON GRADING PLAN (SEE CIVIL SET).
- 12.5. ALL FINISHED GRADES SHALL BE APPROVED BY THE OWNER/OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION OF ANY PLANT MATERIALS. 13. CONTRACTOR SHALL HAVE THE OWNER'S REP. APPROVE PLANT MATERIAL SIZE AND
- QUALITY PRIOR TO INSTALLATION. ANY PLANTS WHICH ARE NOT TRUE TO FORM. APPEAR STRESSED OR UNHEALTHY, INFESTED WITH PESTS, OR UNDERSIZED FOR THEIR CONTAINERS SHALL BE REJECTED.
- 14. PLANT MATERIAL SHALL NOT BE ROOT BOUND. THREE (3) GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF SIX (6) MONTHS UP TO A MAXIMUM OF TWO (2) YEARS. PLANTS SHALL EXHIBIT HEALTHY GROWTH AND BE FREE OF DISEASES AND PESTS. BARE ROOT MAY BE USED WHEN APPROVED BY OWNER'S REP. 15. PLANTS SHALL NOT BE PLACED WITHIN TWELVE (12) INCHES OF SPRINKLER HEADS.
- 16. PLANTING PROCEDURES FOR ALL PLANT MATERIALS, ESPECIALLY TREES, SHALL BE AS FOLLOWS: 16.1. DIG PLANTING HOLE THREE (3) TIMES THE WIDTH OF THE ROOT BALL, AND SAME
- DEPTH AS THE ROOT BALL DEPTH. SIDES OF HOLE SHOULD BE ROUGHENED AND NOT SMOOTH OR SCULPTED. 16.2. FOR CONTAINER PLANTS, REMOVE CONTAINER AND PLACE ROOT BALL IN CENTER OF
- HOLE, WITH ROOT BALL RESTING ON UNDISTURBED SOIL. ROOT CROWN OR COLLAR SHALL BE AT OR JUST ABOVE FINISHED GRADE.
- 16.3. FOR BALLED AND BURLAP PLANTS, PLACE ROOT BALL IN CENTER OF HOLE AND RESTING ON UNDISTURBED GROUND. CUT AND REMOVE WIRE BASKET AND BURLAP OR OTHER WRAPPING MATERIAL FROM ROOT BALL THIS MAY BE DONE WITH ROOT BALL IN HOLE, BURLAP OR WIRE PIECES UNDERNEATH THE ROOT BALL MAY BE LEFT IF THEY CANNOT BE REMOVED. DO NOT FOLD BURLAP OVER, BUT CUT AWAY AS MUCH AS POSSIBLE WITHOUT DISTURBING ROOT BALL. BACKFILL BOTTOM THIRD (1/3) OF HOLE AS WIRE AND BURLAP ARE REMOVED.
- 16.4. PLACE PLANT IN THE HOLE AND BACKFILL TO HALFWAY POINT AND PLACE AGRIFORM PLANTING TABLETS IN THE HOLE ABOUT 1-2 INCHES AWAY FROM THE ROOT TIPS. DO NOT PLACE TABLETS IN THE BOTTOM OF THE PLANTING HOLE. SEE DETAIL AND CHART FOR SUGGESTED APPLICATION RATES.
- 16.5. FINISH FILLING THE HOLE AROUND THE PLANT TO GRADE LEVEL 16.6. THOROUGHLY WATER PLANT, THEN COMPLETE BACKFILLING THE HOLE. FORM A
- WATERING BASIN AROUND THE PLANT AND THOROUGHLY WATER AGAIN.
- 17. MONITOR ALL PLANTS TO INSURE THAT NO SETTLING OCCURS. 18. THE LANDSCAPE CONTRACTOR SHALL LEAVE SITE IN A CLEAN CONDITION, REMOVING ALL UNUSED MATERIAL, TRASH AND TOOLS.
- 19. AT SUBSTANTIAL COMPLETION OF ALL WORK OUTLINED IN THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A WALK THROUGH. SUBSTANTIAL COMPLETION SHALL BE DEFINED AS COMPLETION OF ALL WORK OUTLINED IN THE PLANS AND SPECIFICATIONS WITH THE EXCEPTION OF FINAL CLEAN UP AND DEMOBILIZATION. WORK MUST BE FULLY COMPLETED ACCORDING TO ALL PLANS, NOTES, AND SPECIFICATIONS AND EXHIBIT PROFESSIONAL WORKMANSHIP. A MAINTENANCE PERIOD WILL BEGIN ON THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION BY OWNER.
- 20. LANDSCAPE CONTRACTOR TO PROVIDE DETAILED AS BUILT DRAWINGS TO OWNERS REPRESENTATIVE UPON COMPLETION OF LANDSCAPE PLANTING. THE DRAWING TO SHOW LOCATION OF: BUILDING, HARDSCAPES, AND ALL PLANT MATERIAL (TREES, SHRUBS, GRASSES, PERENNIALS AND OTHERS). THE AS-BUILT DRAWINGS MUST USE THE BOTANIC NAMES OF SPECIES INSTALLED. THE CONTRACTOR MUST REVIEW THE AS-BUILT DRAWINGS WITH OWNERS REPRESENTATIVE PRIOR TO COMPLETION OF PROJECT.
- 21. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS UNTIL PROJECT COMPLETION AS DETERMINED BY THE OWNER'S REP. TURF SHALL BE CONSIDERED FULLY ESTABLISHED WHEN GRASS STANDS COME IN UNIFORM AND THICK, WITH NO BARE OR THIN SPOTS, AND ROOTS HAVE BEGUN TO SPREAD AND KNIT TOGETHER. NO WEEDS SHALL BE ALLOWED IN THE GRASS. THE MAINTENANCE WORK REQUIRED SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- 21.1. DAILY WATERING OF ALL PLANT MATERIAL 21.2. WEEDING AND REMOVAL OF ALL WEEDS FROM GROUND COVER AND PLANTING AREAS.

21.3. REPLACEMENT OF ANY DEAD, DYING, OR DAMAGED TREES, SHRUBS OR GROUNDCOVER.

- 21.4. FILLING AND REPLANTING OF ANY LOW AREAS WHICH MAY CAUSE STANDING WATER. 21.5. ADJUSTING OF SPRINKLER HEAD HEIGHTS AND WATERING PATTERNS. 21.6. FILLING AND RE-COMPACTION OF ERODED AREAS, ALONG WITH ANY REQUIRED
- RE-SEEDING AND/OR RE-PLANTING. 21.7. GRASS SHALL BE MOWED WHEN BLADES REACH THREE [3] INCHES TALL. NO MORE
- THAN ONE THIRD (1/3) OF THE BLADE SHALL BE REMOVED PER CUTTING. CUTTING FREQUENCY SHALL BE ONCE EVERY FIVE (5) TO SEVEN (7) DAYS.
- 21.8. WEEKLY REMOVAL OF ALL TRASH, LITTER, CLIPPINGS AND ALL FOREIGN DEBRIS. 22. CONTRACTOR TO FERTILIZE TREES, SHRUBS, PERENNIALS AND GRASSES WITH MILLERS A TO Z MIX ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- 23. PLANT QUALITY AT OR BELOW THE SOIL LINE: 23.1. A MINIMUM OF THREE STRUCTURAL ROOTS REASONABLY DISTRIBUTED AROUND THE
- TRUNK SHALL BE FOUND IN EACH PLANT. PLANTS WITH STRUCTURAL ROOTS ON ONLY ONE SIDE OF THE TRUNK (J ROOTS) SHALL BE REJECTED. 23.2. THE ROOT CROWN MUST NOT BE MORE THAN TWO INCHES BELOW THE SOIL LINE. THE TOP TWO STRUCTURAL ROOTS SHALL BE NO MORE THAN TREE INCHES BELOW THE SOIL LINE WHEN MEASURED FOUR INCHES RADIAL TO THE TRUNK. THE TOP OF THE OTHER STRUCTURAL ROOT SHALL BE NO GREATER THAN FIVE INCHES BELOW THE SOIL LINE WHEN MEASURED FOUR INCHES RADIAL TO THE TRUNK. THE GROWER MAY REQUEST A MODIFICATION TO THIS REQUIREMENT FOR SPECIES WITH ROOTS THAT RAPIDLY DESCEND, PROVIDED THAT THE GROWER REMOVES ALL CIRCLING ROOTS ABOVE THE STRUCTURAL ROOTS ACROSS THE TOP OF THE STRUCTURAL ROOTS.
- 23.3. THE ROOT SYSTEM SHALL BE REASONABLY FREE OF ROOT DEFECTS INCLUDING POTENTIALLY STEM-GIRDLING ROOTS ABOVE THE ROOT COLLAR AND MAIN STRUCTURAL ROOTS, VERTICAL ROOTS, AND/OR KINKED ROOTS FROM NURSER' PRODUCTION PRACTICES, INCLUDING ROOTS ON THE INTERIOR OF THE ROOT BALL
- 23.3.1.REASONABLE AND REASONABLY WHEN USED IN THIS SPECIFICATION RELATIVE TO PLANT QUALITY - ARE INTENDED TO MEAN THAT THE CONDITIONS CITED WILL NOT AFFECT THE ESTABLISHMENT OR LONG-TERM STABILITY, HEALTH, OR GROWTH OF THE PLANT. THIS SPECIFICATION RECOGNIZES THAT IT IS NOT POSSIBLE TO PRODUCE PLANTS FREE OF ALL DEFECTS AND THAT SOME DECISIONS CANNOT BE TOTALLY BASED ON MEASURED FINDINGS, SO PROFESSIONAL JUDGEMENT IS REQUIRED. IN CASES OF DIFFERING OPINION, THE LANDSCAPE ARCHITECT SHALL DETE4RMINE WHEN CONDITIONS WITHIN THE PLANT ARE JUDGED AS REASONABLE.
- 23.3.2. THE FINAL PLANT GROWER SHALL BE RESPONSIBLE FOR CERTIFYING THAT THE PLANTS HAVE BEEN ROOT PRUNED AT EACH STEP IN THE PLANT PRODUCTION PROCESS TO REMOVE STEM-GIRDLING ROOTS AND KINKED ROOTS, OR SHALL ENSURE THAT THE PREVIOUS LINER PRODUCTION SYSTEM USED OTHER PRACTICES THAT PRODUCE A ROOT SYSTEM THROUGHOUT THE ROOT BALL THAT MEETS THESE SPECIFICATIONS. REGARDLESS OF THE WORK OF PREVIOUS GROWERS, THE PLANT'S ROOT SYSTEM SHALL BE MODIFIED AT THE FINAL PRODUCTIONS STAGE TO PRODUCE THE REQUIRED PLANT ROOT QUALITY. THE FINAL GROWER SHALL CERTIFY IN WRITING THAT ALL PLANTS ARE REASONABLY FREE OF ROOT DEFECTS AS DEFINED IN THIS SPECIFICATION AND THAT THE TREE HAS BEEN GROWN AND HARVESTED TO PRODUCE A PLANT THAT MEETS THESE SPECIFICATIONS.
- 23.4. ALL PLANTS MAY BE INSPECTED AT THE SUPPLIER'S NURSERY. THE LANDSCAPE ARCHITECT MAY MAKE INVASIVE INSPECTION OF THE ROOT BALL AS NEEDED TO VERIFY THAT PLANTS MEET THE REQUIREMENTS. INSPECTIONS OF CONTAINER TREES MAY REQUIRE RANDOM CUTTING INTO THE INTERIOR ROOT BALL OF UP TO 2 PERCENT BUT NOT FEWER THAN TWO TREES OF EACH TYPE OF TREE IN A CONTAINER AT EACH SOURCE NURSERY. SUCH CUTTING AND INSPECTION MAY RENDER THE CONTAINER TREE UNSUITABLE FOR PLANTING. FINDINGS OF THE ROOT INSPECTIONS SHALL BE CONSIDERED AS REPRESENTATIVE OF ALL TREES OF THAT TYPE FROM THAT SOURCE.
- 23.5. CONTAINER-GROWN PLANTS, IN ADDITION TO THE ABOVE REQUIREMENTS, SHOULD COMPLY WITH THE FOLLOWING: 23.5.1.1.CONTAINER-GROWN PLANTS MAY BE PERMITTED ONLY WHEN INDICATED ON THE
- DRAWING OR THIS SPECIFICATION. 23.5.2.CONTAINER-GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG
- ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED 23.6. SUFFICIENTLY TO HOLD ITS POTTING MEDIUM TOGETHER BUT NOT SO LONG AS TO
- HAVE DEVELOPED ROOTS THAT ARE MATTED OR CIRCLING AROUND THE EDGE OR INTERIOR OF THE ROOT MASS. PLANTS SHALL HAVE BEEN ROOT PRUNED AT EACH CHANGE IN CONTAINER SIZE. 23.6.1.PLANTS THAT FAIL TO MEET ANY OF THE ABOVE REQUIREMENTS SHALL BE
- MODIFIED TO CORRECT DEFICIENCIES IF APPROVED BY THE LANDSCAPE ARCHITECT. MODIFICATION SHALL INCLUDE THE FOLLOWING:
- 23.6.1.1. SHAVING ALL CIRCLING ROOTS ON THE EXTERIOR OF THE ROOT MASS DEEP ENOUGH SO THAT ALL CUT ROOTS ENDS ARE ROUGHLY RADIAL TO THE TRUNK 23.6.1.2. REMOVAL OF ALL ROOTS ABOVE THE TOP OF THE MAIN STRUCTURAL ROOTS AND
- TRUNK FLARE INCLUDE ANY ROOTS THAT ARE IMPRINTS FROM PREVIOUS SMALLER CONTAINERS.
 - (THE ABOVE MODIFICATIONS SHALL NOT BE CAUSE TO ALTER THE WARRANTY PROVISIONS OF THIS SPECIFICATION.)

TREE STAKING:

- 31. LANDSCAPE CONTRACTOR TO PROVIDE BID TO STAKE UP TO 50% OF TREES 32. THE OWNER/OWNERS REPRESENTATIVE SHALL HAVE THE AUTHORITY TO REQUIRE THAT TREES ARE STAKED OR TO REJECT STAKING AS AN ALTERNATIVE WAY TO STABILIZE THE TRFF
- 33. TREES THAT REQUIRE HEAVILY MODIFIED ROOT BALLS TO MEET THE ROOT QUALITY STANDARDS MAY BECOME UNSTABLE. THE OWNER/OWNERS REP MAY CHOOSE TO REJECT THESE TREES RATHER THAN UTILIZE STAKING TO TEMPORARILY SUPPORT THE TRFF.
- 34. STAKES SHALL BE LODGE POLE STAKES FREE OF KNOTS AND OF DIAMETERS AND LENGTHS APPROPRIATE TO THE SIZE OF PLANT AS REQUIRED TO ADEQUATELY SUPPORT THE PLANT.

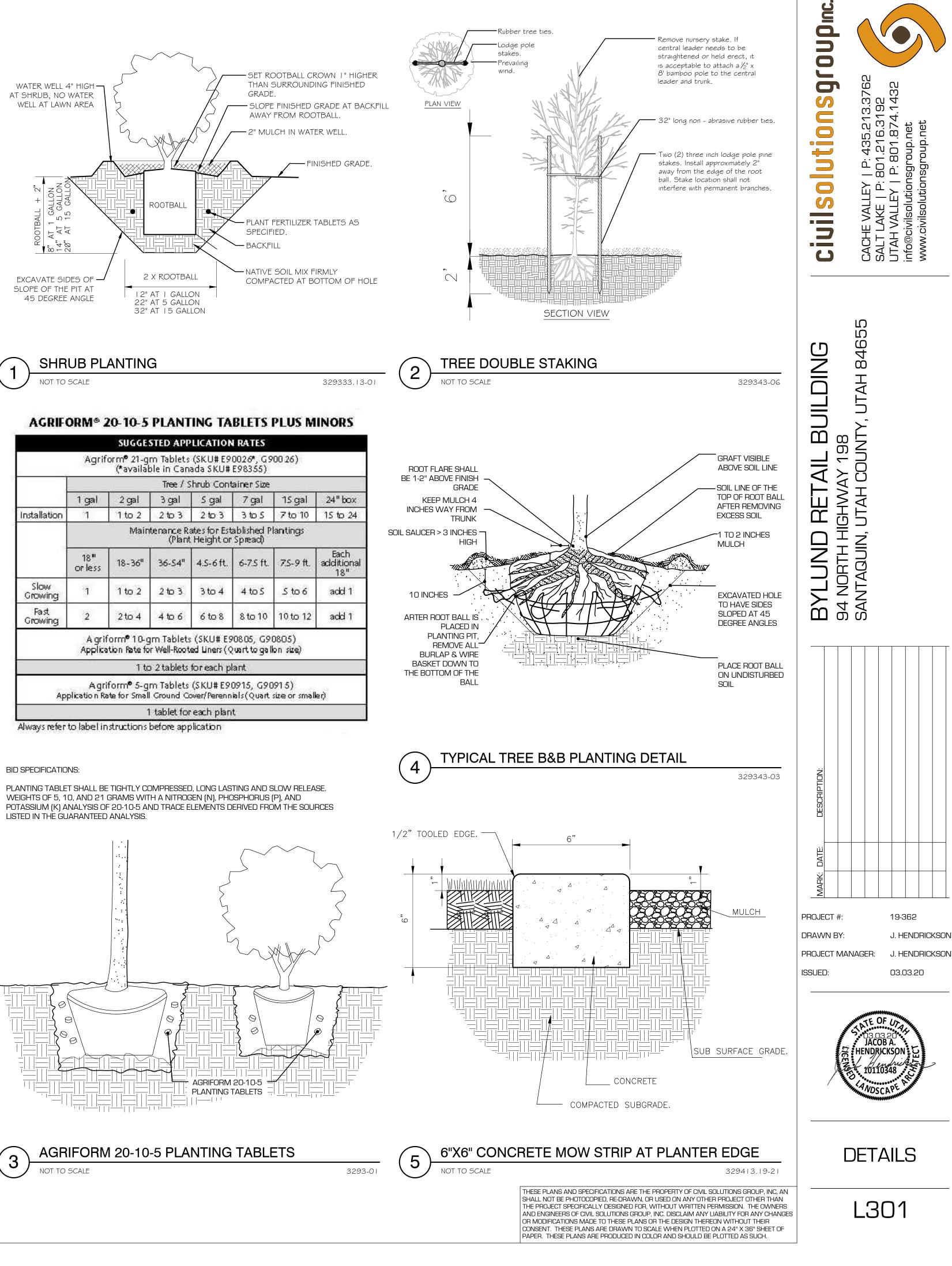
35. PLANTS SHALL STAND PLUMB AFTER STAKING REMOVE TREE STAKING AFTER THE FIRST FULL GROWING SEASON UNLESS DIRECTED BY THE OWNER/OWNERS REP.

MULCH:

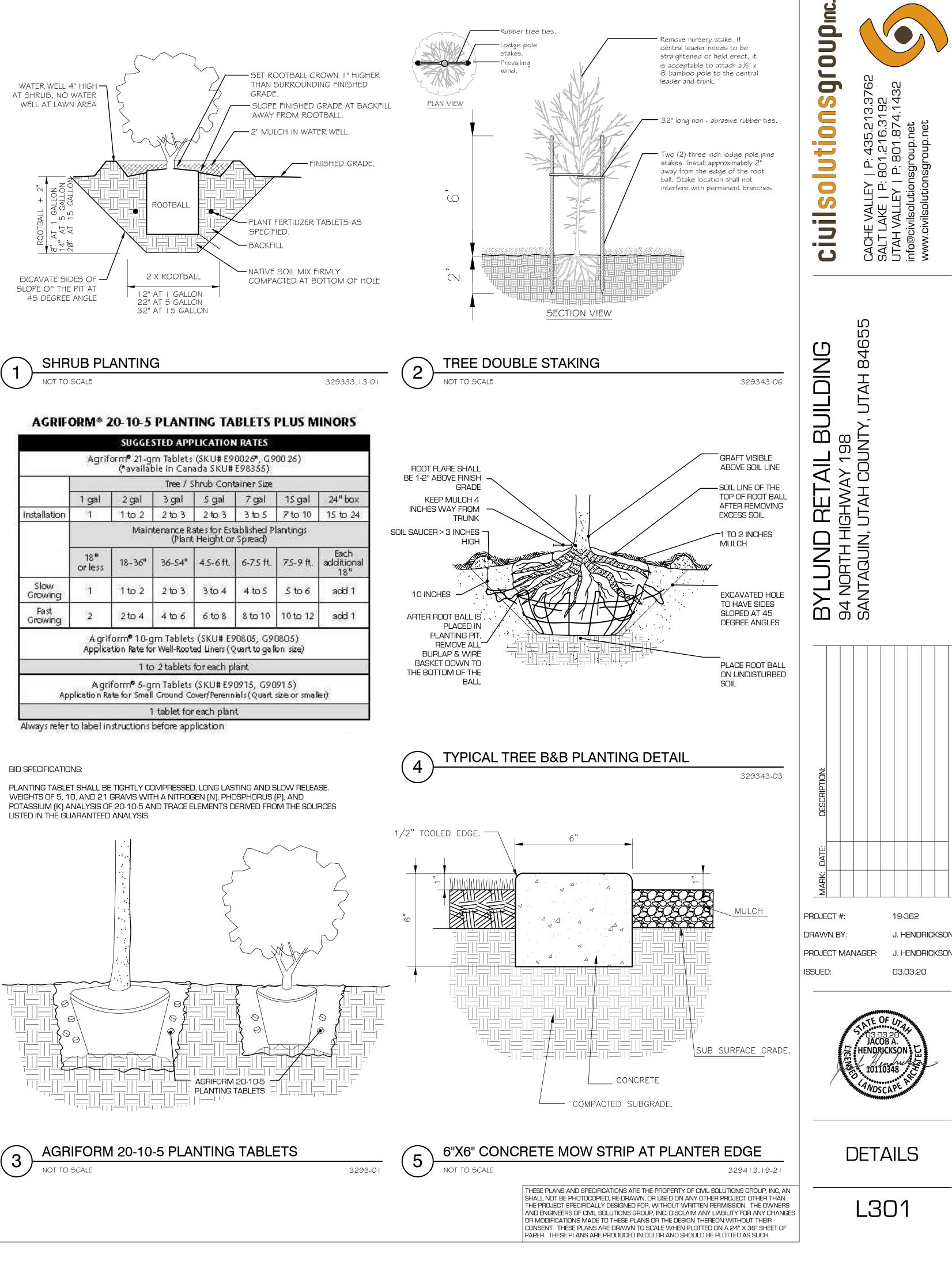
- 36. ALL PLANTER BEDS ARE TO RECEIVE A FOUR (4) INCHES OF DARK BROWN COLORED
- MULCH OR APPROVED EQUAL BY OWNER'S REP. 37. TREAT AREAS WITH PRE-EMERGENT
- 38. HERBICIDE ACCORDING TO MANUFACTURERS RECOMMENDATIONS.

MAINTENANCE & WARRANTIES:

- 39. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE TREES, PLANTER BEDS (INCLUDING WEEDING), SHRUB PRUNING, WATERING THE PLANTS AND IRRIGATION SYSTEM FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- 40. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF LANDSCAPE FOR 90 DAYS PAST THE FINAL INSPECTION. THE MAINTENANCE IS TO INCLUDE: WEEDING PLANTER BED AREAS, SPRAYING THE SOD AREAS FOR WEEDS AND FERTILIZATION (1 APPLICATION AFTER INITIAL APPLICATION), MOWING, TRIMMING, AND IRRIGATION REPAIRS.
- 41. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE MAINTENANCE PERIOD AND FINAL ACCEPTANCE. ALL TREES SHALL BE GUARANTEED BY THE CONTRACTOR TO LIVE AND GROW IN AN ACCEPTABLE UPRIGHT POSITION FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD AND FINAL ACCEPTANCE,
- 42. THE ONLY CONDITIONS WHICH RELIEVE THE CONTRACTOR FROM THE GUARANTEE OF PLANT MATERIALS AS DESCRIBED ABOVE ARE THOSE WHICH CAN BE SHOWN ARE A DIRECT RESULT OF IMPROPER CARE OR WATERING BY THE OWNER AFTER THE MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD.
- 43. THE CONTRACTOR, WITHIN FIFTEEN (15) DAYS AFTER RECEIVING WRITTEN NOTIFICATION BY THE OWNERS REP., SHALL REMOVE AND REPLACE ALL GUARANTEED PLANT MATERIALS WHICH FAIL TO MEET THE REQUIREMENTS OF THE GUARANTEE. REPLACEMENT SHALL BE MADE WITH PLANT MATERIALS AS INDICATED OR SPECIFIED ON THE ORIGINAL PLANS, AND ALL SUCH REPLACEMENT MATERIALS SHALL BE GUARANTEED AS SPECIFIED FOR THE ORIGINAL MATERIALS.



		SUGGE	STED APP	LICATION	RATES		
	Agrif	orm ^e 21-gi (*availat		(SKU#E9 ada SKU#		00 26)	
			Tree / S	shrub Cont	ainer Size		
	1 gal	2 gal	Зgal	5 gal	7 gal	15 gal	24" box
Installation	1	1 to 2	2103	2 to 3	3 to S	7 to 10	15 to 24
		Main	tenance R (Plant	ates for Est Height or	ablished P Spread)	lantings	11
	18" or less	18-36"	36-54"	4.5-6 ft.	6-7.5 ft.	7.5-9 ft.	Each additional 18"
Slow Growing	1	1 to 2	2 to 3	3 to 4	4 to S	S to 6	add 1
Fast Growing	2	2 to 4	4106	6 to 8	8 to 10	10 to 12	add 1
		orm ^e 10-g tion Rate fo					
		1 to) 2 tablets	for each pl	lant		
Ap		form® 5-g ite for Small				1915) size or smal	ler)
		1	tablet for	each plan	t		
Abways refer	to Jahal in	dructions	hatom any	lication			



IRRIGATION NOTES & SPECIFICATIONS

- 1. IRRIGATION PLAN IS DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED IN PLANTING AREAS ONLY UNLESS NOTED OTHERWISE. REFER TO THE IRRIGATION LEGEND, DETAILS, AND SPECIFICATIONS FOR EQUIPMENT AND INSTALLATION; SPECIFICATIONS SHALL TAKE PRECEDENCE OVER INSTALLATION DETAILS.
- 2. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF IRRIGATION POINT OF CONNECTION (POC) AND THE STATIC WATER PRESSURE AT THAT LOCATION PRIOR TO BEGINNING ANY IRRIGATION WORK. IF THE LOCATION OR WATER PRESSURE IS DIFFERENT THAN THAT EXPRESSED BY THE DRAWINGS. THE DESIGN STATIC PRESSURE IS 60 PSI. IF THE PRESSURE APPEARS TO BE UNUSUALLY HIGH OR LOW, THE CONTRACTOR SHALL CONTACT THE OWNER'S REP. IMMEDIATELY.
- 3. CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTAL TO WORK OF THIS SECTION.
- 4. PIPE FITTINGS SHALL BE AS FOLLOWS:
- 4.1. ALL RISERS AND EXPOSED FITTINGS SHALL BE P.V.C. SCHEDULE 40. 4.2. ALL UNDERGROUND FITTINGS SHALL BE P.V.C. SCHEDULE 40.
- 5. IRRIGATION CONTROL WIRES SHALL CONFORM TO THE FOLLOWING
- 5.1. ALL WIRE SHALL BE TYPE UF, 600 VOLT, SOLID COPPER , WIRE SHALL BE DIRECT BURIAL TYPE. GROUND WIRE SHALL BE: 14 GAUGE WHITE. SPARE GROUND WIRE SHALL BE 14 GAUGE BLUE. MULTI-STRAND WIRE SHALL BE 18 GAUGE AND CONTRACTOR SHALL INSTALL 3 SPARES PER CONTROLLER. ALL SPLICES AND CONNECTIONS SHALL BE WATER-TIGHT. ALL WIRES SHALL BE INSTALLED WITH TWO (2) FEET OF EXCESS WIRE (COILED) AT THE END OF EACH WIRE RUN, WIRE SPLICE, AND AT EACH CONTROLLER.
- 5.2. CONTROL WIRE SHALL BE BUNDLED EVERY 10' AND PLACED ADJACENT TO MAIN LINE. ALL WIRE SPLICES SHALL BE LOCATED IN VALVE BOXES. DO NOT TAPE WIRE TO PIPE.
- MANUAL DRAIN VALVES SHALL BE PLACED ON THE MAIN LINE IN LOW SPOTS. ALL MANUAL DRAINS SHALL BE PLACE 6. IN SEPARATE VALVE BOXES PER INSTALLATION DETAILS.
- 7. ALL POP-UP SPRAY SPRINKLERS SHALL CONFORM TO THE FOLLOWING UNLESS SPECIFIED IN PLAN:
- 7.1. SPRINKLERS LOCATED IN GRASS AREAS SHALL BE PER PLAN. 7.2. SPRINKLERS LOCATED IN PLANTING BEDS SHALL BE SIX [6] INCHES IN HEIGHT.
- 8. ALL PRESSURE MAIN LINES SHALL HAVE MINIMUM TWENTY-FOUR (24) INCHES OF COVER, AND ALL LATERAL LINES SHALL BE HAVE FOURTEEN (14) INCHES OF COVER. TRENCH BEDDING AND BACKFILL MATERIAL SHALL BE EXISTING SITE SOIL FREE OF ROCKS, DEBRIS, ETC. GREATER THAN ONE (1) INCH IN ANY DIMENSION THAT MAY DAMAGE IRRIGATION PIPE OR EQUIPMENT. IN THE EVENT OF BACKFILL SETTLEMENT, CONTRACTOR SHALL PERFORM REQUIRED REPAIRS AT HIS OWN COST
- WHERE POSSIBLE, ALL AUTOMATIC CONTROL VALVES SHALL BE LOCATED WITHIN SHRUB AREAS. ALL VALVE BOXES IN PLANTING BEDS ARE TO BE TAN. ALL BOXES WITHIN LAWN TO BE GREEN. THERE SHALL BE ONE VALVE PER BOX, WITH FOUR (4) INCHES OF 3/4" GRAVEL BENEATH THE VALVE. NO VALVE MANIFOLDS SHALL BE ALLOWED. GATE VALVES SHALL BE LOCATED IN SEPARATE VALVE BOXES. WIRE SPLICES SHALL ALSO BE LOCATED IN SEPARATE VALVE BOXES.
- 10. ALL MAIN LINE AND LATERAL LINES SHALL BE SLEEVED WITH P.V.C. SCHEDULE 40 PIPE . WHERE THEY PASS UNDER PAVED AREAS. SLEEVE SIZE SHALL BE TWICE THE DIAMETER OF THE LINE TO BE SLEEVED UNLESS OTHERWISE NOTED ON THE PLANS. CONTRACTOR SHALL INSTALL A SEPARATE 2" SLEEVE FOR WIRES. VALVE BOXES IN PLANTER BEDS SHALL BE TAN. 11. MAIN LINE SHALL BE INSTALLED IN SAND WITH 6" MINIMUM BELOW AND 6" MINIMUM ABOVE MAIN LINE PIPE.
- 12. AUTOMATIC CONTROLLERS SHALL BE OF THE SIZE AND TYPE NOTED, AND INSTALLED WHERE INDICATED ON IRRIGATION PLAN. CONTROL WIRES SHALL BE SLEEVED IN ELECTRICAL CONDUIT TO MAINLINE. 120-VOLT ELECTRICAL SERVICE TO CONTROLLERS SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. COORDINATE THIS WORK WITH ELECTRICAL AND OTHER CONTRACTORS FOR THIS PROJECT.
- 13. PRIOR TO BACKFILLING IRRIGATION TRENCHES:
- 13.1. ALL MAIN LINES IN THE SYSTEM SHALL BE CAPPED AND PRESSURE TESTED AT 90 P.S.I. FOR A PERIOD OF TWO (2) HOURS. ANY LEAKS FOUND SHALL BE CORRECTED BY REMOVING THE LEAKING PIPE OR FITTINGS AND INSTALLING NEW MATERIAL IN ITS PLACE. REPEAT PRESSURE TEST TO ASSURE ABSENCE OF LEAKS. 13.2. ALL LATERAL LINES SHALL BE PRESSURE TESTED AT DESIGN PRESSURE FOR ONE (1) HOUR. DESIGN PRESSURE FOR
- THIS PROJECT IS 70 PSI.
- 13.3. THE CONTRACTOR SHALL NOT ALLOW NOR CAUSE ANY OF HIS WORK TO BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED BY THE OWNER/OWNER'S AUTHORIZED REPRESENTATIVE. 13.4. WHERE MAIN LINE WILL BE ALLOWED TO SIT UNCOVERED FOR ANY LENGTH OF TIME IN THE TRENCH PRIOR TO TESTING, SHADE MAIN LINE WITH A THIN COVERING OF SOIL TO MINIMIZE WEATHER-RELATED EXPANSION OR
- CONTRACTION OF PIPE. 14. IRRIGATION CONTRACTOR SHALL ADJUST ALL HEADS TO PROVIDE A UNIFORM COVERAGE AND TO KEEP SPRAY OFF
- BUILDINGS, SIDEWALKS, WALLS, PARKING AREAS, DRIVES, AND SIGNS 15. WHEN THE SPRINKLER SYSTEM IS COMPLETED THE CONTRACTOR SHALL, IN THE PRESENCE OF THE OWNER/OWNER'S AUTHORIZED REPRESENTATIVE, PERFORM A COVERAGE TEST OF WATER PROVIDED TO THE PLANTING AREAS TO
- ENSURE IT IS CONSISTENT AND UNIFORM. 16. THE CONTRACTOR SHALL FURNISH TO THE OWNER A COMPLETE "AS BUILT" DRAWING ON PAPER AND DIGITAL FILE SHOWING EXACT LOCATIONS OF VALVES, MAIN LINES, VALVES, BACKFLOW, AUXILIARY EQUIPMENT, ISOLATION VALVES LATERALS, AND HEADS. ALL VALVES MUST BE LABELED INSIDE THE BOX WITH WATER PROOF LABELS
- 17. AT THE TIME OF SUBSTANTIAL COMPLETION (DEFINED AS COMPLETE INSTALLATION AND PROPER FUNCTIONING OF IRRIGATION SYSTEM, INSTALLATION OF ALL PLANT MATERIAL INCLUDING STAKING OF ALL TREES, AND PLACEMENT OF SOIL PREP) THE CONTRACTOR SHALL SCHEDULE A WALK THROUGH WITH OWNER TO REVIEW ALL WORK COMPLETED TO DATE AND GENERATE A PUNCH LIST. AT THIS TIME THE WARRANTY PERIOD OF ONE (1) YEAR BEGINS. AFTER SUBSTANTIAL COMPLETION WALK THROUGH, THE CONTRACTOR HAS THIRTY (30) DAYS TO SATISFY ALL ITEMS ON PUNCH LIST.
- 18. IRRIGATION CONTRACTOR SHALL GUARANTEE THE ENTIRE IRRIGATION SYSTEM TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE BY THE OWNER.
- 19. CONTRACTOR TO COORDINATE WITH OWNER'S REP. WHEN BLENDING NEW LANDSCAPE WITH EXISTING LANDSCAPE. THIS WILL ALSO INCLUDE VERIFYING SQUARE FOOTAGE OF GRASS AND IRRIGATION ADJUSTMENTS. 20. LANDSCAPE CONTRACTOR TO COORDINATE WITH OWNERS REP AND GENERAL CONTRACTOR THE WATERING OF
- TREES AND GRASS TO KEEP PLANTS, GRASS AND TREES ALIVE DURING CONSTRUCTION. 21. ALL PARTS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. VALVES INSTALLED
- MUST HAVE A DOUBLE UNION AND A MINIMUM OF 6" SPACE ON BOTH SIDES OF THE VALVE IN THE VALVE BOX. 22. FOR DRIP IRRIGATION CONTRACTOR MUST PROVIDE ALL PIPING, EMITTERS, PRESSURE REDUCERS PER VALVE, DRAINS, FILTERS AND PARTS NEEDED. ALL TREES GET TWO RAINBIRD DRIPLINE RINGS 1 AT 2' RADIUS AND 1 AT 4' RADIUS. EMITTERS ARE AS FOLLOWS 1 (1) GALLON EMITTER PER 1 GALLON PLANT, 1 (2) GALLON EMITTER PER 5 GALLON SHRUB.
- 23. CONTRACTOR MUST PROVIDE THE OWNER WITH AN AS-BUILT IRRIGATION MAP SHOWING LOCATION OF ALL VALVES, MAIN LINE, LATERAL LINES AND AUXILIARY EQUIPMENT.

MAINTENANCE AND OPERATIONAL NOTES

- 24. THE PURPOSE OF THIS SPRINKLER SYSTEM IS TO PROVIDE ONLY SUFFICIENT WATER TO MAINTAIN PLANT LIFE DURING DRY WEATHER CONDITIONS OR SUMMER SEASONS. TIME CLOCKS SHALL BE READJUSTED CONTINUOUSLY THROUGHOUT THE SEASON, ON A WEEKLY BASIS IF NECESSARY, TO PROVIDE WATER ONLY WHEN THE SOIL IS.DRY AT A DEPTH OF FOUR (4) INCHES THE FIRST INITIAL GROWING SEASON AND SIX (6) INCHES THE FOLLOWING YEARS. IF THE GROUND IS MOIST EITHER AT THE SURFACE OR A DEPTH OF FOUR (4) INCHES DURING THE FIRST YEAR AFTER INITIAL PLANT ESTABLISHMENT OR IS MOIST AT A DEPTH OF SIX (6) INCHES THEREAFTER, SHUT THE TIME CLOCKS OFF AND DO NOT APPLY ADDITIONAL WATER UNTIL SOIL HAS BEEN ALLOWED TO DRY. READJUST TIME CLOCK PRIOR TO TURNING VALVES BACK ON. IF RAIN IS FORECAST OR IS EMINENT, ALL IRRIGATION SYSTEMS SHALL BE SHUT OFF AND NOT REACTIVATED UNTIL THE SOIL HAS DRIED TO THE ABOVE DEPTHS.
- 25. IF ANY SUBSURFACE DRAINAGE OR RUN-OFF IS VISIBLE AT LOW AREAS, ACROSS SIDEWALKS OR AT LOWER PORTIONS OF SLOPES, IMMEDIATELY SHUT THE VALVES OFF TO ALLOW THE AREA TO COMPLETELY DRY OUT. IF THIS CONDITION CONTINUES AFTER SUBSEQUENT WATERINGS THE CONTRACTOR SHALL NOTIFY THE OWNER'S REP. 26. INSPECTIONS OF IRRIGATION SYSTEM SHALL BE MADE ON A DAILY BASIS TO OBSERVE AND PROVIDE REPAIRS OR
- REMEDIES TO THE FOLLOWING UNACCEPTABLE PROBLEMS: 26.1. OVER-SPRAY ON SIDEWALKS, STREETS, PAVED AREAS, PARKING AREAS, FENCES, WALLS, SIGNS, BUILDINGS OR STRUCTURES.
- 26.2. DRAINAGE OR RUN-OFF ACROSS SIDEWALKS, PAVING OR STREETS.
- 26.3. DAMAGED OR IMPROPERLY OPERATING HEADS, PIPING, VALVES, CONTROLLERS OR OTHER IRRIGATION EQUIPMENT 27. CONTRACTOR TO PROVIDE 2 HOURS OF TRAINING TO OWNER AT END OF PROJECT REGARDING OPERATION FOR IRRIGATION SYSTEM. CONTRACTOR WILL SHOW OWNER HOW TO OPERATE THE FOLLOWING: STOP AND WASTE VALVE, BACKFLOW VALVE, CONTROLLER, AND REMOTE CONTROL VALVES.

SET CONTROLLER 60" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.

CONTROLLER AS SPECIFIED. ---SECURELY BOLT CONTROLLER TO WALL. INSTALL BACKUP BATTERIES AS REQUIRED. GROUND AS PER MFG. SPECIFICATIONS.

1/2" DIAMETER RIGID STEEL CONDUIT FOR 110 VAC ELECTRICAL SOURCE. INSTALL AS PER LOCAL ELECTRICAL CODES.

FINISHED	GRADE.
18,	LONG SW

	WALL	MOUNT
\bigcirc	" = '-O"	

<u>NOTE:</u>			
DRAIN	SHAL	L BE	IN
CENTE	R OF	GRAV	/EL
SUMP			

LANDSCAPE SURFACE



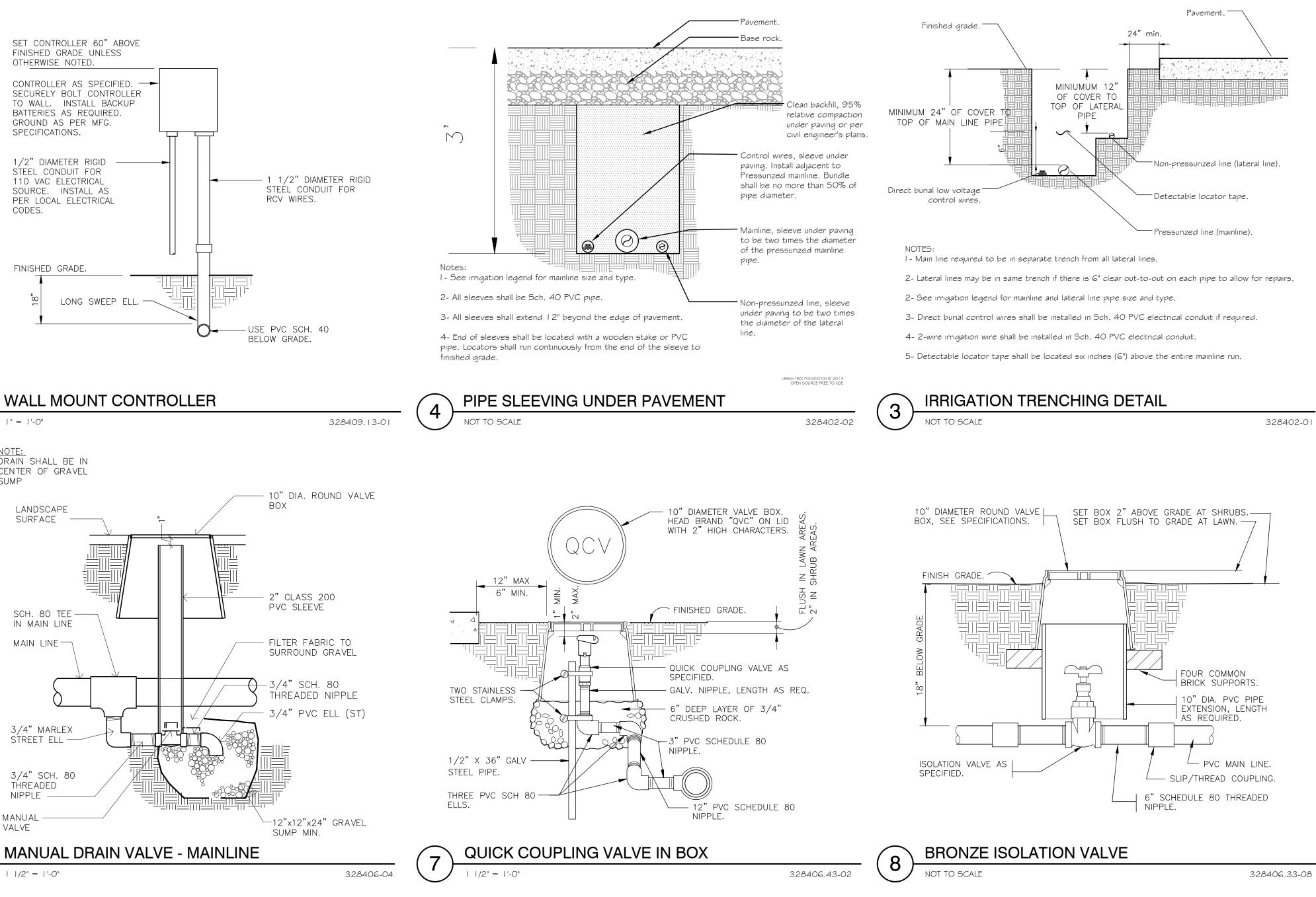
SCH. 80 TEE -IN MAIN LINE MAIN LINE

3/4" MARLEX STREET ELL

3/4" SCH. 80 THREADED NIPPLE -

MANUAL -VALVE





328406.33-08

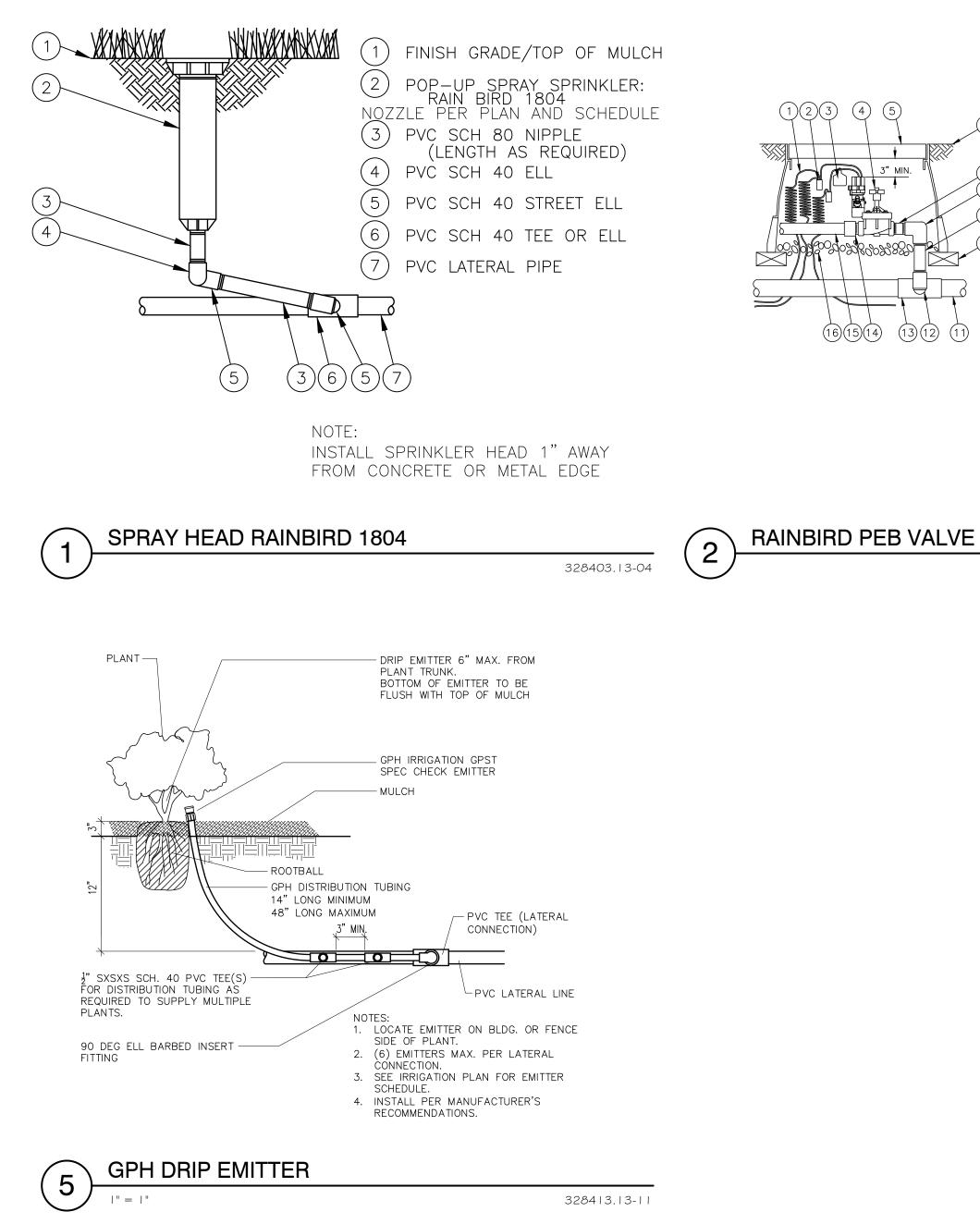


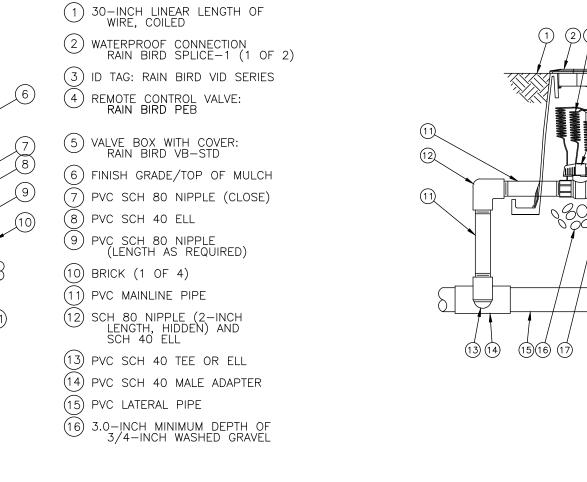


DETAILS

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L302





1 234567 89 10

1 FINISH GRADE/TOP OF MULCH 2 VALVE BOX WITH COVER: RAIN BIRD VB-STD
 3 30-INCH LINEAR LENGTH OF WIRE, COILED
 4 WATERPROOF CONNECTION: RAIN BIRD DB SERIES
 5 1-INCH BALL VALVE (INCLUDED 5 1-INCH BALL VALVE (INCLUDED IN XCZ-PRB-100-COM KIT) REMOTE CONTROL VALVE: RAIN BIRD PESB (INCLUCED IN XCZ-PRB-100-COM KIT)
 PRESSURE REGULATING QUICK CHECK BASKET FILTER: RAIN BIRD PRB-QKCHK-100 (INCLUDED IN (INCLUDED IN XCZ-PRB-100-COM KIT) 9 PVC SCH 40 FEMALE ADAPTOR

(10) LATERAL PIPE (1) PVC SCH 80 NIPPLE (LENGTH

AS REQUIRED) (12) PVC SCH 40 ELL 13 PVC SCH 80 NIPPLE (2-INCH

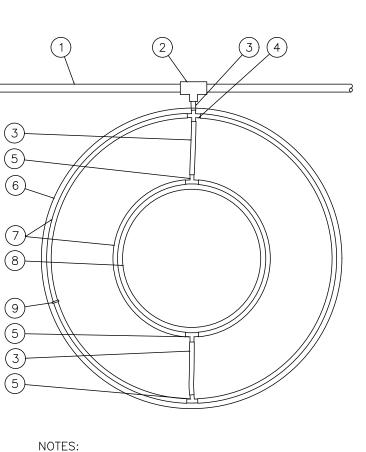
LENGTH, HIDDEN) AND PVC SCH 40 ELL (14) PVC SCH 40 TEE OR ELL (15) MAINLINE PIPE

(16) 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL (17) PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN XCZ-PRB-100-COM KIT)

328406.13-05

RAINBIRD XCZ-PRB 100 VALVE 3

328413.76-30



- (1) PVC DRIP MANIFOLD PIPE
- (2) PVC SCH 40 TEE OR EL
- (3) $\frac{1}{2}$ " POLYETHYLENE TUBING: RAIN BIRD XFS 09-12(12)
- (4) BARB CROSS INSERT FITTING: RAIN BIRD XFS-CROSS
- 5 BARB TEE INSERT FITTING:
- RAIN BIRD XFS-TEE 6 PROJECTED CANOPY LINE OF TREE
- (7) SUB-SURFACE DRIPLINE: RAIN BIRD XFS SERIES DRIPLINE POTABLE: XFS DRIPLINE NON-POTABLE: XFDP
- DRIPLINE PLACE AS SHOWN (LENGTH AS REQUIRED)
- (8) ROOT BALL
- (9) TIE DOWN STAKE:
- RAIN BIRD TDS-050 WITH BEND (QUANTITY AS REQUIRED, SEE NOTES 2-3 BELOW)
- 1. DISTANCE BETWEEN LATERAL RINGS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, AND TREE CANOPY. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING. 2. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY. 3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF
- DIRECTION. 4. INSTALL TOP OF DRIPLINE BELOW BARK MULCH AND 1" BELOW SOIL SURFACE.

RAINBIRD DRIPLINE AROUND TREE

NOT TO SCALE

4

328413-02

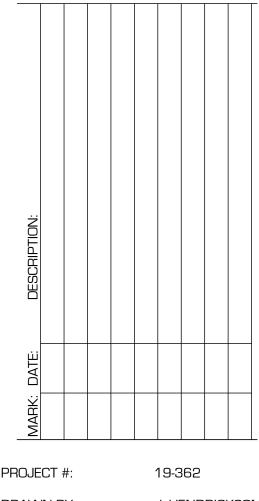
62 **SUO** 13.3⁷ 3192 4.14; 435.21 .216.3 301.872 Idi с С С С С С С С С С С С <u>к</u>а. – HE VALLE LAKE | 1 VAI I FV S . I 우디우 CAC SAL⁻ UTA C

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D



DRAWN BY:

ISSUED:

J. HENDRICKSON

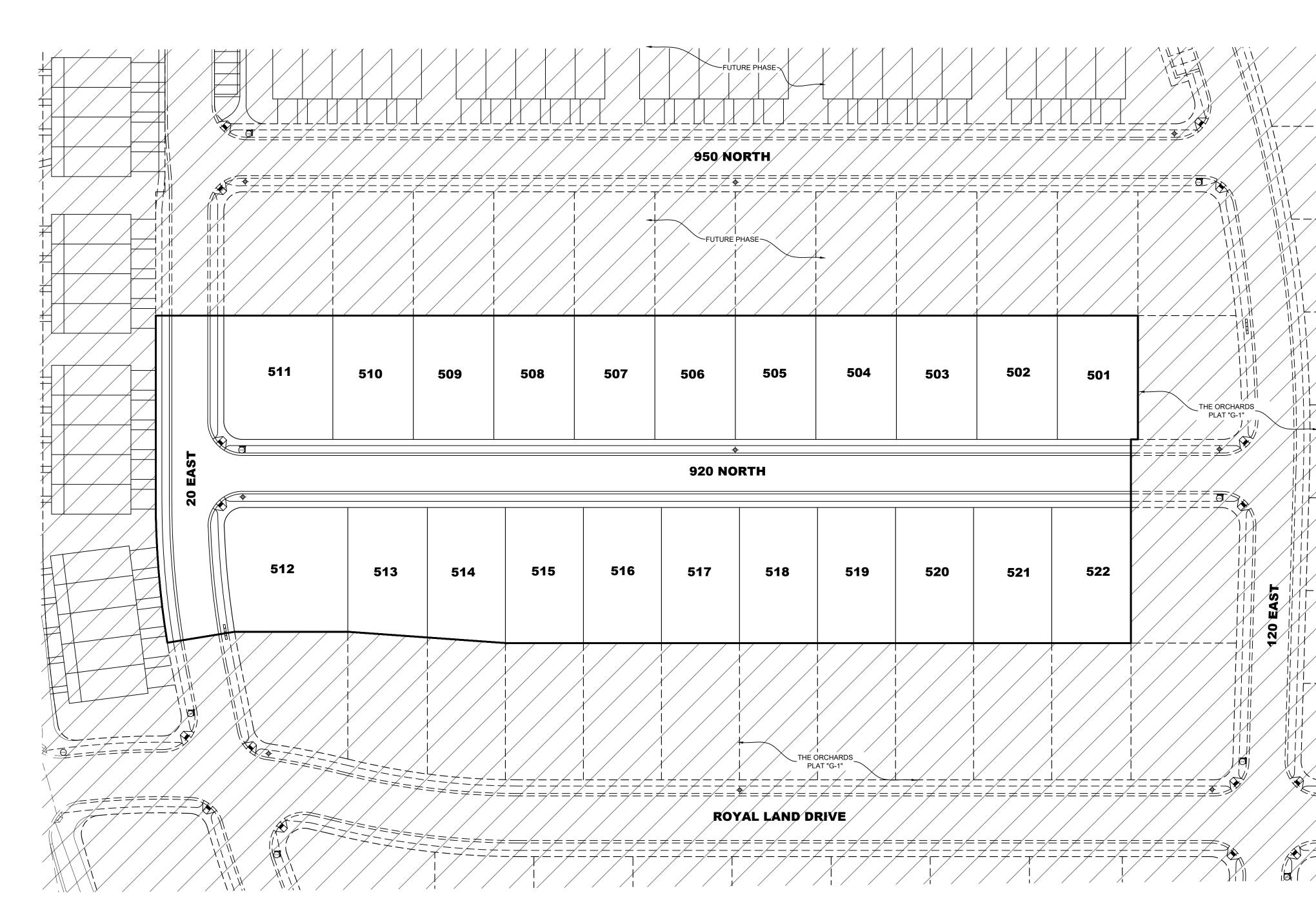
PROJECT MANAGER: J. HENDRICKSON 03.03.20



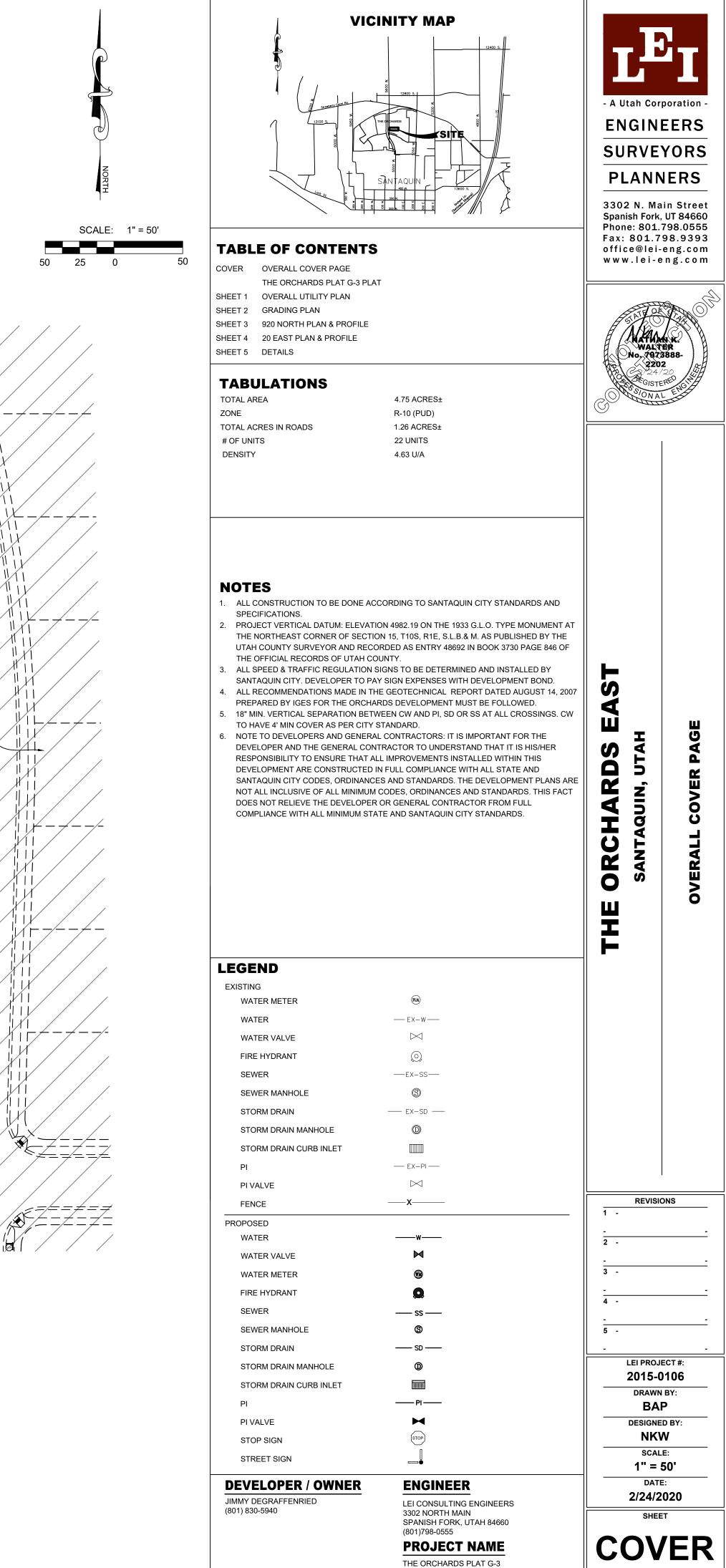


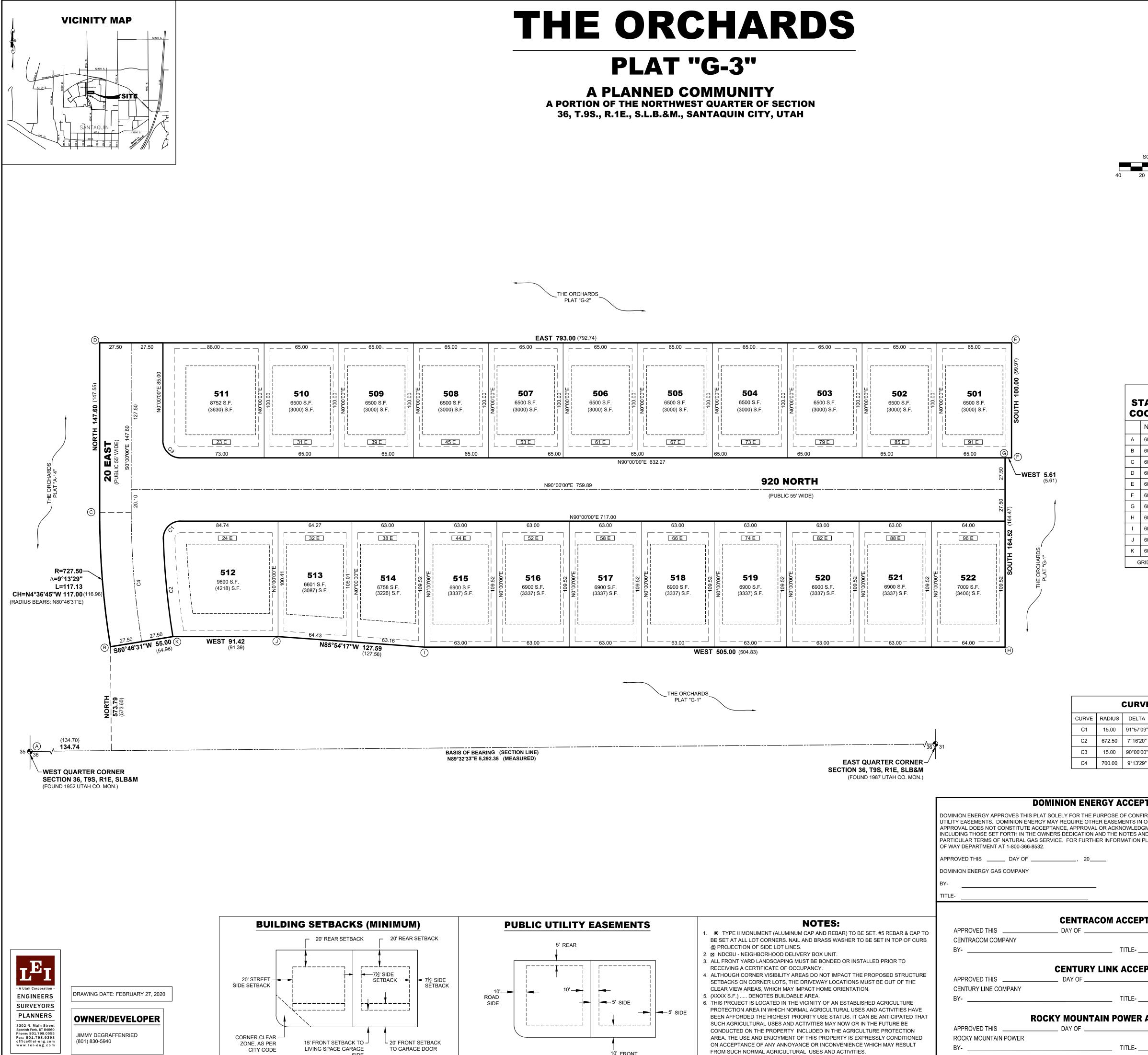
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L303



THE ORCHARDS PLAT G-3



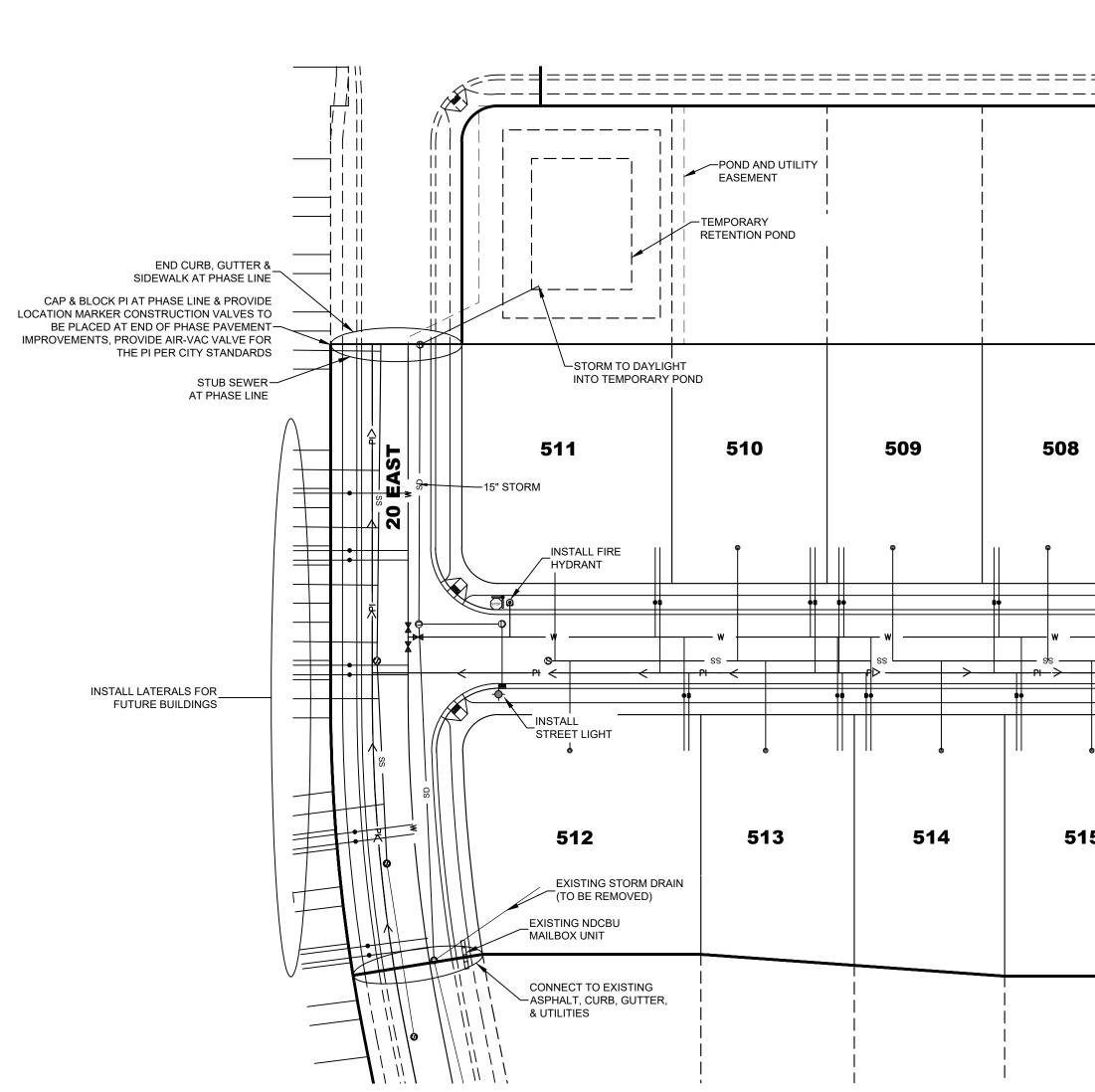


10' FRONT

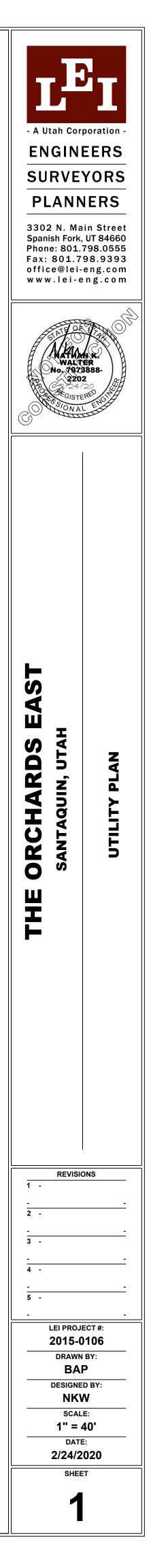
SIDE

NORTH SCALE: 1" = 40'	6310734 IN ACCORDANCE WITH OWNER(S), THAT I HAVE COMPI 17-23-17, OF SAID CODE, AND H THE SAME HAS, OR WILL BE, CO AND THAT THIS PLAT IS TRUE A A PORTION OF THE NORTH BEING MORE PARTICULARLY DES BEGINNING AT A POINT LOO 36, TOWNSHIP 9 SOUTH, RANGE RADIUS NON-TANGENT CURV 9°13'29" (CHORD: N4°36'45"W 1 FEET; THENCE WEST 5.61 FEET	ERTIFY THAT I AM A PROFESSION TITLE 58, CHAPTER 22, OF UTAH LETED A SURVEY OF THE PROPE AVE SUBDIVIDED SAID TRACT OF DRRECTLY SURVEYED, STAKED, ND CORRECT. BOUNDARY WEST QUARTER OF SECTION 36, T SCRIBED AS FOLLOWS: CATED N89°32'33"E 134.74 FEET AND 1 EAST, SALT LAKE BASE & MERIDIA E TO THE RIGHT (RADIUS BEAU 117.00 FEET); THENCE NORTH 147	CERTIFICATE NAL LAND SURVEYOR, AND THAT I STATE CODE. I FURTHER CERTIF RTY DESCRIBED ON THIS PLAT IN LAND INTO LOTS, BLOCKS, STRE AND MONUMENTED ON THE GROU DESCRIPTION OWNSHIP 9 SOUTH, RANGE 1 EAST, NORTH 573.79 FEET FROM THE WES N; THENCE NORTHWESTERLY ALC RS: N80°46'31"E) 117.13 FEET THI .60 FEET; THENCE THENCE EAST 79 ENCE WEST 505.00 FEET; THENCE I INNING.	Y BY AUTHORITY OF THE ACCORDANCE WITH SECTION ETS, AND EASEMENTS, AND UND AS SHOWN ON THIS PLAT, SALT LAKE BASE & MERIDIAN ANE ST QUARTER CORNER OF SECTION ONG THE ARC OF A 727.50 FOOT ROUGH A CENTRAL ANGLE OF 13.00 FEET; THENCE SOUTH 100.00
20 0 40	DATE		SURVE (See Seal	EYOR Below)
	DESCRIBED IN THE SURVEYOR INTO LOTS, BLOCKS, STREETS AREAS AS INDICATED HEREON	SE PRESENTS THAT WE, ALL OF S CERTIFICATE HEREON AND SH AND EASEMENTS AND DO HEREF FOR PERPETUAL USE OF THE P VE HEREUNTO SET OUR HANDS		D THE SAME TO BE SUBDIVIDED EMENTS AND OTHER PUBLIC
NAD27 STATE PLANE Northing Easting A 603525.76 1919968.33 B 604100.44 1920103.02 C 604217.02 1920093.62 D 604364.57 1920886.36 F 604264.60 1920880.74 H 604100.14 1920375.91 J 604109.25 1920248.69 K 604109.25 1920157.29 GRID FACTOR: 0.99967 0.99967	STATE OF UTAH S.S. COUNTY OF UTAH ON THIS DAY OF SIGNER OF THE FOREGOING II OF	, A.D. 20, PERSONALI NSTRUMENT, WHO DULY ACKNO , LIMIT	PANY ACKNOWLEDGE -Y APPEARED BEFORE ME WLEDGED TO ME THAT (S)HE IS T ED LIABILITY COMPANY, AND IS A E EXECUTED IT IN SUCH CAPACITY	HE THI
		- N C	NOTARY PUBLIC FULL NAME: COMMISSION NUMBER: MY COMMISSION EXPIRES: A NOTARY PUBLIC COMMISSIONEI	
IRVE TABLE ELTA LENGTH CHORD °57'09" 24.07 S44°01'26"W 21.57 '16'20" 85.36 S5°35'19"E 85.30	THE COUNTY OF UTAH, APPROVES OTHER PARCELS OF LAND INTE THISDAY OF	THIS SUBDIVISION AND HEREBY ENDED FOR PUBLIC PURPOSES F	LEGISLATIVE BODY OF ACCEPTS THE DEDICATION OF AL FOR THE PERPETUAL USE OF THE	L STREETS; EASEMENTS, AND PUBLIC
°00'00" 23.56 S45°00'00"E 21.21 '13'29" 112.70 S4°36'45"E 112.58 CEPTANCE State of the second	, , , , , , , , , , , , , , , , , , ,	NEER al Below)	ATTESTCLERK-F	RECORDER Seal Below)
ES AND DOES NOT CONSTITUTE A GUARANTEE OF ION PLEASE CONTACT DOMINION ENERGY'S RIGHT		HE OR A PLANNED	CHARD	
EPTANCE , A.D. 20 ,	A PORTION OF T		FER OF SECTION 36, T.95	5., R.1E., S.L.B.&M.
E	SURVEYOR'S SEAL		E: 1" = 40' CITY-COUNTY ENGINEER SEAL	UTAH COUNTY, UTAH
E ER ACCEPTANCE , A.D. 20,				

This form approved by Utah County and the municipalities therein.



3	507	506	505	504	503	502	501	
	1" PRESSURIZED IRRIGATION- LATERAL (TYP.)	920 NORTH	INSTALL STREET LIGHT	SS PH		-15" STOL		
15	516	517		519	520	521	 522	CONN ASPH. UTILIT

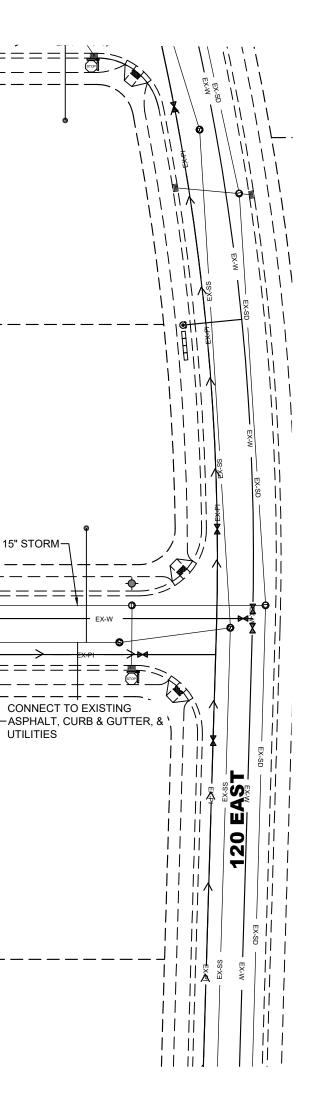


NORTH

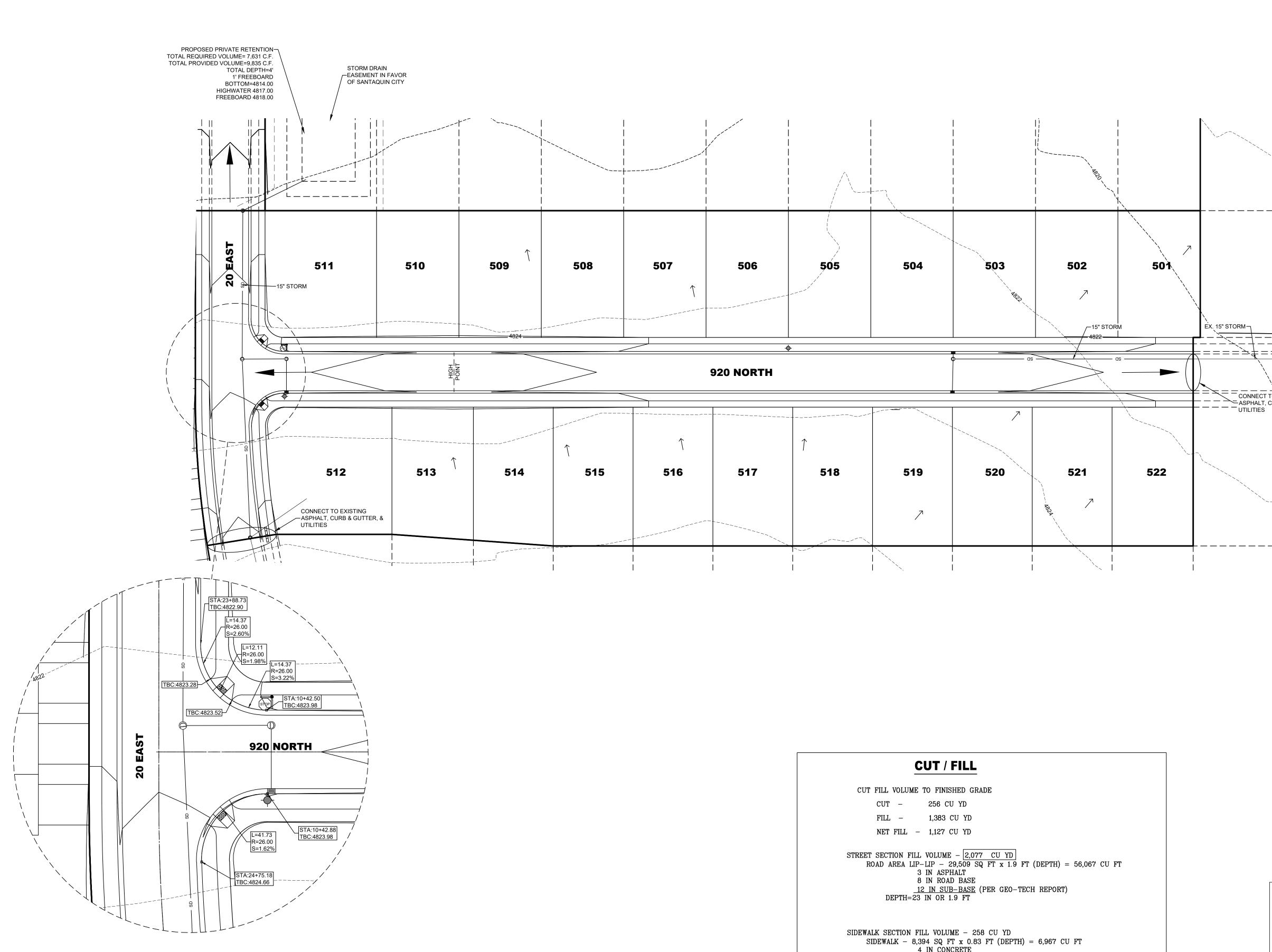
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SCALE: 1" = 40'

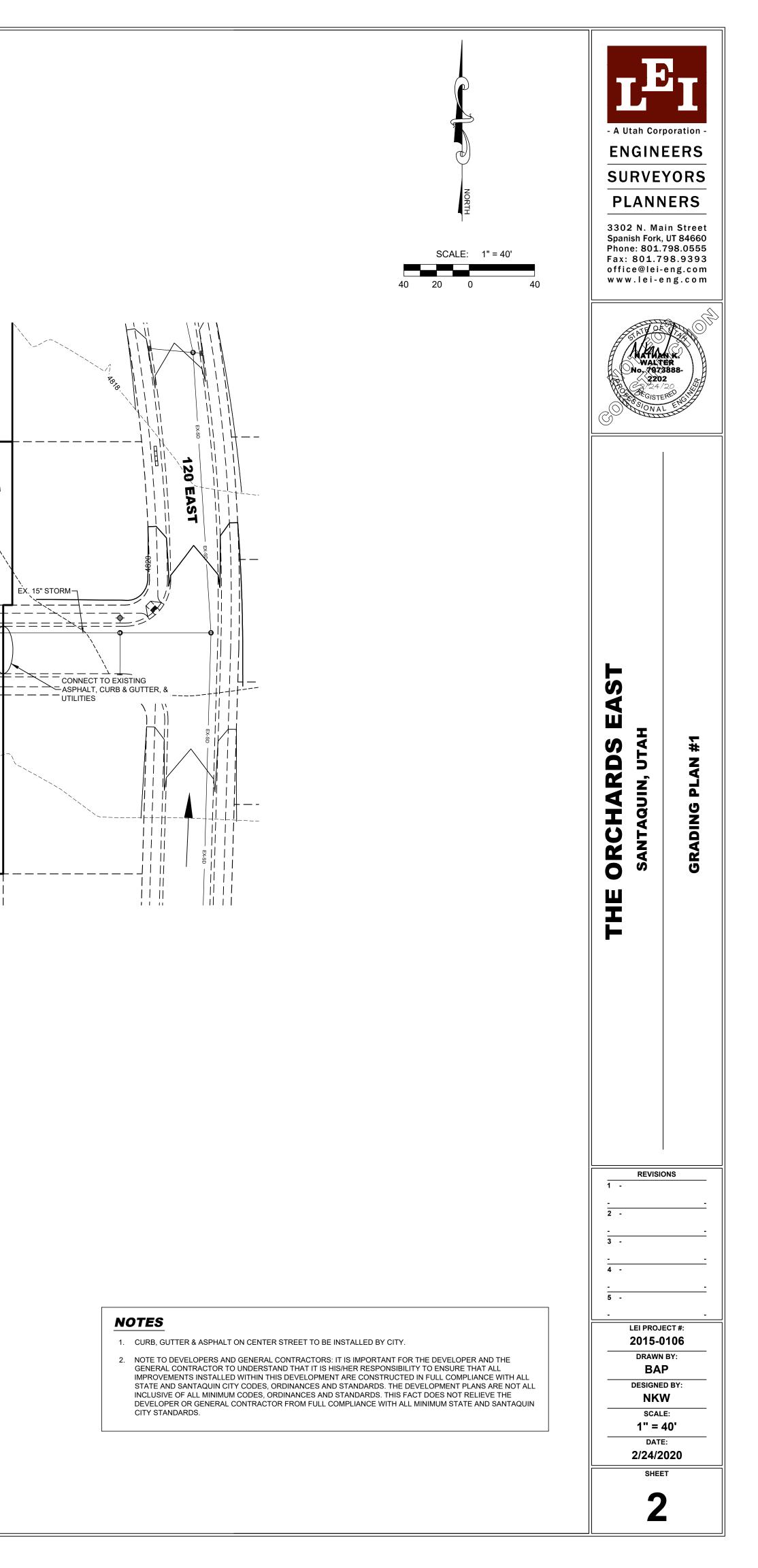
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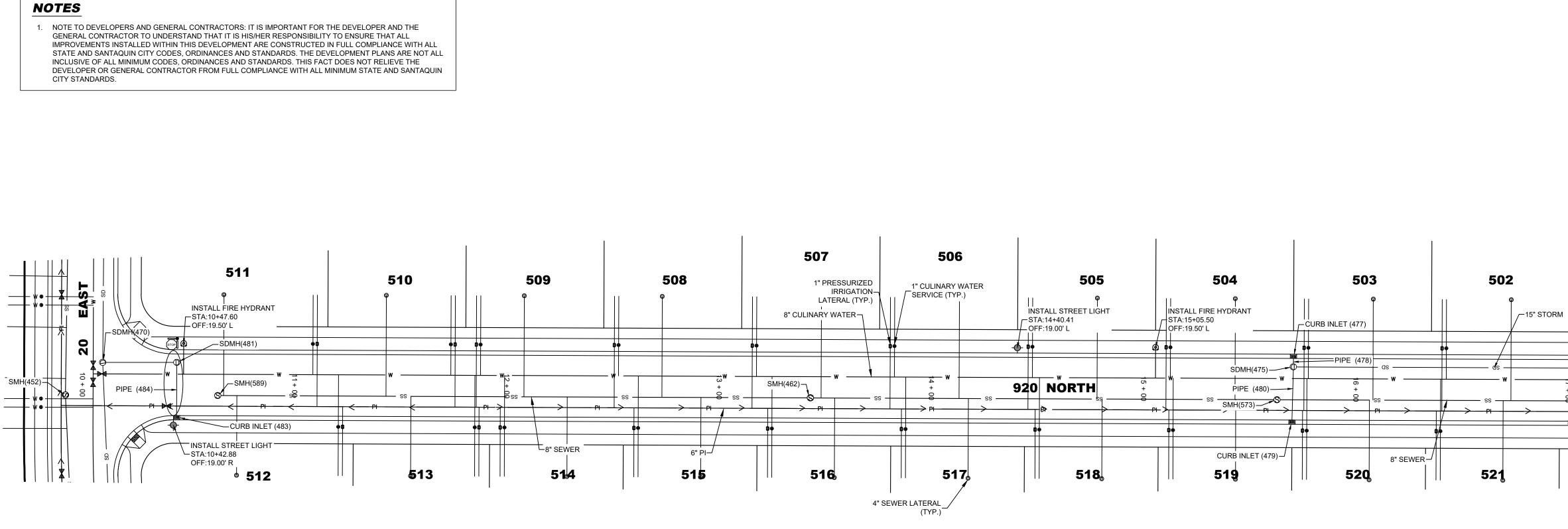


LEGEND	
EXISTING	-
WATER METER	(FLM)
WATER	— EX-W —
WATER VALVE	\bowtie
FIRE HYDRANT	\bigcirc
SEWER	—EX-SS—
SEWER MANHOLE	S
STORM DRAIN	EX-SD
STORM DRAIN MANHOLE	\bigcirc
STORM DRAIN CURB INLET	
PI	— EX-PI —
PI VALVE	\bowtie
FENCE	X
PROPOSED	
WATER	w
WATER VALVE	M
WATER METER	
FIRE HYDRANT	Q
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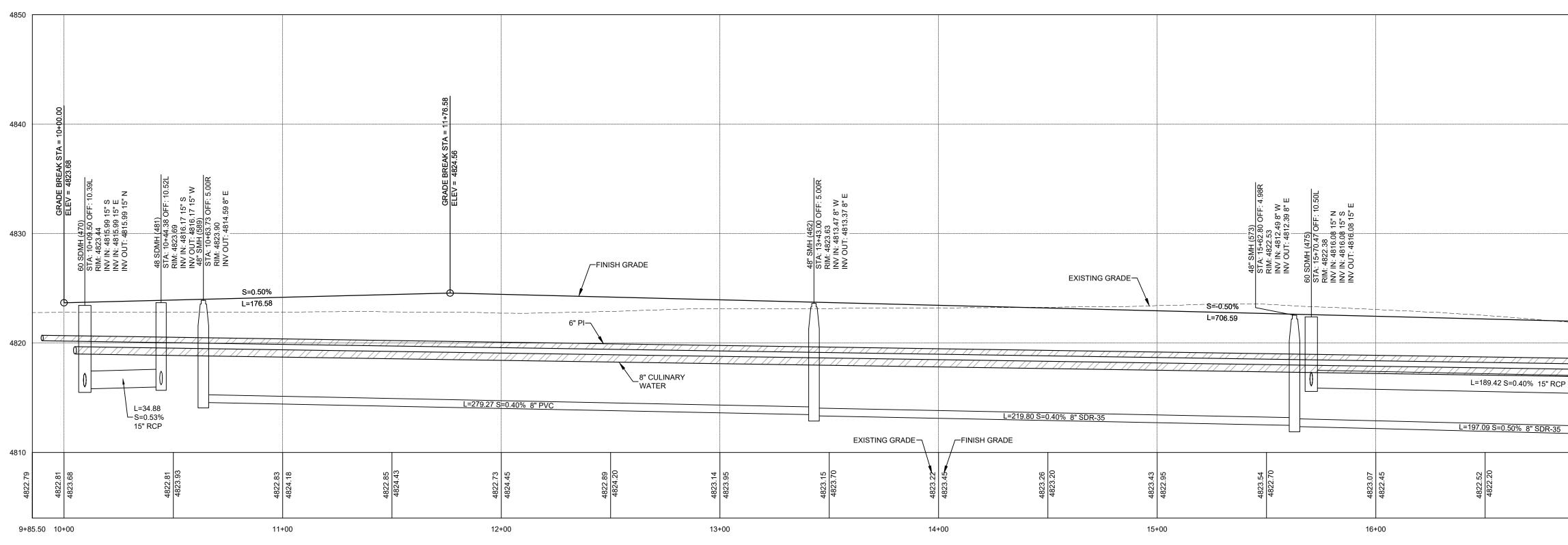


CUT / FILL
CUT FILL VOLUME TO FINISHED GRADE
CUT – 256 CU YD
FILL – 1,383 CU YD
NET FILL – 1,127 CU YD
STREET SECTION FILL VOLUME - 2,077 CU YD ROAD AREA LIP-LIP - 29,509 SQ FT x 1.9 FT (DEPTH) = 56,067 CU FT 3 IN ASPHALT 8 IN ROAD BASE <u>12 IN SUB-BASE</u> (PER GEO-TECH REPORT) DEPTH=23 IN OR 1.9 FT
SIDEWALK SECTION FILL VOLUME - 258 CU YD SIDEWALK - 8,394 SQ FT x 0.83 FT (DEPTH) = 6,967 CU FT 4 IN CONCRETE <u>6 IN ROAD-BASE</u> DEPTH=10 IN OR 0.83 FT
CUT VOLUME TO SUB-GRADE = 1.014 CU YD





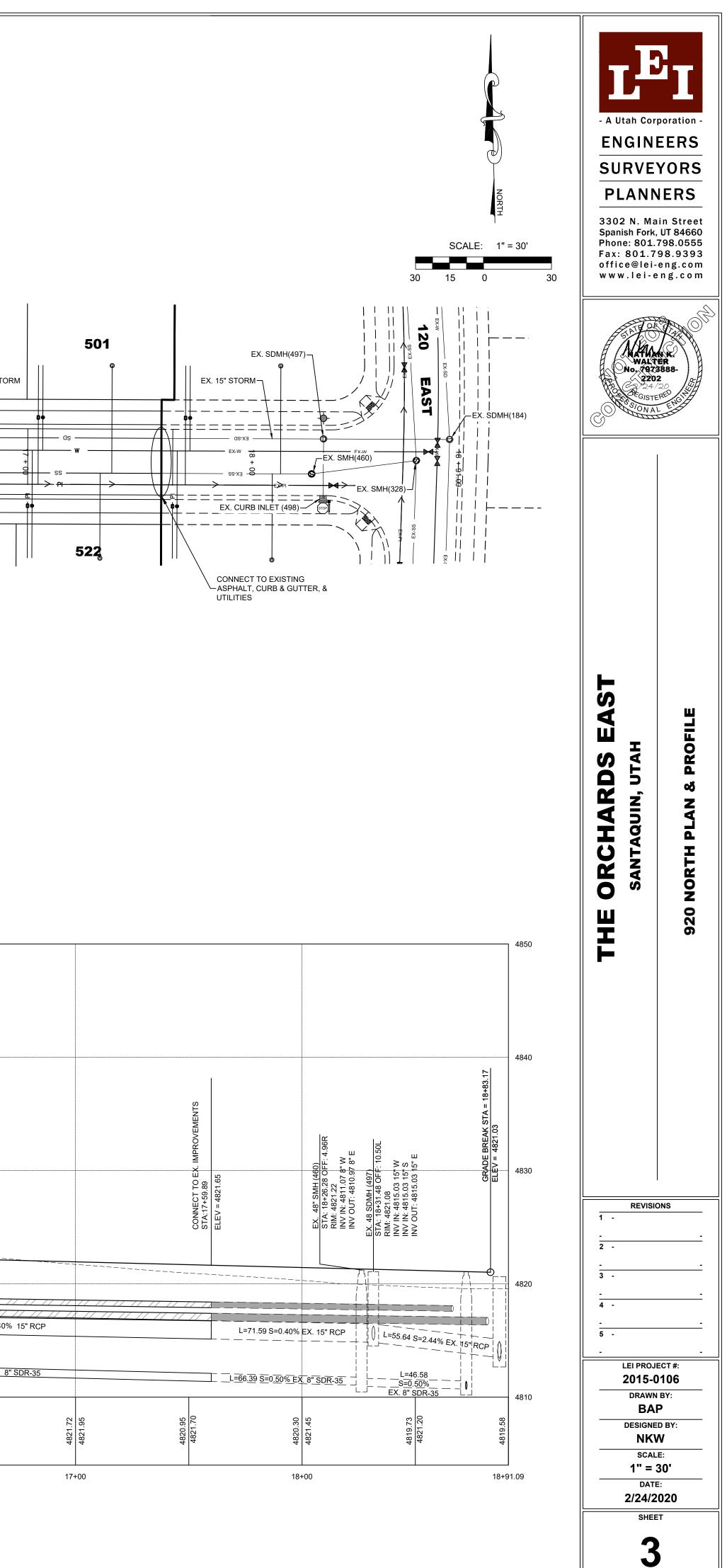
STRUCTURE TABLE				
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT	
CURB INLET (477) STA:15+70.50	TBC = 4822.68 INV OUT = 4816.32		(478), 15" RCP L=4.75, S=5.00%, INV OUT =4816.32	
CURB INLET (479) STA:15+69.89	TBC = 4822.68 INV OUT = 4817.37		(480), 15" RCP L=25.76, S=5.00%, INV OUT =4817.37	
CURB INLET (483) STA:10+44.38	TBC = 4823.98 INV OUT = 4817.46		(484), 15" RCP L=25.77, S=5.00%, INV OUT =4817.46	



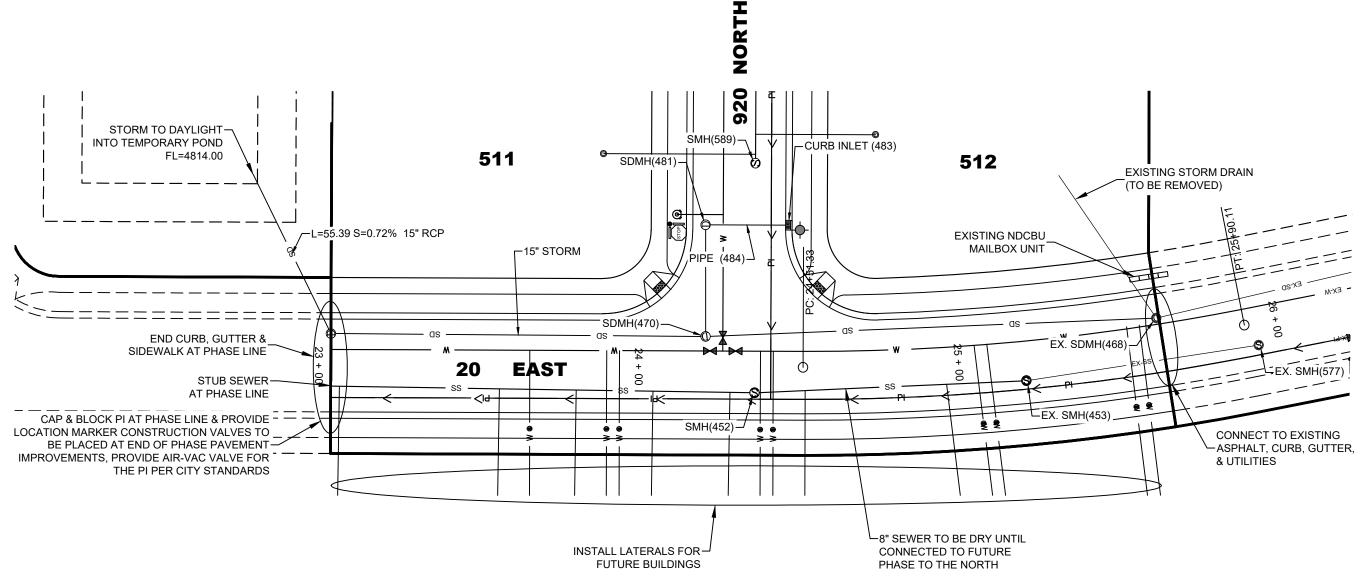
LEI PROJECTS\2015\2015\2016 THE ORCHARDS SUBD (RIVER VALLEY DEV.)\CAD\DWG\APPLE GROVE\15-0106 APPLE HOLLOW PLAT G-3.DWG 2/27/2020 9:47 AM

920 NORTH PROFILE VIEW



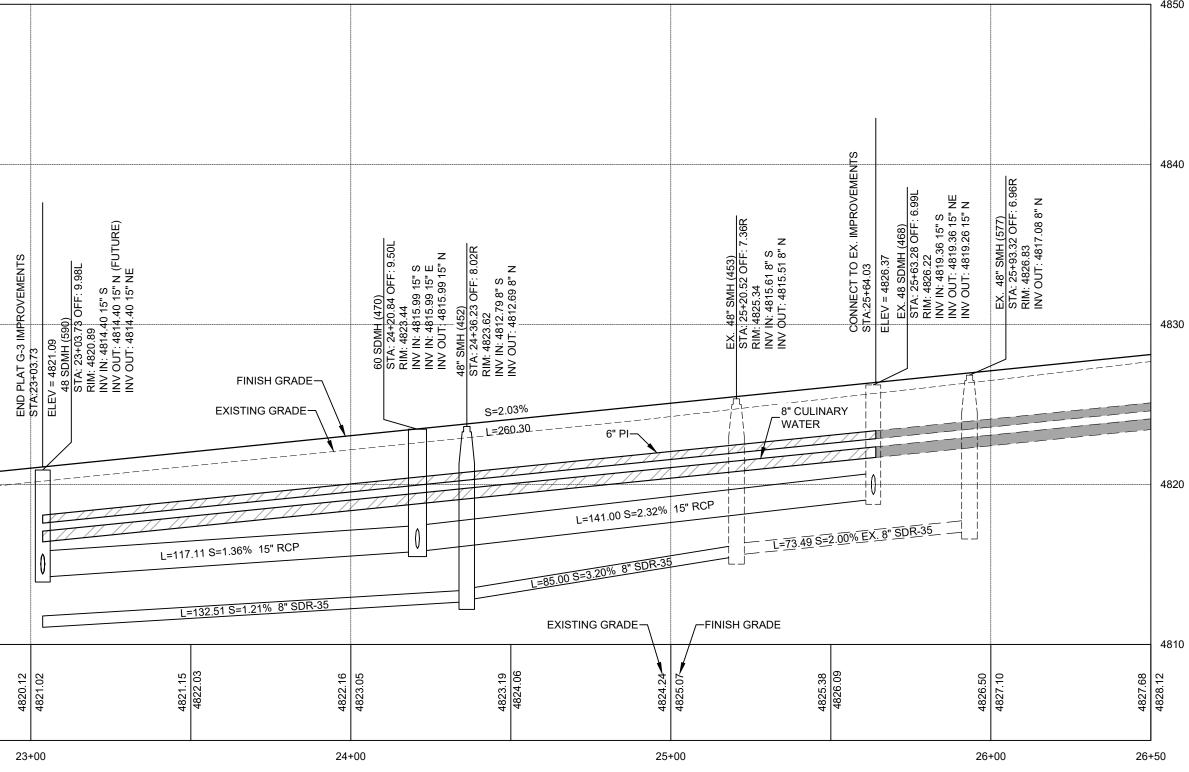


1. NOTE TO DEVELOPERS AND GENERAL CONTRACTORS: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY STANDARDS.



4850

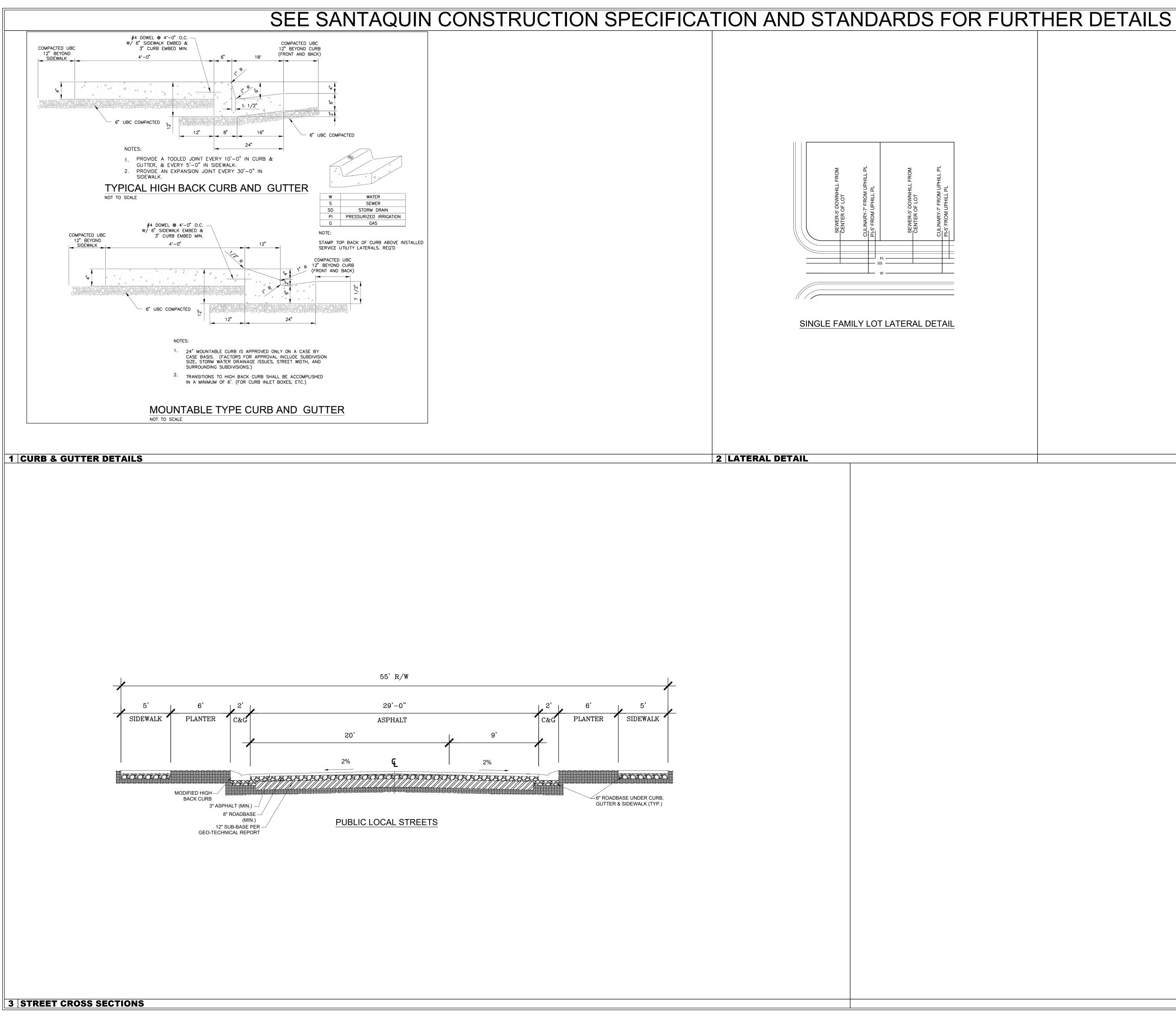
20 EAST PROFILE VIEW

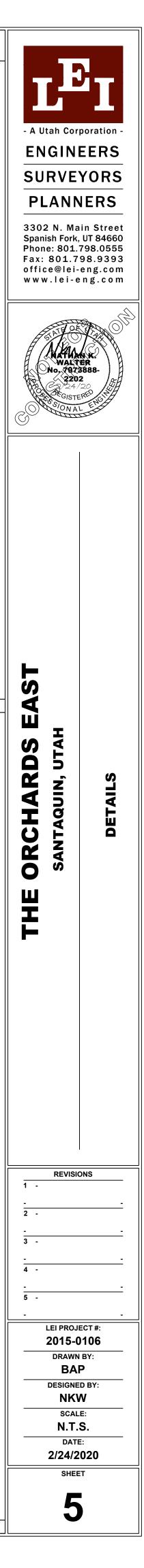


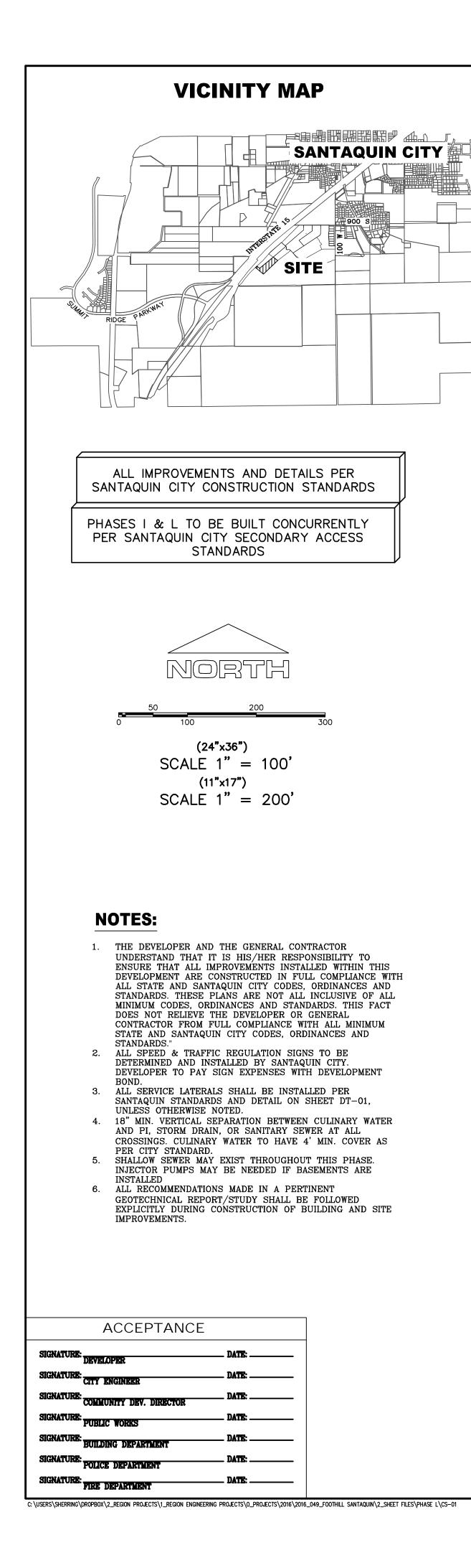


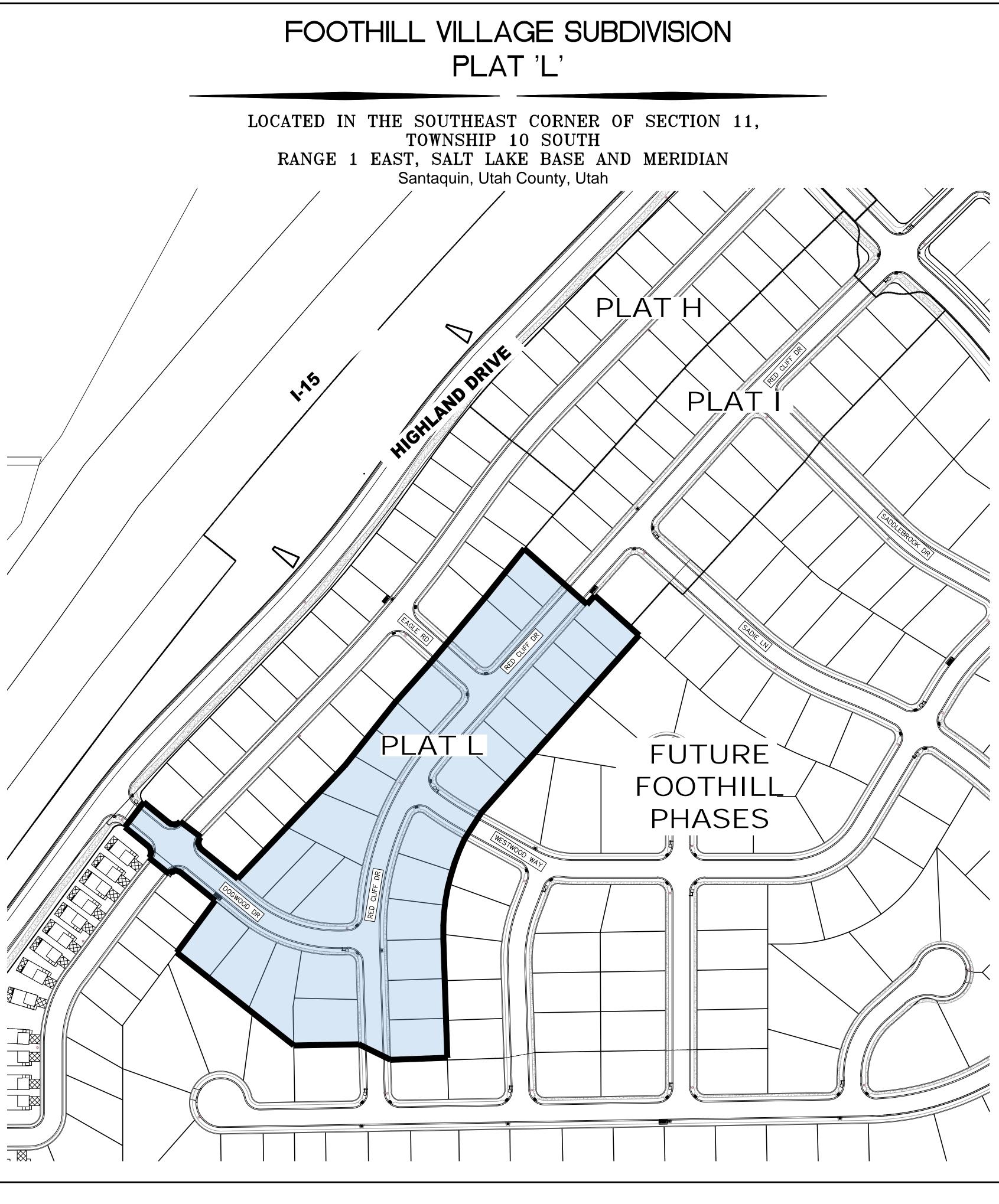
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THE ORCHARDS EAST SANTAQUIN, UTAH 20 EAST PLAN & PROFILE		
REVISIONS 1 -		
 5 -		
LEI PROJECT #: 2015-0106 DRAWN BY:		
BAP DESIGNED BY: NKW SCALE:		
1" = 30' DATE: 2/24/2020		
SHEET 4		

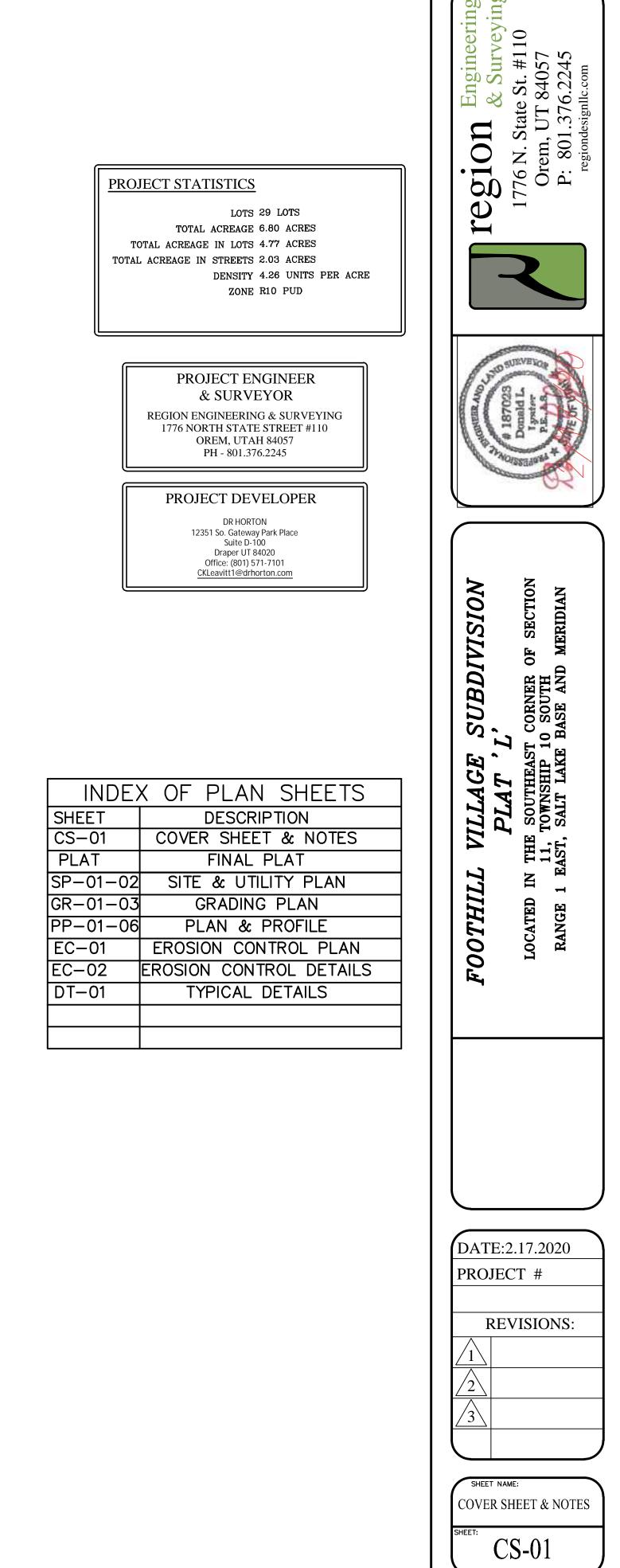
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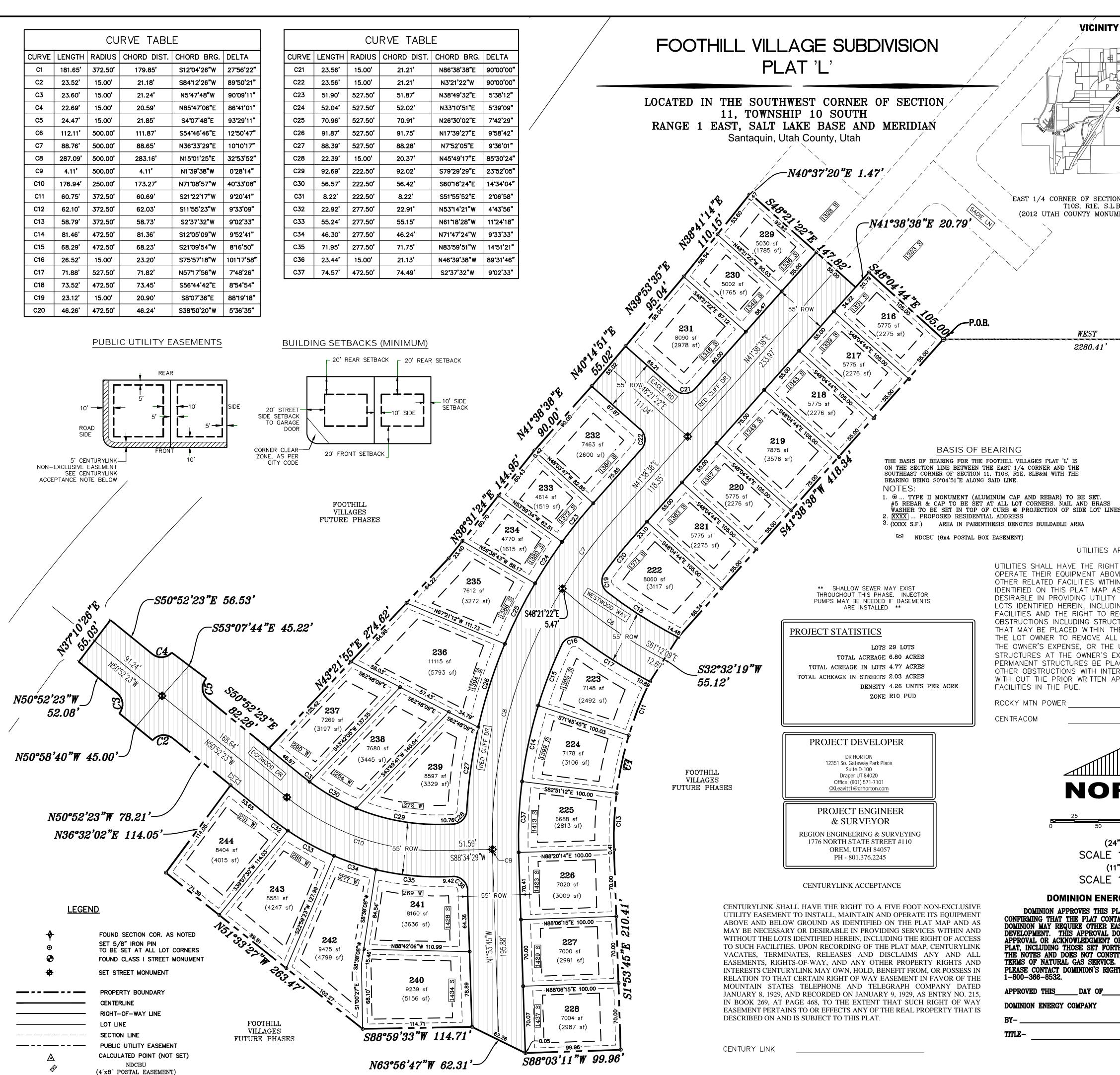






	CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	181.65 '	372.50'	179.85'	S12 ° 04'26 " W	27*56'22"
C2	23.52'	15.00'	21.18'	S84°12'26"W	89 ° 50'21'
C3	23.60'	15.00'	21.24'	N5*47'48"W	90°09'11"
C4	22.69'	15.00'	20.59'	N85*47'06"E	86*41'01"
C5	24.47'	15.00'	21.85'	S4°07'48"E	93*29'11"
C6	112.11'	500.00'	111.87'	S54 ° 46'46"E	12*50'47'
C7	88.76'	500.00'	88.65'	N36*33'29"E	10"10'17"
C8	287.09'	500.00'	283.16'	N15°01'25"E	32*53'52
C9	4.11'	500.00'	4.11'	N1 * 39'38"W	0°28'14"
C10	176.94'	250.00'	173.27'	N71°08'57"W	40*33'08'
C11	60.75'	372.50'	60.69'	S21*22'17"W	9 ° 20'41"
C12	62.10'	372.50'	62.03'	S11*55'23"W	9*33'09"
C13	58.79'	372.50'	58.73'	S2*37'32"W	9*02'33"
C14	81.46'	472.50'	81.36'	S12*05'09"W	9 ° 52'41"
C15	68.29'	472.50'	68.23'	S21*09'54"W	876'50"
C16	26.52'	15.00'	23.20'	S75*57'18"W	101 17'58
C17	71.88'	527.50 '	71.82'	N57¶7'56"W	7*48'26"
C18	73.52'	472.50'	73.45'	S56*44'42"E	8*54'54"
C19	23.12'	15.00'	20.90'	S8°07'36"E	8819'18'
C20	46.26'	472.50'	46.24'	S38*50'20"W	5*36'35"

	CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C21	23.56'	15.00'	21.21'	N86 ° 38'38"E	90°00'00"
C22	23.56'	15.00'	21.21'	N3°21'22"W	90°00'00"
C23	51.90 '	527.50 '	51.87 '	N38 ° 49'32"E	5 * 38'12"
C24	52.04'	527.50 '	52.02'	N33¶0'51"E	5 ° 39'09"
C25	70.96'	527.50 '	70.91'	N26 ° 30'02"E	7*42'29"
C26	91.87 '	527.50 '	91.75 '	N17 * 39 * 27 * E	9 ° 58'42"
C27	88.39'	527.50 '	88.28'	N7*52'05"E	9 ° 36'01"
C28	22.39'	15.00'	20.37'	N45*49'17"E	85 ° 30'24"
C29	92.69'	222.50'	92.02'	S79*29'29"E	23 ° 52'05"
C30	56.57'	222.50'	56.42'	S6016'24"E	14 ° 34'04"
C31	8.22'	222.50'	8.22'	S51*55'52"E	2*06'58"
C32	22.92'	277.50'	22.91'	N53°14'21"W	4 ° 43'56"
C33	55.24'	277.50 '	55.15 '	N61¶8'28"W	11°24'18"
C34	46.30'	277.50'	46.24'	N71°47'24"W	9•33'33"
C35	71.95'	277.50'	71.75'	N83*59'51"W	14 ° 51'21"
C36	23.44'	15.00'	21.13'	N46*39'38"W	89 ° 31'46"
C37	74.57'	472.50'	74.49'	S2 * 37'32"W	9°02'33"



Ύ ΜΑΡ	Surveyor's Certificate	
	I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THI DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EAS THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN O THAT THIS IS TRUE AND CORRECT.	R CERTIFY BY S PLAT AND SEMENTS AND
	Boundary Description	
	BEGINNING AT A POINT THAT IS S.0.04'51"E. ALONG THE SECTION LINE 1691.17 WEST 2280.41 FEET FROM THE EAST ¼ CORNER OF SECTION 11, TOWNSHIP 10 1 EAST, SALT LAKE BASE & MERIDIAN;	SOUTH, RANGE
ION 11, L.B.&M. JMENT)	THENCE, S 41° 38' 38" W FOR A DISTANCE OF 418.34 FEET TO A POINT ON A LINE. THENCE, S 3 A DISTANCE OF 55.12 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURN THROUGH AN ANGLE OF 27° 56' 22", HAVING A RADIUS OF 372.50 FEET, AND WHOSE LONG CHORE 26" W FOR A DISTANCE OF 179.85 FEET. THENCE, S 01° 53' 45" E FOR A DISTANCE OF 210.41 F ON A LINE. THENCE, S 88° 03' 11" W FOR A DISTANCE OF 99.96 FEET TO A POINT ON A LINE. 47" W FOR A DISTANCE OF 62.31 FEET TO A POINT ON A LINE. THENCE, S 88° 59' 33" W FOR A 114.71 FEET TO A POINT ON A LINE. THENCE, N 51° 33' 27" W FOR A DISTANCE OF 263.47 FEET LINE. THENCE, N 36° 32' 02" E FOR A DISTANCE OF 114.05 FEET TO A POINT ON A LINE. THENCE W FOR A DISTANCE OF 78.21 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE AN ANGLE OF 89° 50' 21", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS S & A DISTANCE OF 21.18 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE. THENCE FOR A DISTANCE OF 45.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE	ING TO THE LEFT D BEARS S 12° 04' EET TO A POINT THENCE, N 63° 56' DISTANCE OF TO A POINT ON A CE, N 50° 52' 23" E LEFT THROUGH B4° 12' 26" W FOR , N 50° 58' 40" W
JMENT) JMENT) JMENT)	LEFT THROUGH AN ANGLE OF 90° 09' 11", HAVING A RADIUS OF A NON-TANGENTIAL CORVE, SAID CORVE LEFT THROUGH AN ANGLE OF 90° 09' 11", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CH 47' 48" W FOR A DISTANCE OF 21.24 FEET. THENCE, N 50° 52' 23" W FOR A DISTANCE OF 52.08 POINT ON A LINE. THENCE, N 37' 10' 26" E FOR A DISTANCE OF 55.03 FEET TO A POINT ON A L 50° 52' 23" E FOR A DISTANCE OF 56.53 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TUR THROUGH AN ANGLE OF 86° 41' 01", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD & 06" E FOR A DISTANCE OF 20.59 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LIN 07' 44" E FOR A DISTANCE OF 45.22 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SA TURNING TO THE LEFT THROUGH AN ANGLE OF 93' 29' 11", HAVING A RADIUS OF 15.00 FEET, AND CHORD BEARS S 04' 07' 48" E FOR A DISTANCE OF 21.85 FEET. THENCE, S 50' 52' 23" E FOR A 82.28 FEET TO A POINT ON A LINE. THENCE, N 43' 21' 55" E FOR A DISTANCE OF 274.62 FEET LINE. THENCE, N 38' 31' 24" E FOR A DISTANCE OF 144.95 FEET TO A POINT ON A LINE. THENCE E FOR A DISTANCE OF 90.00 FEET TO A POINT ON A LINE. THENCE, N 40' 14' 51" E FOR A DIST FEET TO A POINT ON A LINE. THENCE, N 39' 53' 35" E FOR A DISTANCE OF 95.04 FEET TO A POINT CHORD NA LINE. THENCE, N 39' 53' 35" E FOR A DISTANCE OF 95.04 FEET TO A POINT FEET TO A POINT ON A LINE. THENCE, N 39' 53' 35" E FOR A DISTANCE OF 95.04 FEET TO A POINT CHORD NA LINE. THENCE, N 39' 53' 35" E FOR A DISTANCE OF 95.04 FEET TO A POINT CHORD NA LINE. THENCE, N 39' 53' 35" E FOR A DISTANCE OF 95.04 FEET TO A POINT CHORD ON A LINE. THENCE, N 39' 53' 35" E FOR A DISTANCE OF 95.04 FEET TO A POINT CHORD ON A LINE. THENCE, N 41' 38' 38" E FOR A DISTANCE OF 20.79 FEET TO A POINT ON A CHORD A DISTANCE OF 105.00 FEET TO THE POINT OF BEGINNING	ORD BEARS N 05° 3 FEET TO A LINE. THENCE, S RNING TO THE LEFT BEARS N 85° 47' NE. THENCE, S 53° ND CURVE 9 WHOSE LONG A DISTANCE OF TO A POINT ON A CE, N 41° 38' 38" ANCE OF 55.02 OINT ON A LINE. 0° 37' 20" E FOR 147.82 FEET TO
	CONTAINS: ±6.80 ACRES AND 29 TOTAL LOTS	
	DATE SURVEYOR (See Seal Below) OWNERS DEDICATION	
	KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS (PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MA THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HER THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF, A.D. 20	P, HAVE CAUSED REBY DEDICATE
NES.		
	LIMITED COMPANY ACKNOWLEDGEMENT	
APPROVAL	STATE OF UTAH S.S.	
HT TO INSTALL, MAINTAIN AND DVE AND BELOW GROUND AND ALL	COUNTY OF UTAH ON THIS DAY OF, A.D. 20 PERSONALLY AP	
HIN THE PUBLIC UTILITY EASEMENTS AS MAY BE NECESSARY OR Y SERVICES WITHIN AND WITHOUT THE	METHE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY TO ME THAT (S)HE IS THEOF	ACKNOWLEDGED
DING THE RIGHT OF ACCESS TO SUCH REQUIRE REMOVAL OF ANY	A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN IT THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.	IS BEHALF AND
CTURES, TREES AND VEGETATION THE PUE. THE UTILITY MAY REQUIRE	MY COMMISSION EXPIRES A NOTARY PUBLIC COMMISSION	ED IN UTAH
L STRUCTURES WITHIN THE PUE AT E UTILITY MAY REMOVE SUCH EXPENSE. AT NO TIME ANY	NOTARY ADDRESS PRINTED FULL NAME OF NOTAR	8 Y
LACED WITHIN THE PUE OR ANY ERFERES WITH THE USE OF THE PUE		
APPROVAL OF THE UTILITIES WITH	ACCEPTANCE BY LEGISLATIVE BODY	
	COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION O STREETS; EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES F PERPETUAL USE OF THE PUBLIC THIS DAY OF , A.	OR THE
	APPROVED MAYOR OF SANTAQUIN	
RTH		
100120		
4"x36")	ATTEST ENGINEER (See Seal Below) (See Seal Below)	2
1" = 50' 1"x17")	(See Seal Below) (See Seal Below)	
1" = 100'		
RGY ACCEPTANCE PLAT SOLELY FOR THE PURPOSE OF		
ITAINS PUBLIC UTILITY EASEMENTS. EASEMENTS IN ORDER TO SERVE THIS	FOOTHILL VILLAGE SUBDIVISIO	
DOES NOT CONSTITUTE ACCEPTANCE, OF ANY TERMS CONTAINED IN THE RTH IN THE OWNERS DEDICATION AND		
STITUTE A GUARANTEE OF PARTICULAR E. FOR FURTHER INFORMATION HT OF WAY DEPARTMENT AT	PLAT 'L'	
		COUNTY, UTAH
, 20	SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-COUTNY ENGINEER SEAL COUNTY-RI	ECORDER SEAL
	SSIONAL LAND PER	
	No. 368356	

SHEET 1 of 1	STATE OF

NOTES TO CONTRACTOR: CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR

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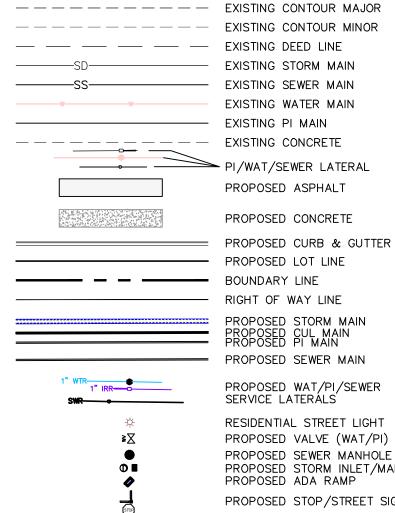
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- 2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- 3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
- 4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
- 5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD. 6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE.
- INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED 7. ALL RECOMMENDATIONS MADE IN A PERTINENT
- GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
 - SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
 - 2 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)

 - 3 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
 - (4) PROVIDE 12" MINUS RIP-RAP AT END OF CURBING APPROX 10'
 - 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)

 - 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
 - (7) STOP/STREET SIGN
 - 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
 - 9 NDCBU (8x4 POSTAL BOX EASEMENT)

 - (EXISTING & TO REMAIN)
 - (TI) SANITARY SEWER SERVICE LATERAL (REMOVE EXISTING)

<u>LEGEND</u>



------ EXISTING STORM MAIN EXISTING WATER MAIN - EXISTING PI MAIN PI/WAT/SEWER LATERAL PROPOSED ASPHALT

> PROPOSED CONCRETE PROPOSED LOT LINE - RIGHT OF WAY LINE PROPOSED STORM MAIN PROPOSED CUL MAIN PROPOSED PI MAIN PROPOSED SEWER MAIN

> > PROPOSED WAT/PI/SEWER SERVICE LATERALS

RESIDENTIAL STREET LIGHT PROPOSED VALVE (WAT/PI) PROPOSED SEWER MANHOLE PROPOSED STORM INLET/MANHOLE PROPOSED ADA RAMP PROPOSED STOP/STREET SIGN PROPOSED FIRE HYDRANT

ALL IMPROVEMENTS AND DETAILS PER

NORTH

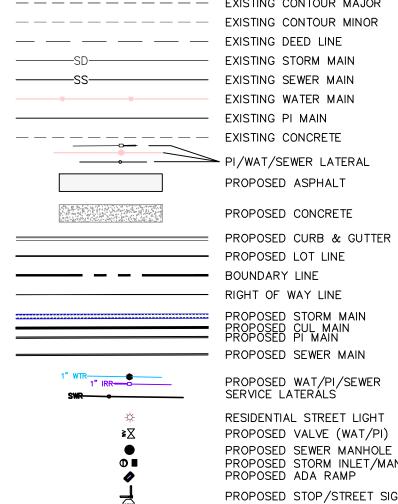
(24"x36") SCALE 1'' = 30'



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(PER SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)

- ③ PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- (4) PROVIDE 12" MINUS RIP-RAP AT END OF CURBING APPROX 10'
- 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 7 STOP/STREET SIGN
- 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (8x4 POSTAL BOX EASEMENT)
- SANITARY SEWER SERVICE LATERAL (EXISTING & TO REMAIN)
- (11) SANITARY SEWER SERVICE LATERAL (REMOVE EXISTING)

<u>LEGEND</u>

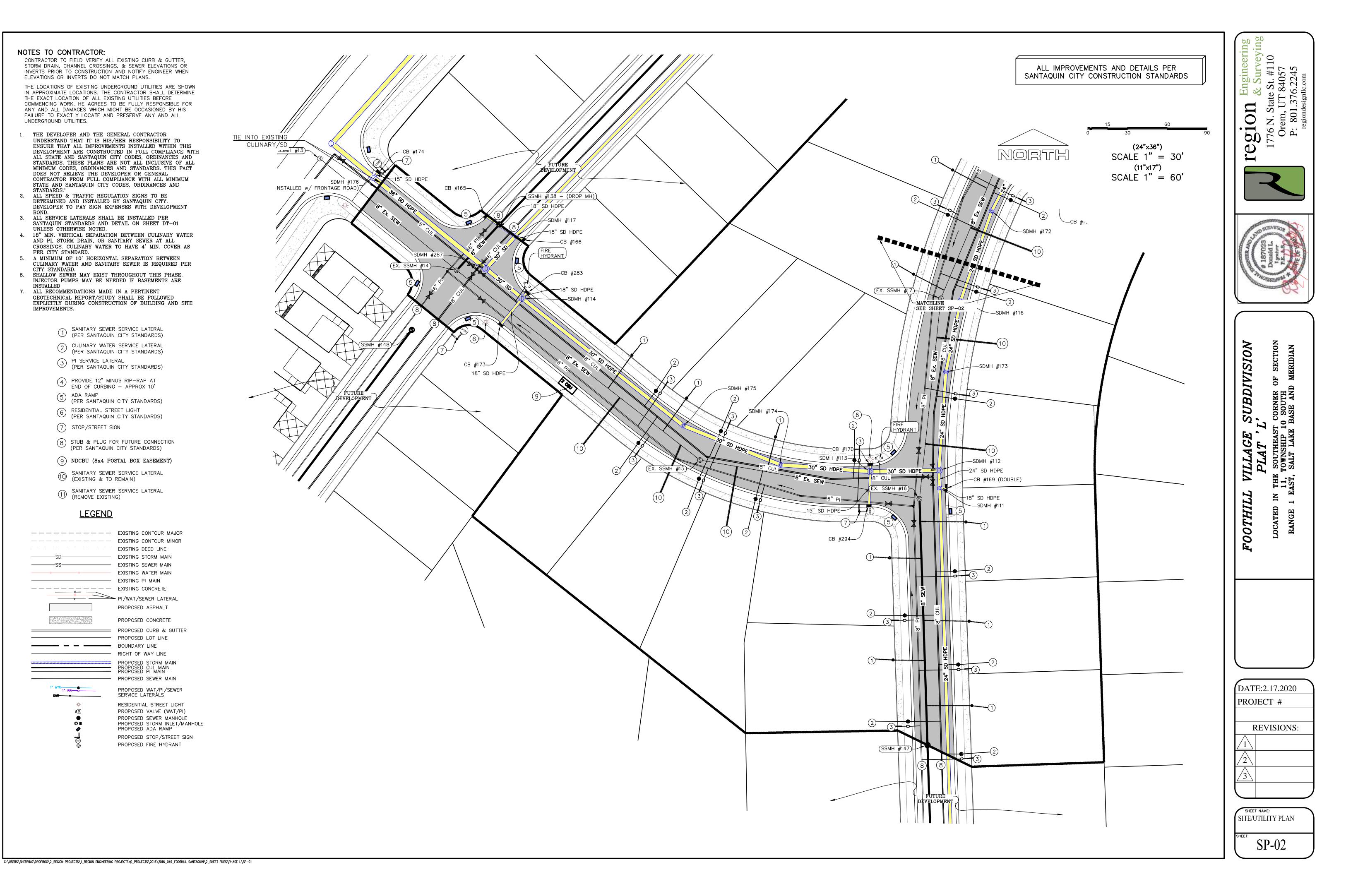


----- EXISTING CONTOUR MAJOR EXISTING WATER MAIN PROPOSED ASPHALT

> PROPOSED CONCRETE - PROPOSED LOT LINE PROPOSED STORM MAIN PROPOSED CUL MAIN PROPOSED PI MAIN - PROPOSED SEWER MAIN

> > PROPOSED WAT/PI/SEWER SERVICE LATERALS

RESIDENTIAL STREET LIGHT PROPOSED VALVE (WAT/PI) PROPOSED SEWER MANHOLE PROPOSED STORM INLET/MANHOLE PROPOSED ADA RAMP PROPOSED STOP/STREET SIGN PROPOSED FIRE HYDRANT



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- BOND. 3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS
- OTHERWISE NOTED. 4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.

C: USERS\SHERRING\DROPBOX\2_REGION PROJECTS\1_REGION ENGINEERING PROJECTS\0_PROJECTS\2016\2016_2016_049_FOOTHILL SANTAQUIN\2_SHEET FILES\PHASE L\GR-01

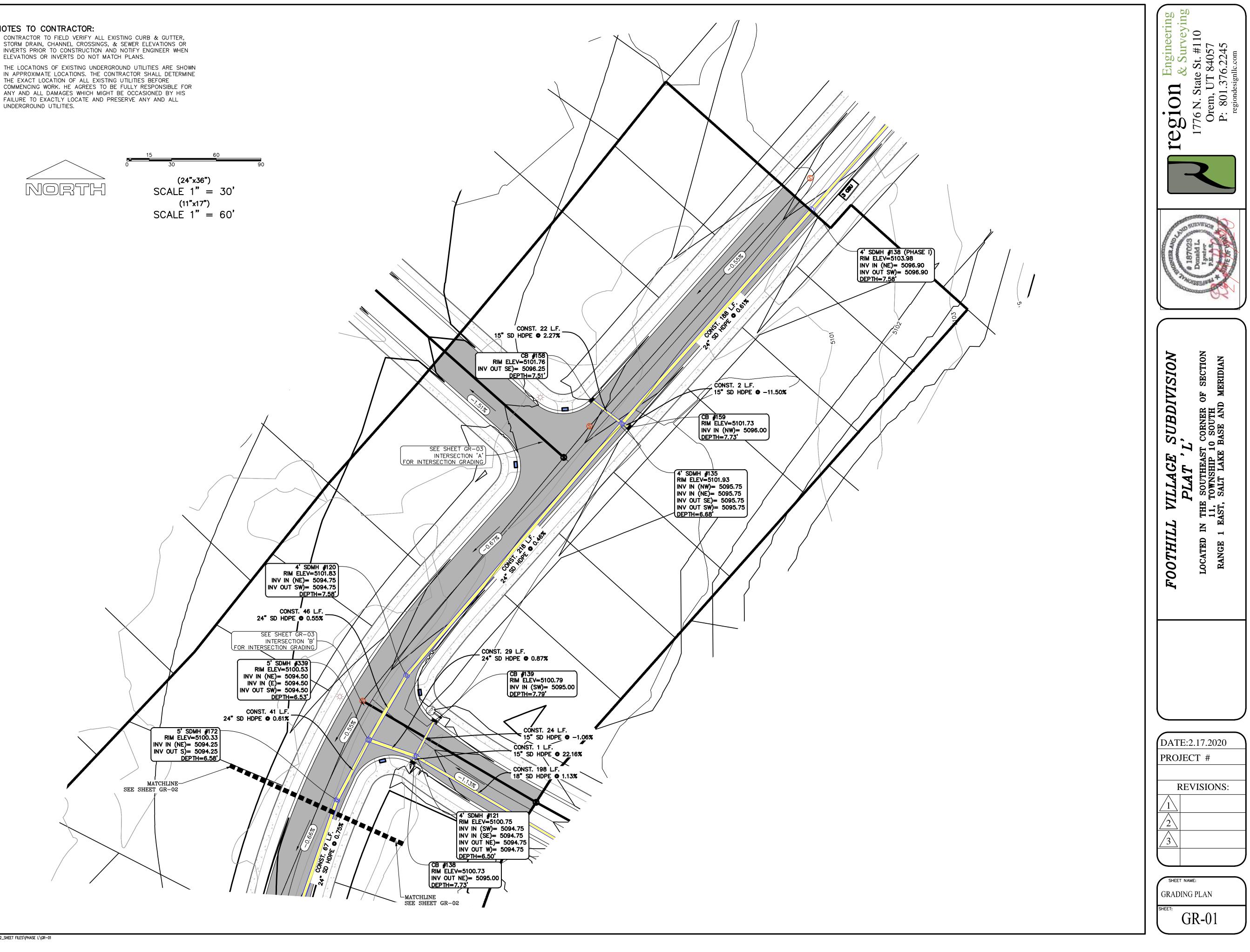
NOTES TO CONTRACTOR:

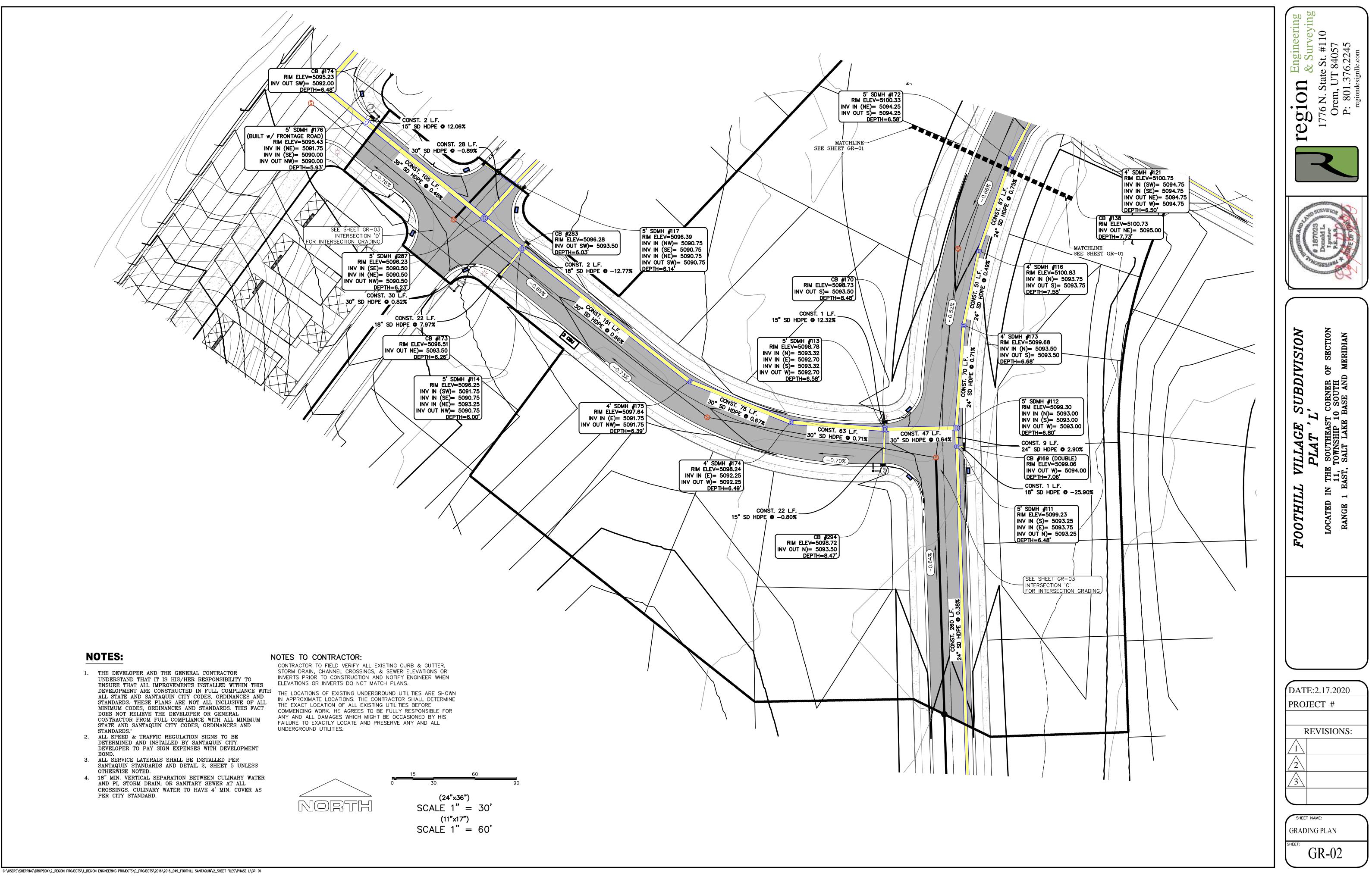
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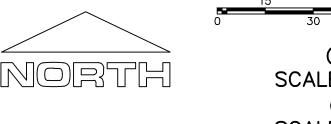
NORTH

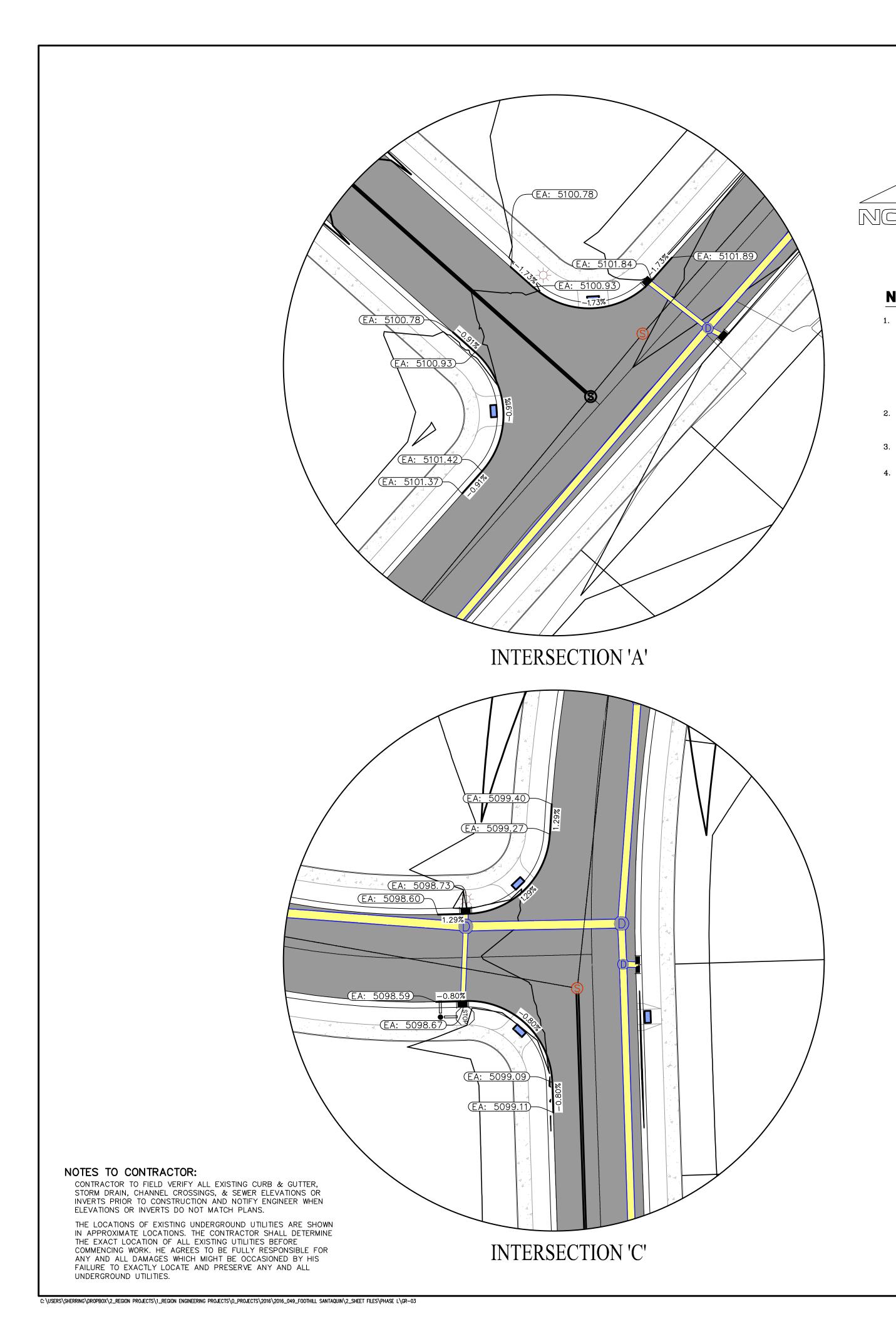
30	
(24"x36")	
SCALE $1'' = 30'$	
(11"x17")	
SCALE $1'' = 60'$	



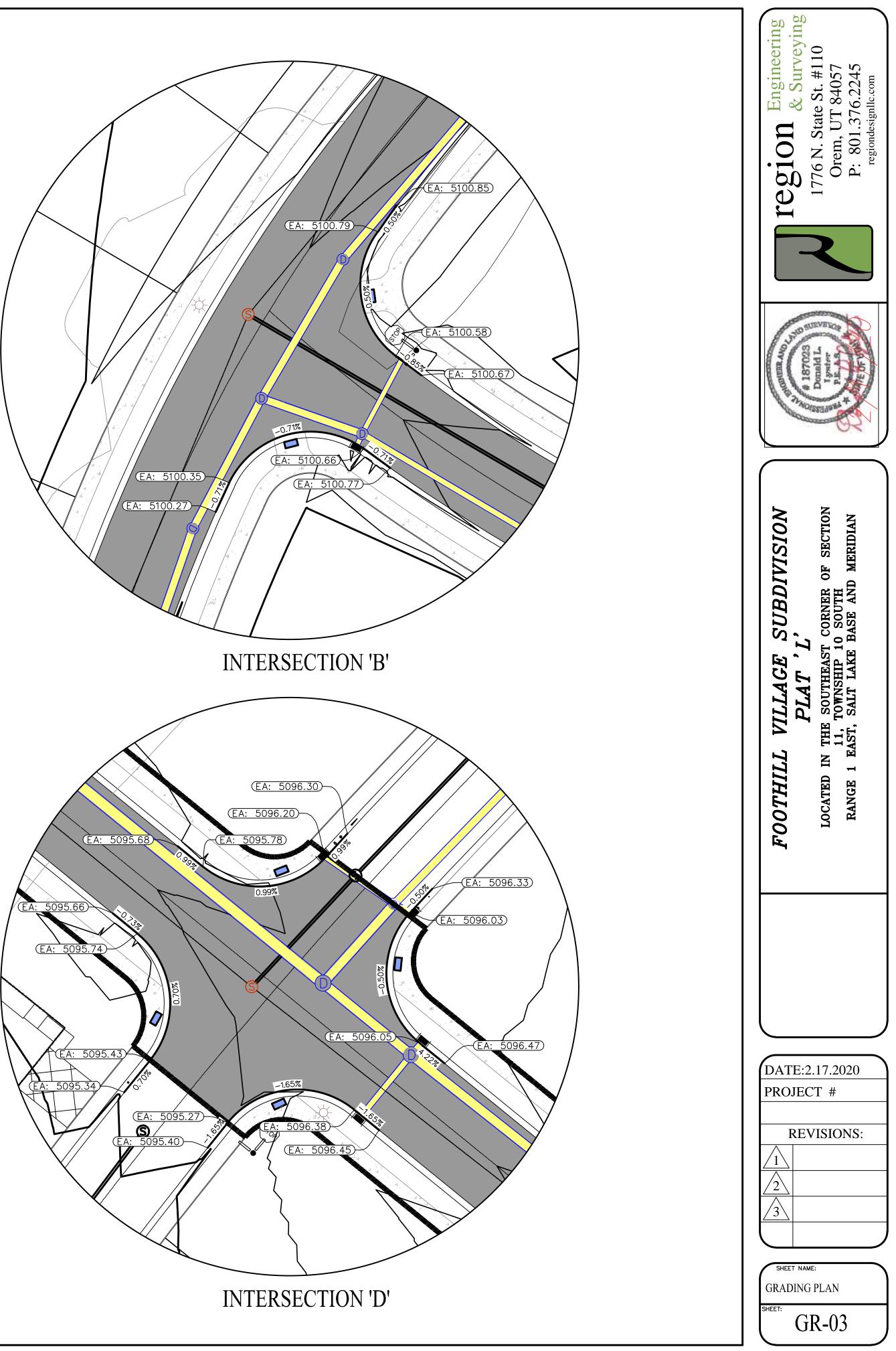


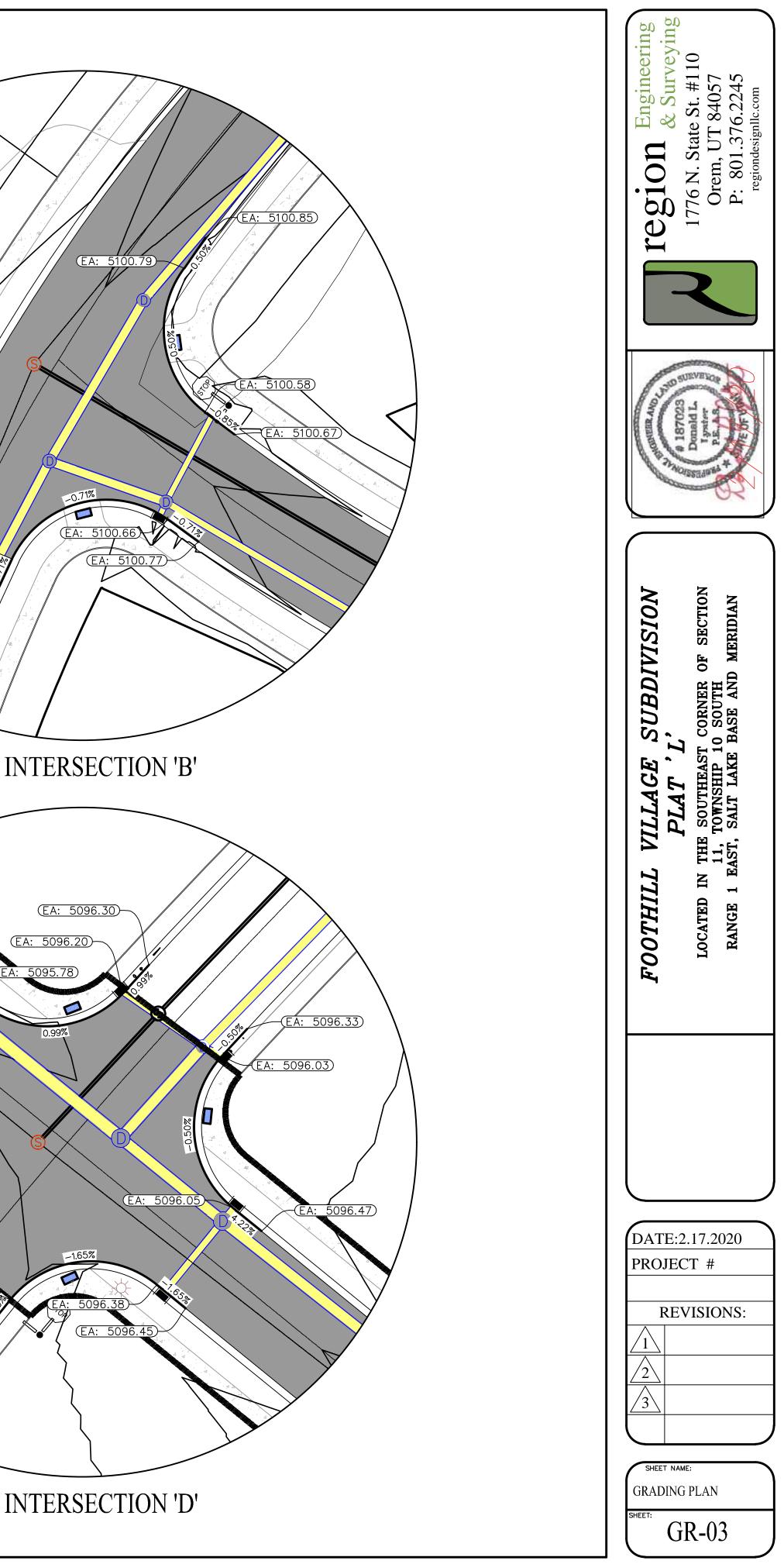
- 4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER

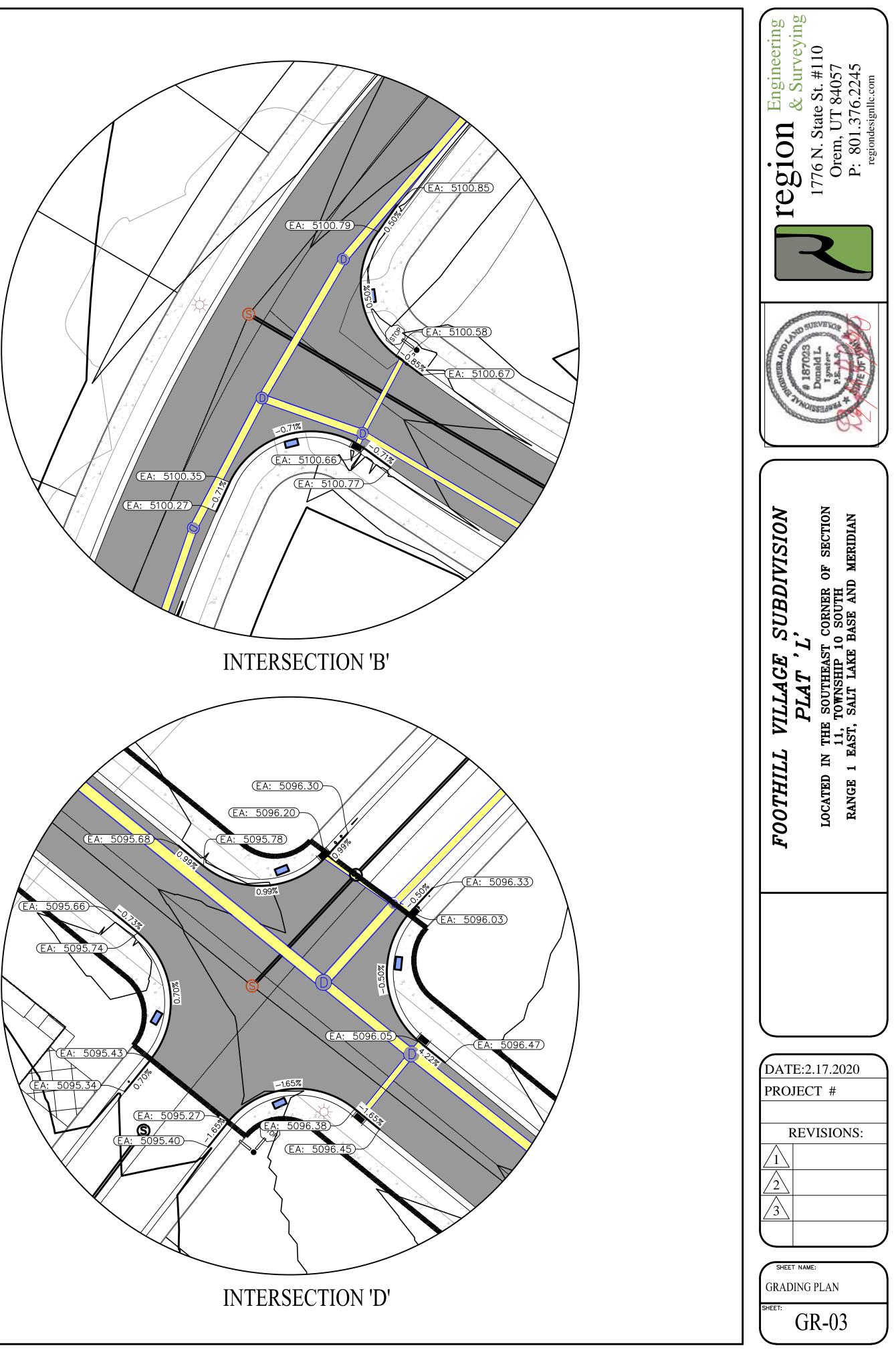


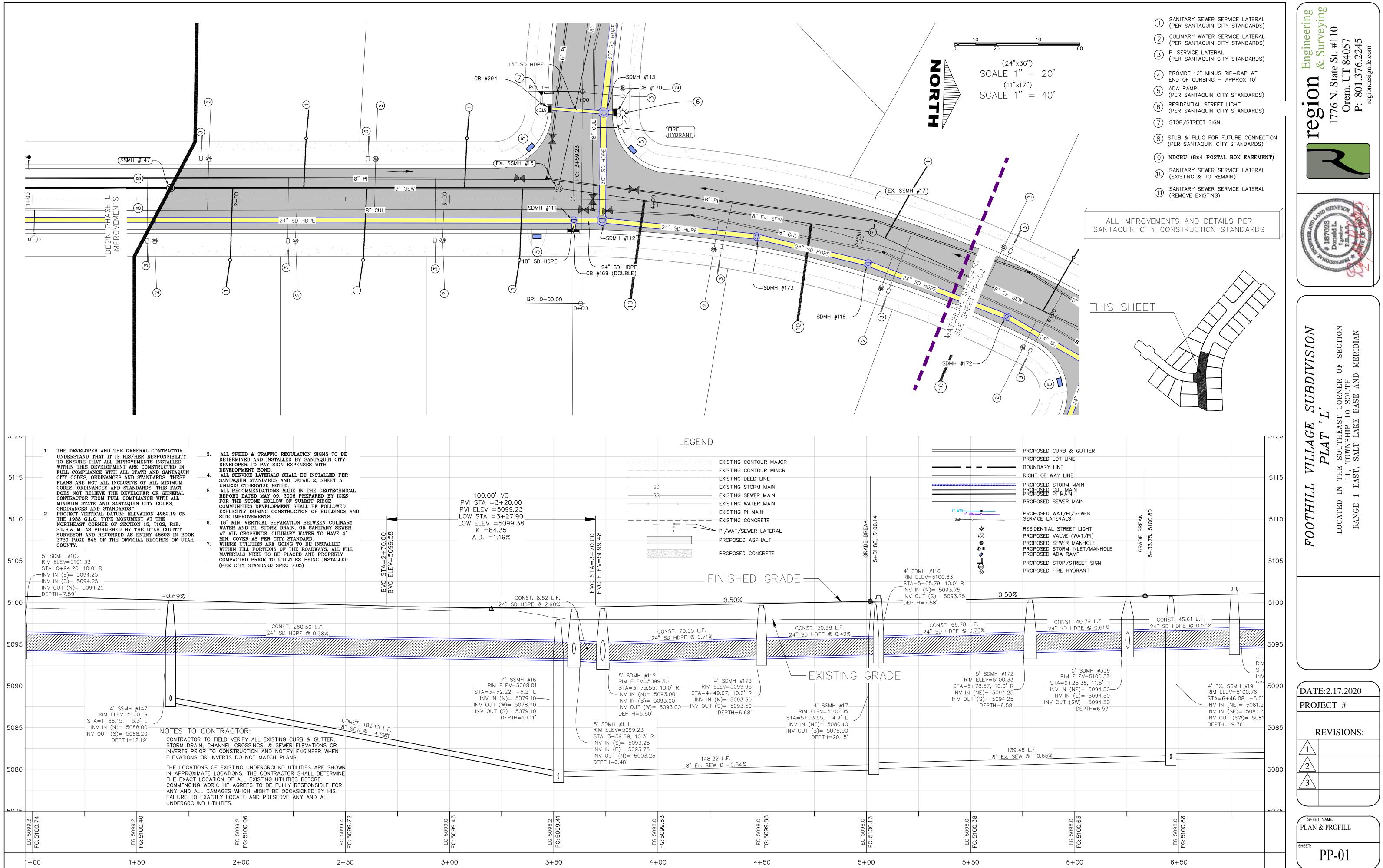


- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND
- STATE AND SATAGOIN CITY CODES, ONDINANCES AND STANDARDS."
 2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND BOND.
- 3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS OTHERWISE NOTED.
- 4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.

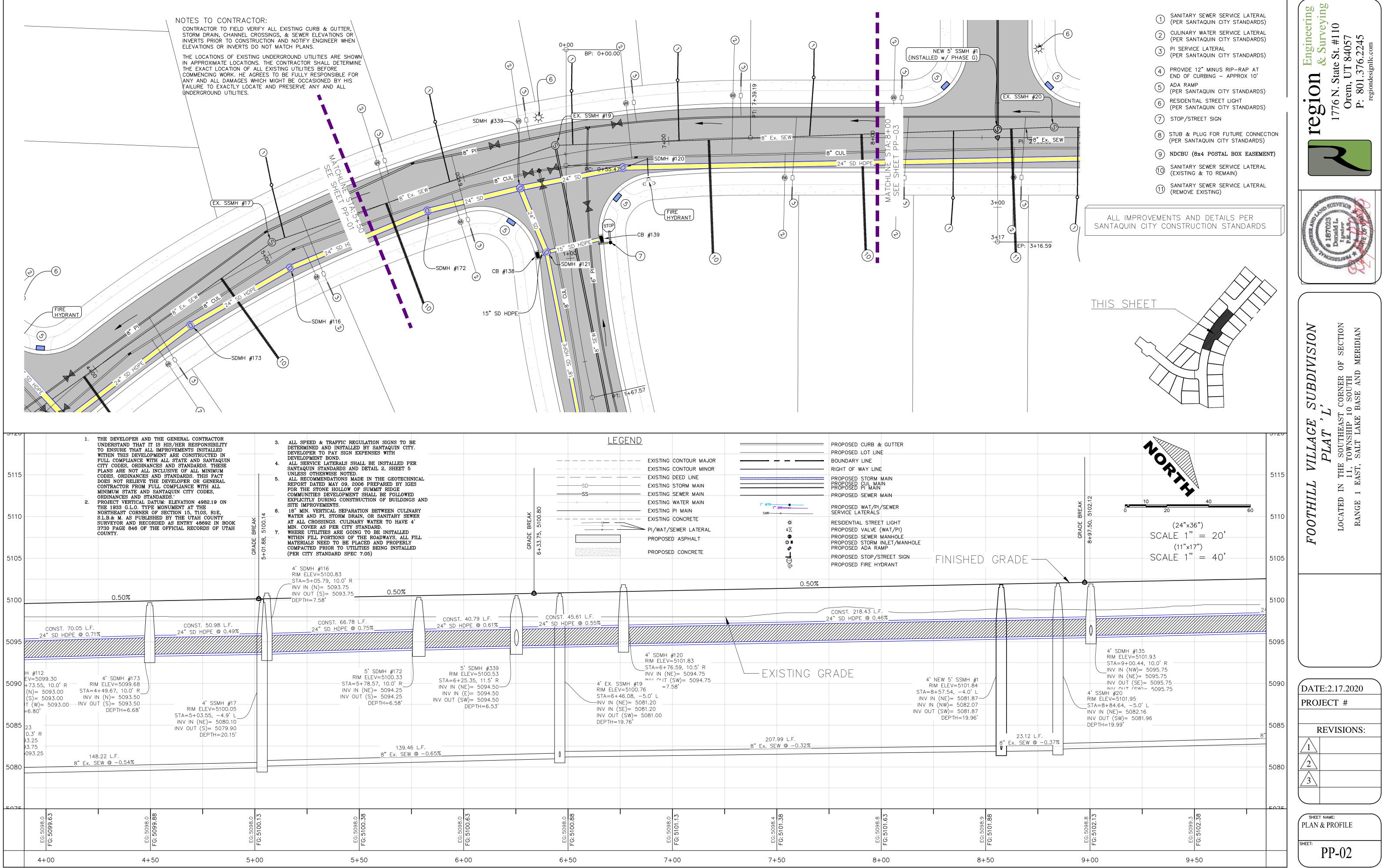


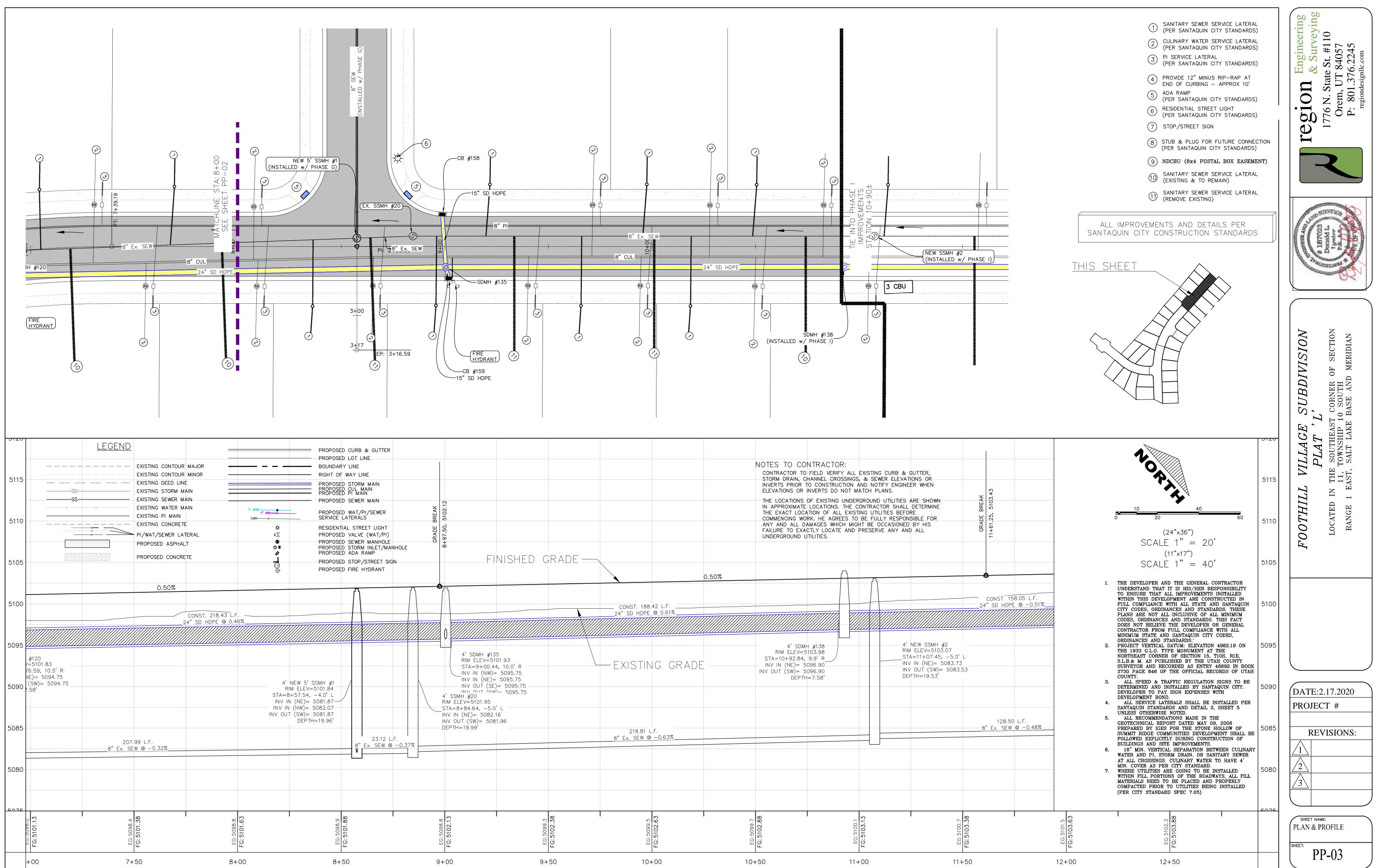




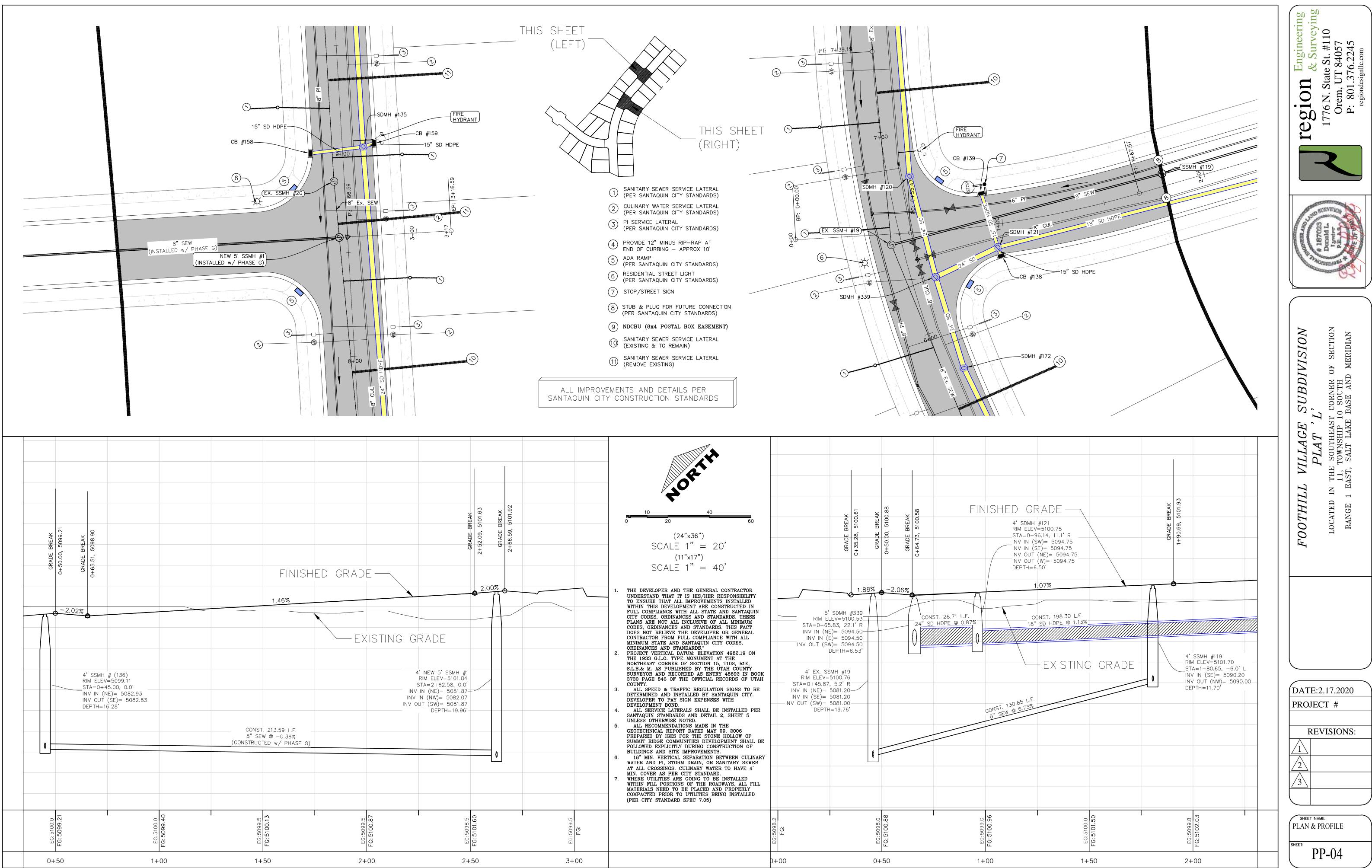


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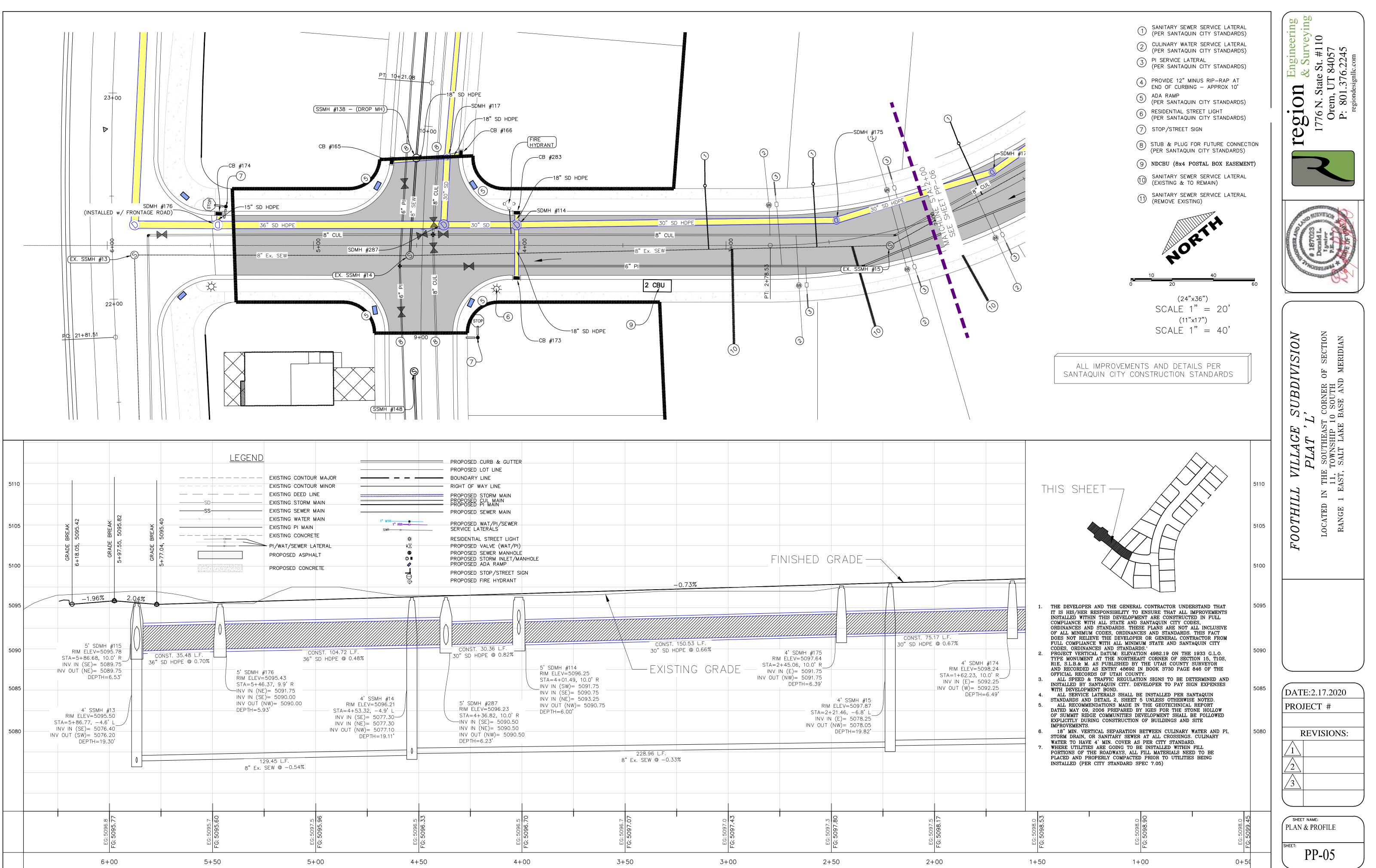


C: USERS/SHERRING/DROPBOX/2_REGION PROJECTS/1_REGION ENGINEERING PROJECTS/0_PROJECTS/2016/2016_049_FOOTHILL SANTAQUIN/2_SHEET FILES/PHASE L/PP-01

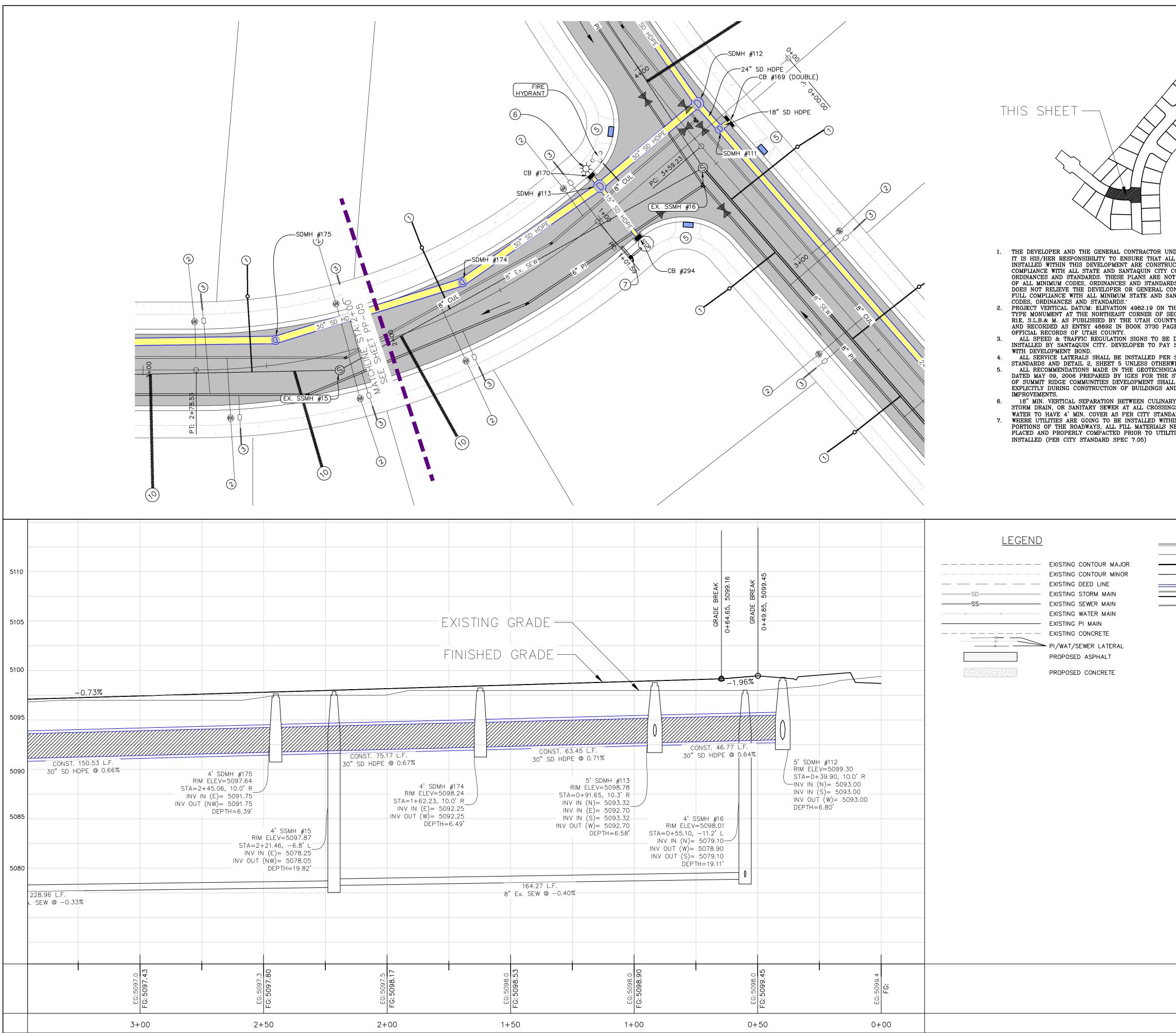


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CRADE BREAK CRADE BREAK 2+52.09, 5101.63	$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	GRADE BREAK 0+35.28, 5100.61 CRADE BREAK	0+50.00, 5100.88 GRADE BREAK 0+64.73, 5100.58
1 #1 1.87 2.07 1.87 2.07 1.87 2.96' 0	 THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS." PROJECT VERTICAL DATUM: ELEVATION 4982.19 ON THE 1933 G.L.O. TYPE MONUMENT AT THE NORTHEAST CORNER OF SECTION 15, TIOS, RIE, S.L.B.& M. AS PUBLISHED BY THE UTAH COUNTY SURVEYOR AND RECORDED AS ENTRY 48692 IN BOOK 3730 PAGE 846 OF THE OFFICIAL RECORDS OF UTAH COUNTY. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS OTHERWISE NOTED. ALL RECOMMENDATIONS MADE IN THE GEOTECHNICAL REPORT DATED MAY 09, 2006 PREPARED BY IGES FOR THE STONE HOLLOW OF SUMMIT RIDGE COMMUNITIES DEVELOPMENT SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS. 16" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANTARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD. WHERE UTILL PORTIONS OF THE ROADWAYS, ALL FILL MATERIALS NEED TO BE PLACED AND PROPERLY COMPACTED PRIOR TO UTILITIES BEING INSTALLED (PER CITY STANDARD SPEC 7.05) 	5' SDMH #339 RIM ELEV=5100.53 STA=0+65.83, 22.1' R INV IN (NE)= 5094.50 INV IN (E)= 5094.50 DEPTH=6.53' 4' EX. SSMH #19 RIM ELEV=5100.76 STA=0+45.87, 5.2' R INV IN (NE)= 5081.20 INV IN (SE)= 5081.20 INV OUT (SW)= 5081.00 DEPTH=19.76'	-2.06% CONST. 28.71 L.F. 24" SD HDPE @ 0.87%
EG: 5098.5 FG: 5101.60 EG: 5099.5	Ü	EG: 5098.0 FG: EG: 5098.0	FG: 5100.88
2+50 3+0	00	p+00 0+	50 1-



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NDERSTAND THAT LI IMPROVEMENTS UCTED IN FULL CODES, OT ALL INCLUSIVE RDS. THIS FACT CONTRACTOR FROM ANTAQUIN CITY THE 1933 G.L.O. SECTION 15, TIOS, TY SURVEYOR GE 846 OF THE E DETERMINED AND T SIGN EXPENSES A SANTAQUIN WISE NOTED. CAL REPORT STONE HOLLOW LL BE FOLLOWED ND SITE RY WATER AND PI, NGS. CULINARY DARD. HIN FILL NEED TO BE ITIES BEING	 (4) PROVIDE 12" MINUS RIP-RALEND OF CURBING - APPROV (5) ADA RAMP (PER SANTAQUIN CITY STAN (6) RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STAN (7) STOP/STREET SIGN (8) STUB & PLUG FOR FUTURE (PER SANTAQUIN CITY STAN (9) NDCBU (Bx4 POSTAL BOX II (9) NDCBU (Bx4 POSTAL BOX II (10) SANITARY SEWER SERVICE L (10) SANITARY SEWER SERVICE L (11) SANITARY SEWER SERVICE L (11) SANITARY SEWER SERVICE L (12) CONSTRUCTION (11) SCALE 1" = 200 (11"x17") SCALE 1" = 400 (11) SCALE 1" = 400 	10' DARDS) DARDS) CONNECTION DARDS) EASEMENT) ATERAL ATERAL 60 , , , , , , , , , , , , ,	E BASE AND MERIDIAN
	PROPOSED CURB & GUITER PROPOSED LOT LINE BOUNDARY LINE RIGHT OF WAY LINE PROPOSED STORM MAIN PROPOSED SUMER MAIN PROPOSED SUMER MAIN PROPOSED SUMER MAIN PROPOSED SUMER MAIN PROPOSED STORE ILIGHT PROPOSED VALVE (WAT/PI) PROPOSED STORM INLET/MANHOLE PROPOSED STORM INLET/MANHOLE PROPOSED STOP/STREET SIGN PROPOSED FIRE HYDRANT	5110 IA <	RANGE 1 EAST, SALT RANGE 1 EAST, SALT

	LEGEND:
××	PROPOSED SILT FENCE
	(SEE SHEET EC-02)
	FLOW ARROW PROPOSED VEHICLE TRACKING CONTROL
	(SEE SHEET EC-02)
220	PROPOSED CURB INLET PROTECTION (SEE SHEET EC-02)
PT	PORTABLE TOILETS
NOTES:	
	NFORESEEN CONDITIONS NOT COVERED
	UNTERED DURING GRADING IGINEER IS TO BE IMMEDIATELY
	OF THE CONTRACTOR TO PERFORM ALL WITHIN THE LIMITS OF THIS PROJECT
AND THE RELATED OFF-SITI DESIRED SUBGRADE, FINISH	E WORK, SO AS TO GENERATE THE GRADES AND SLOPES SHOWN.
	ILL RESPONSIBILITY FOR ALL RING IS TO BE DESIGNED AND FOR TO PREVENT UNDERMINING OF
ANY ADJACENT FEATURES OF EXCAVATION.	R FACILITIES AND/OR CAVING OF THE
NOT NECESSARILY THE INTE	D THAT AN EARTHWORK BALANCE WAS NT OF THIS PROJECT. ANY ADDITIONAL TOVER MATERIAL FOLLOWING
EARTHWORK OPERATIONS BE CONTRACTOR.	COMES THE RESPONSIBILITY OF THE
THE OWNER TO PROVIDE FO	IS RESPONSIBLE TO COORDINATE WITH R THE REQUIREMENTS OF THE LUTION DEFVENTION DIAN (SWDDD)
AND ASSOCIATED PERMIT. 6. ALL CUT AND FILL SLOPES	LUTION PREVENTION PLAN (SWPPP) ARE TO BE PROTECTED UNTIL
EFFECTIVE EROSION CONTRO 7. THE USE OF POTABLE WATE	L HAS BEEN ESTABLISHED. R WITHOUT A SPECIAL PERMIT FOR
OF BACKFILL OR DUST CONT	PURPOSED INCLUDING CONSOLIDATION ROL IS PROHIBITED. THE CONTRACTOR RY PERMITS FOR CONSTRUCTION WATER.
8. THE CONTRACTOR IS TO MAI ALL OTHER PUBLIC RIGHT-C	NTAIN THE STREETS, SIDEWALKS, AND DF-WAY IN A CLEAN, SAFE AND USABLE
IS TO BE PROMPTLY REMOV	SOIL, ROCK OR CONSTRUCTION DEBRIS ED FROM THE PUBLICLY OWNED CTION AND UPON COMPLETION OF THE
PROJECT. ALL ADJACENT PRO MAINTAINED IN A CLEAN, SA	DPERTY, PRIVATE OR PUBLIC IS TO BE FE AND USABLE CONDITION.
REQUIRED THAT IS NOT SHO	IMPORARY CONSTRUCTION ITEM IS DWN ON THESE DRAWINGS, THE OWNER ISTALL SUCH ITEM AT HIS OWN
EXPENSE AND AT THE DIREC DEPARTMENT. TEMPORARY C	CTION OF THE ENGINEERING ONSTRUCTION INCLUDES DITCHES,
BERMS, ROAD SIGNS AND BA	ARRICADES, ETC.
	PROJECT INFORMATION SIGN
	ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE
	WITH THE FOLLOWING REQUIREMENTS: 1. THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
	2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE
	SIGN BACK FROM THE MAIN INGRESS/ EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANGLE CLEARANCES. 3. 3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF
	THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY. 4. THE SIGN SHALL BE A MINIMUM OF $48'' \times 48''$ AND THE FOLLOWING INFORMATION SHALL BE
	DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE. DEVELOPERS NAME (4" Uppercase Bold Letters)
	PROJECT NAME (4" Uppercase Bold Letters)
	PERMIT NUMBER (4" Bold Numbers)
	FOR PROJECT SITE CONCERNS CONTACT
	Office Phone Contact ###-#### (4" Bold Numbers) Cell Phone Contact ###-####
	(4" Bold Numbers) IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT
<u>30 120</u> 0 60 180	XXX-XXX-XXXX (3" Uppercase Bold Letters and 3" Bold Numbers)
(24"x36")	5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
SCALE $1" = 60'$ (11"x17")	6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER OF IT MEETS THESE
SCALE $1'' = 120'$	REQUIRÉMENTS
C: \USERS\SHERRING\DROPBOX\2_REGION PROJECTS\1_REGION ENGINEERING PROJECTS\	0_PROJECTS\2016\2016_049_F00THILL SANTAQUIN\2_SHEET FILES\PHASE L\EC-01



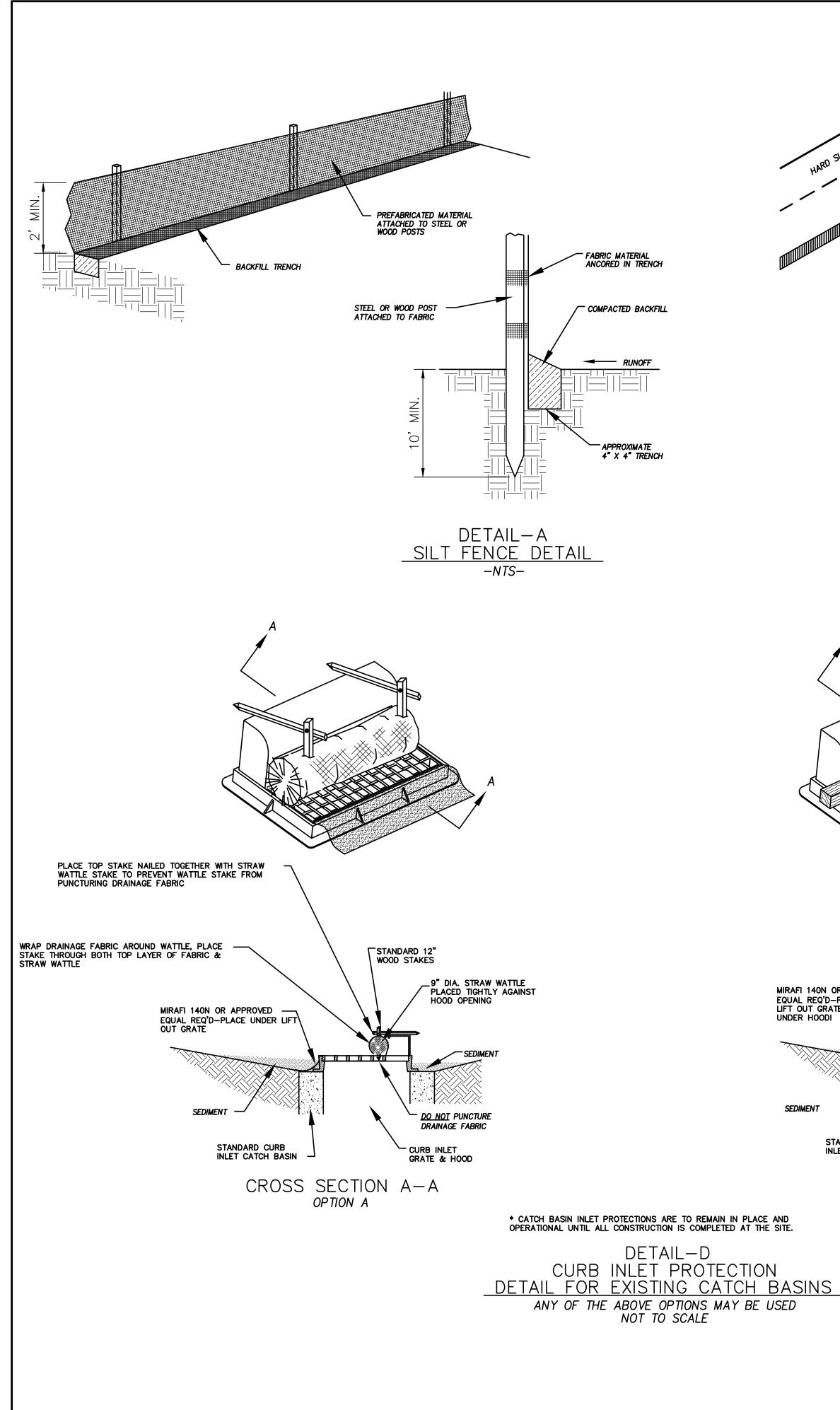
BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN	AS NECESSARY
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	PORTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	240	SEDIMENT TRAP	AS SHOWN	BEGINING OF CONSTRUCTION TO PLACEMENT OF ASPHALT

	Itegion Engin Indextor Engin
	a 187023 a 187023 a 187023 b 1 8 b
	FOOTHILL VILLAGE SUBDIVISION PLAT 'L' DCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
	DATE:2.17.2020
	PROJECT #
	REVISIONS:
N PLAN BEST MANAGEMENT PRACTICES (BMP)	
DURATION NNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS	
NNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS	
AS NECESSARY	
NNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS	

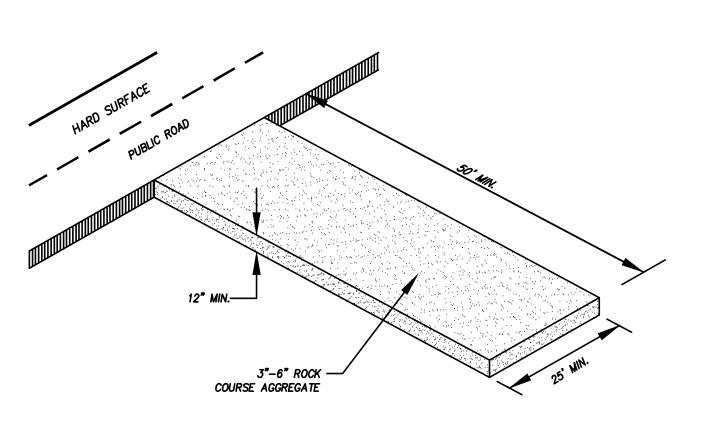
LUTION PROTECTION	PLAN BEST	MANAGEMENT	PRACTICES (BMP)

SHEET NAME:
EROSION CONTROL PLAN
BC-01

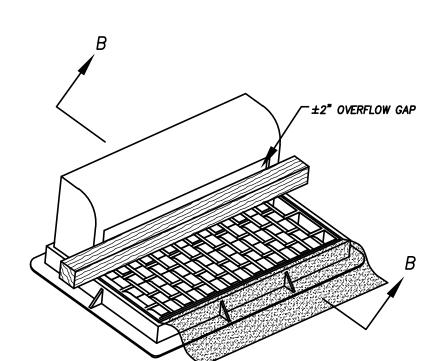
eering veying 10

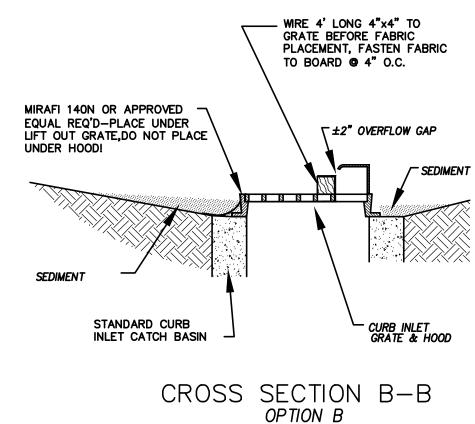


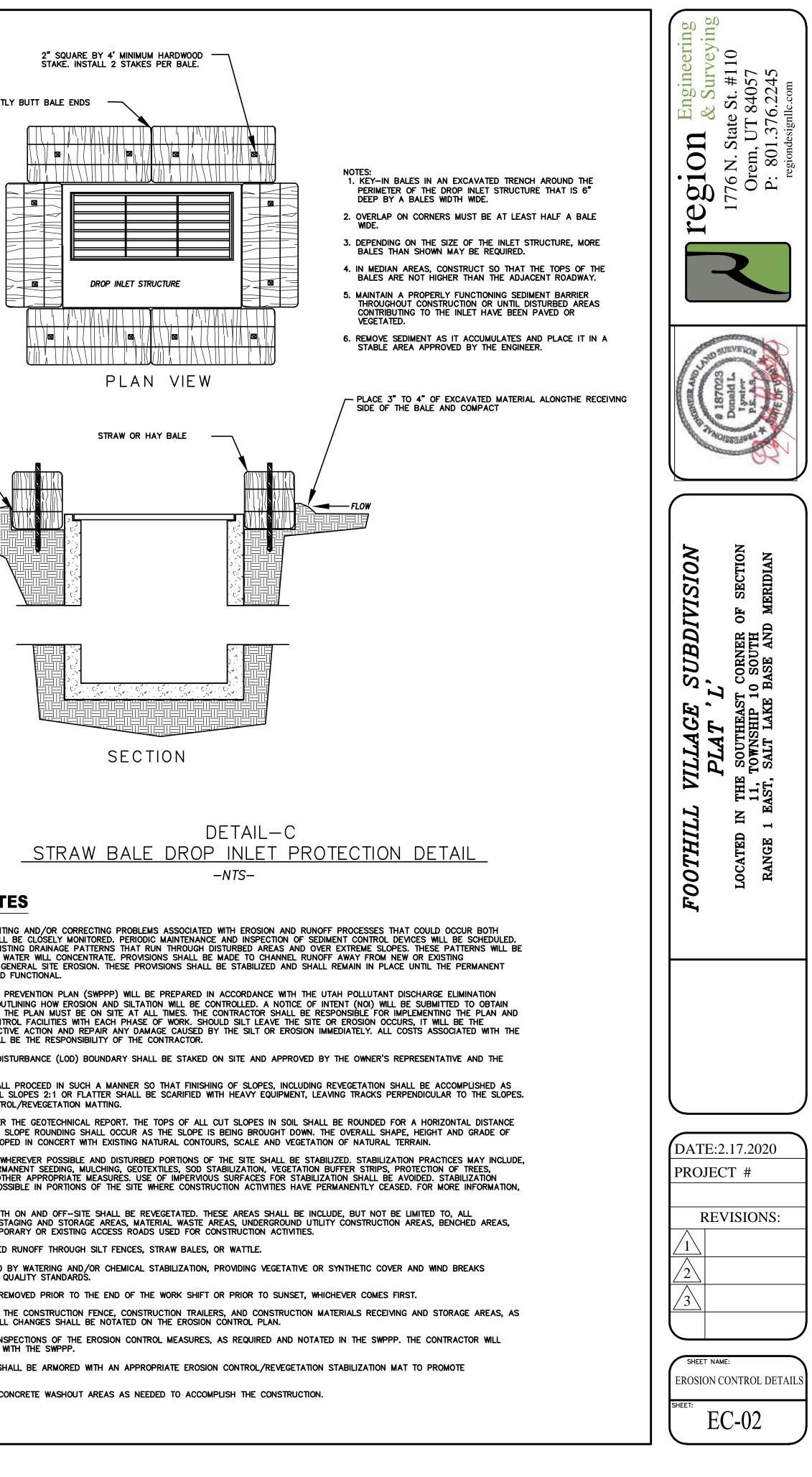
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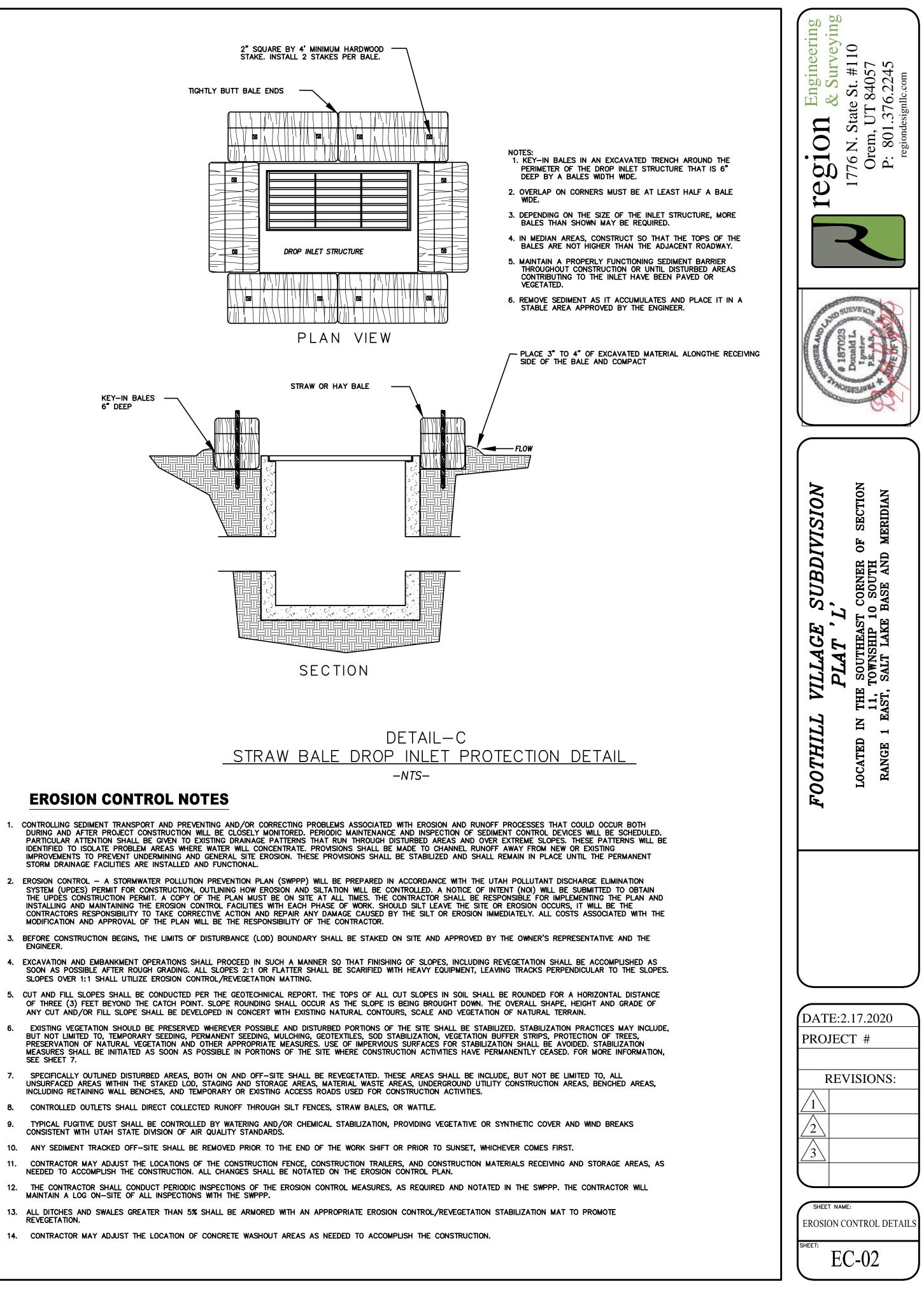


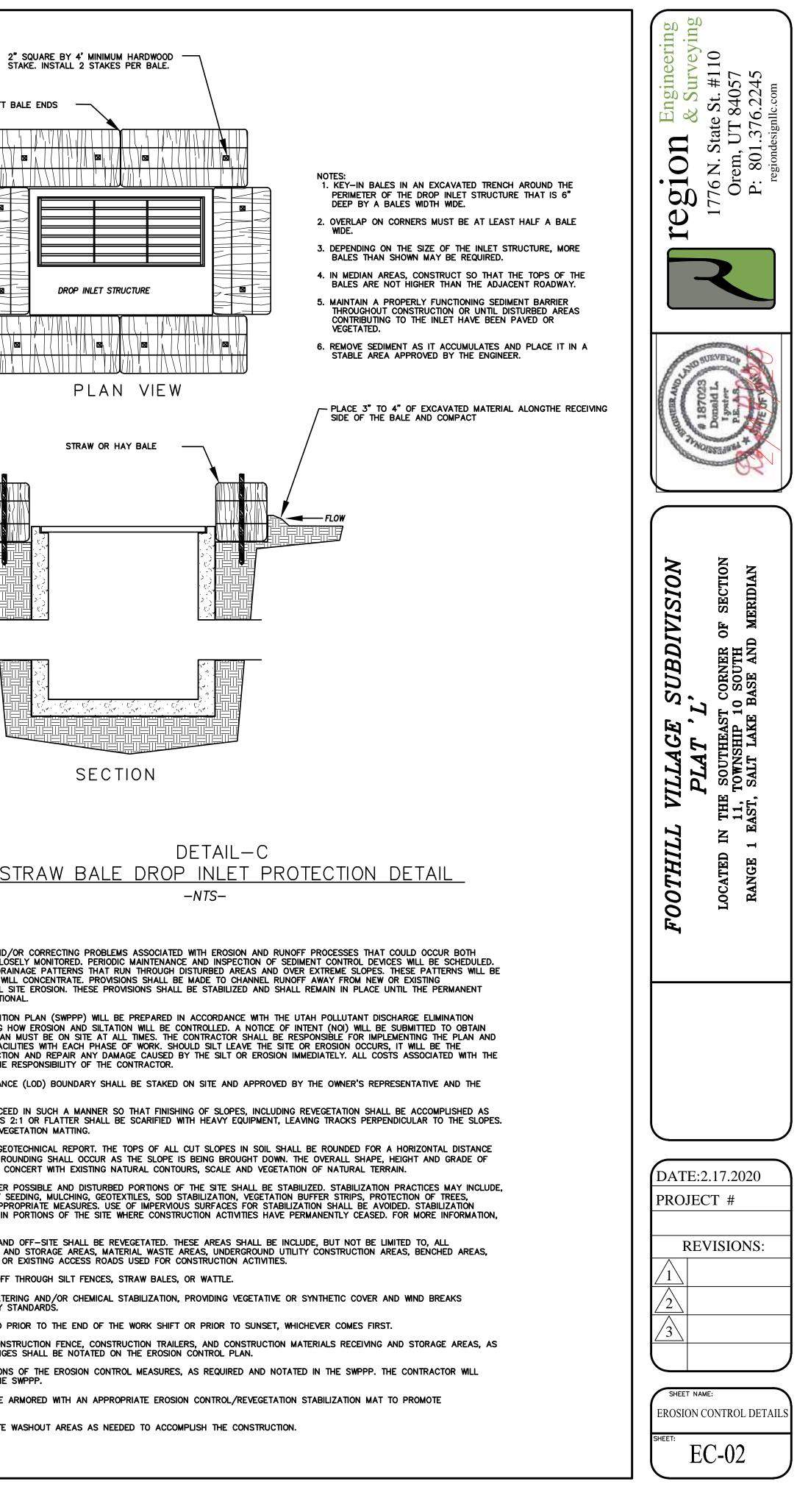










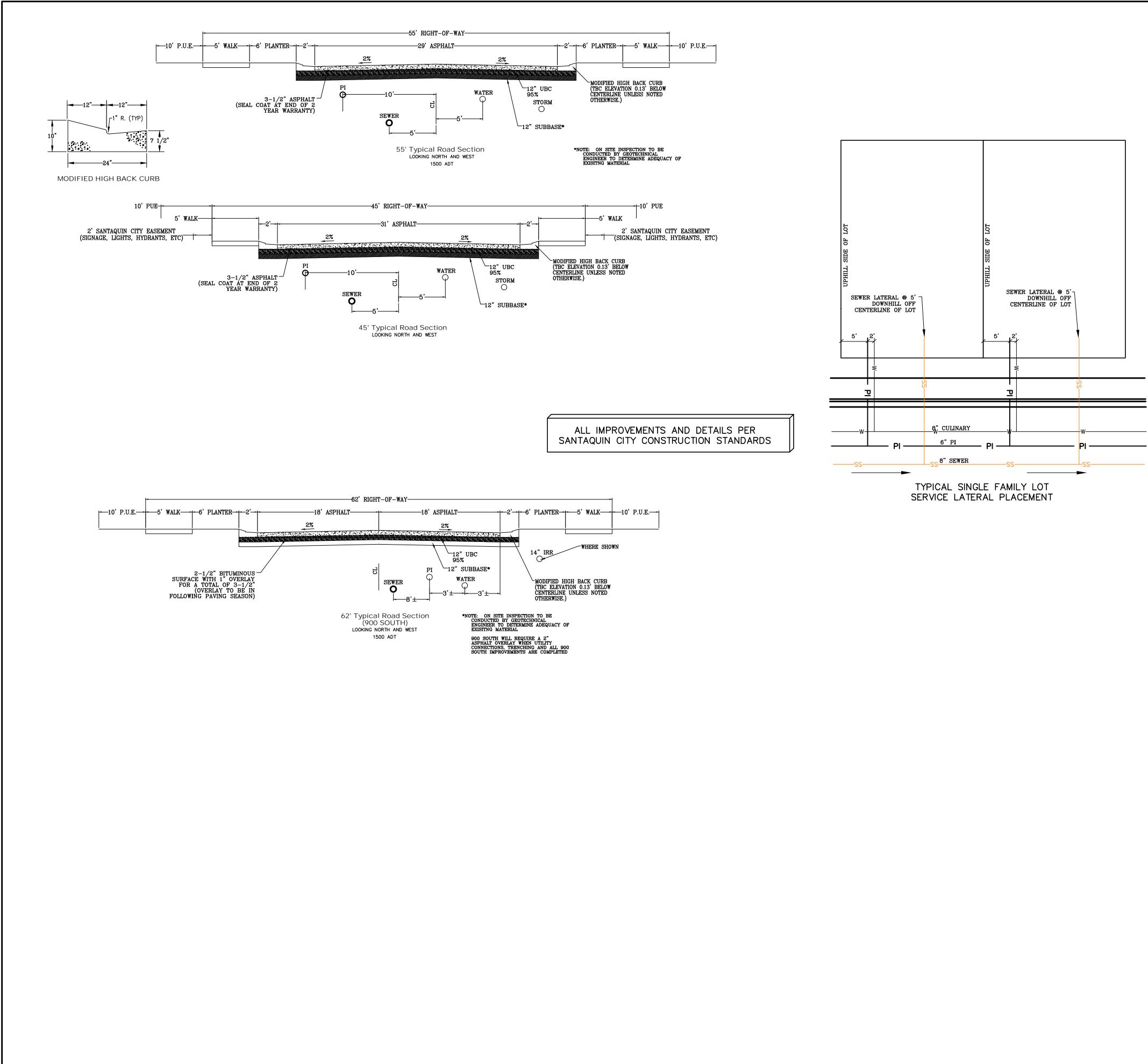


EROSION CONTROL NOTES

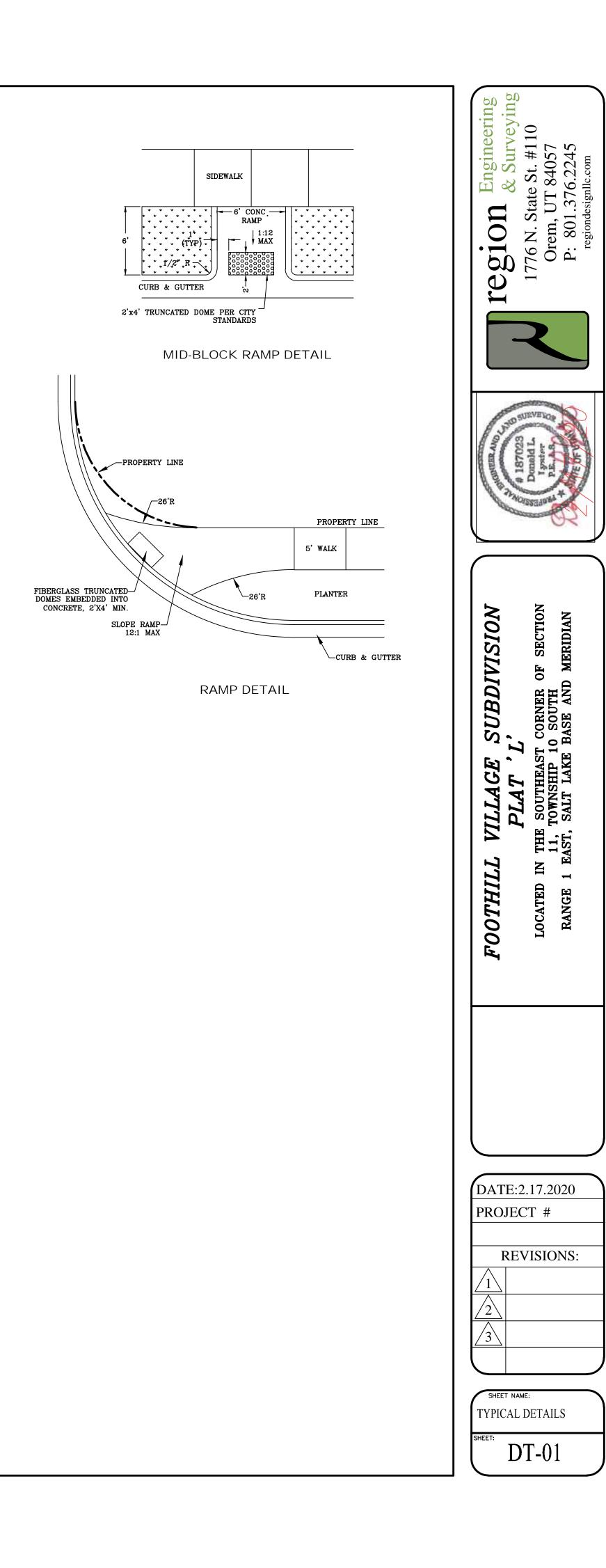
- STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
- ENGINEER.
- SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
- SEE SHEET 7.
- 7.
- CONSISTENT WITH UTAH STATE DIVISION OF AIR QUALITY STANDARDS.

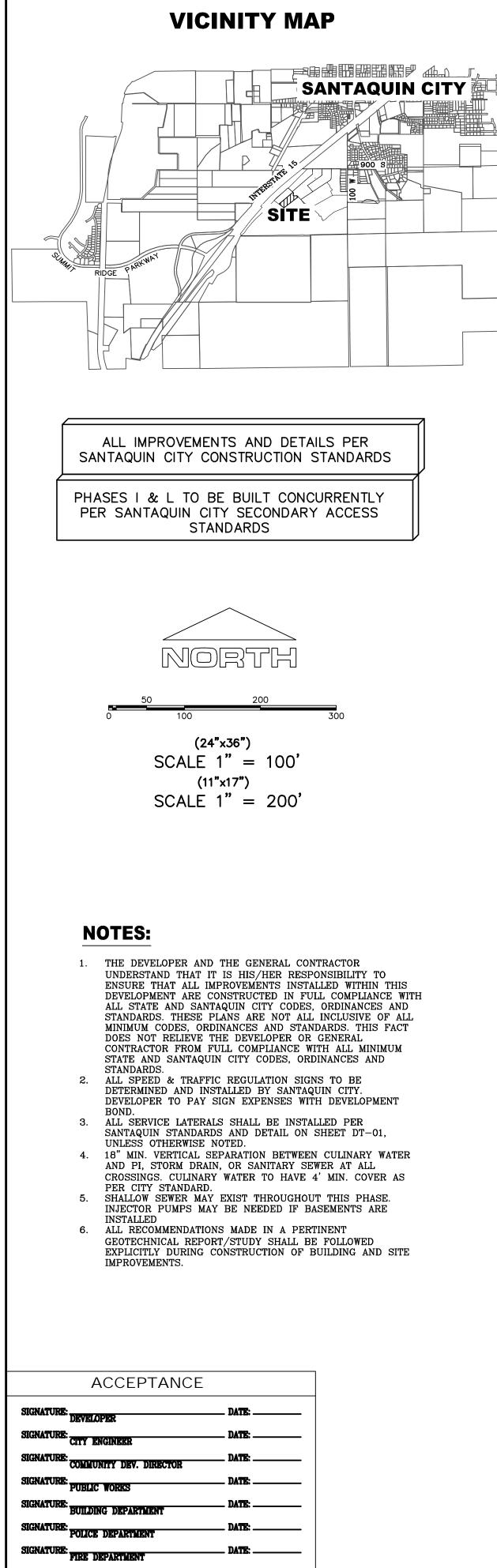
- MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.

REVEGETATION.



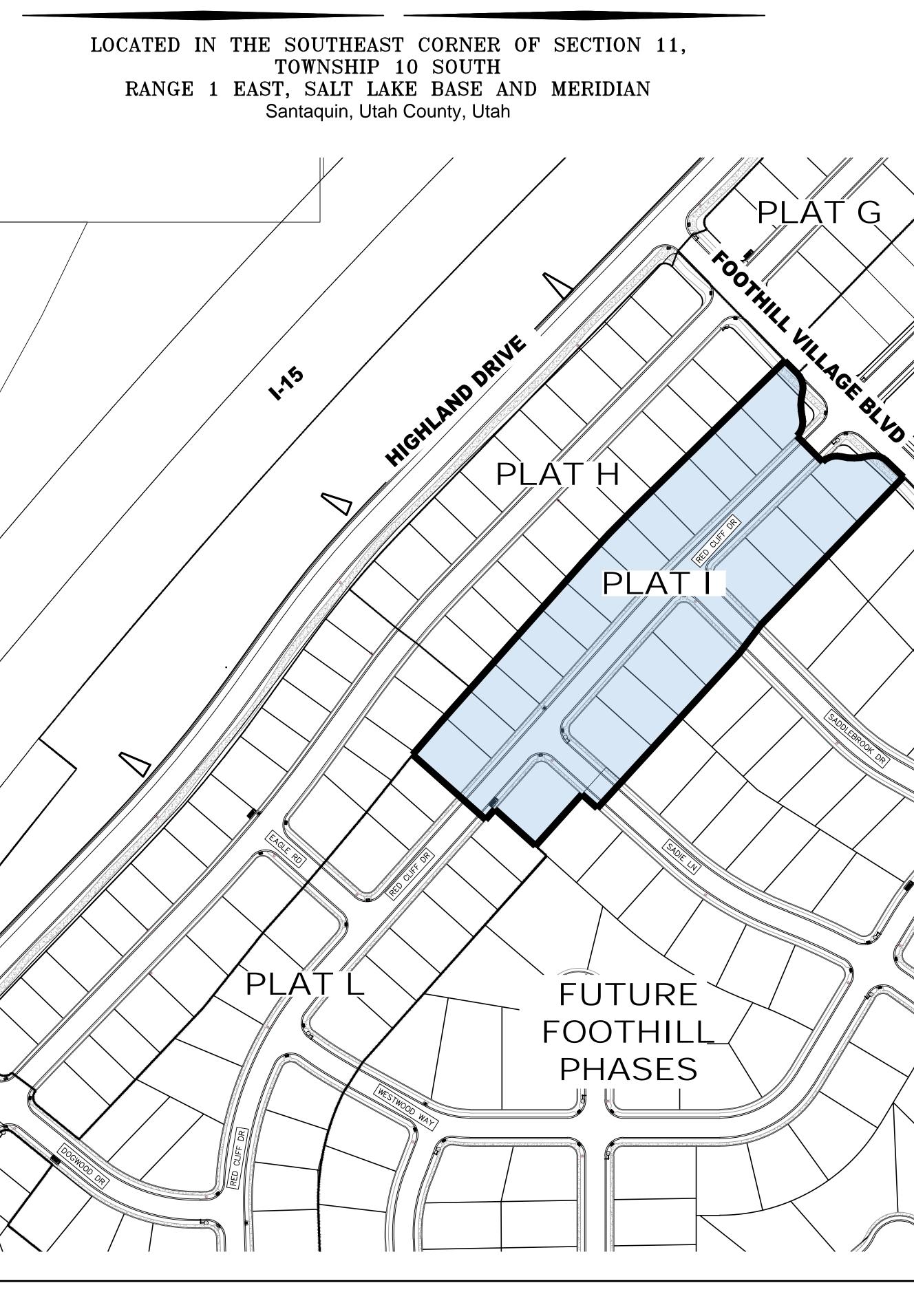
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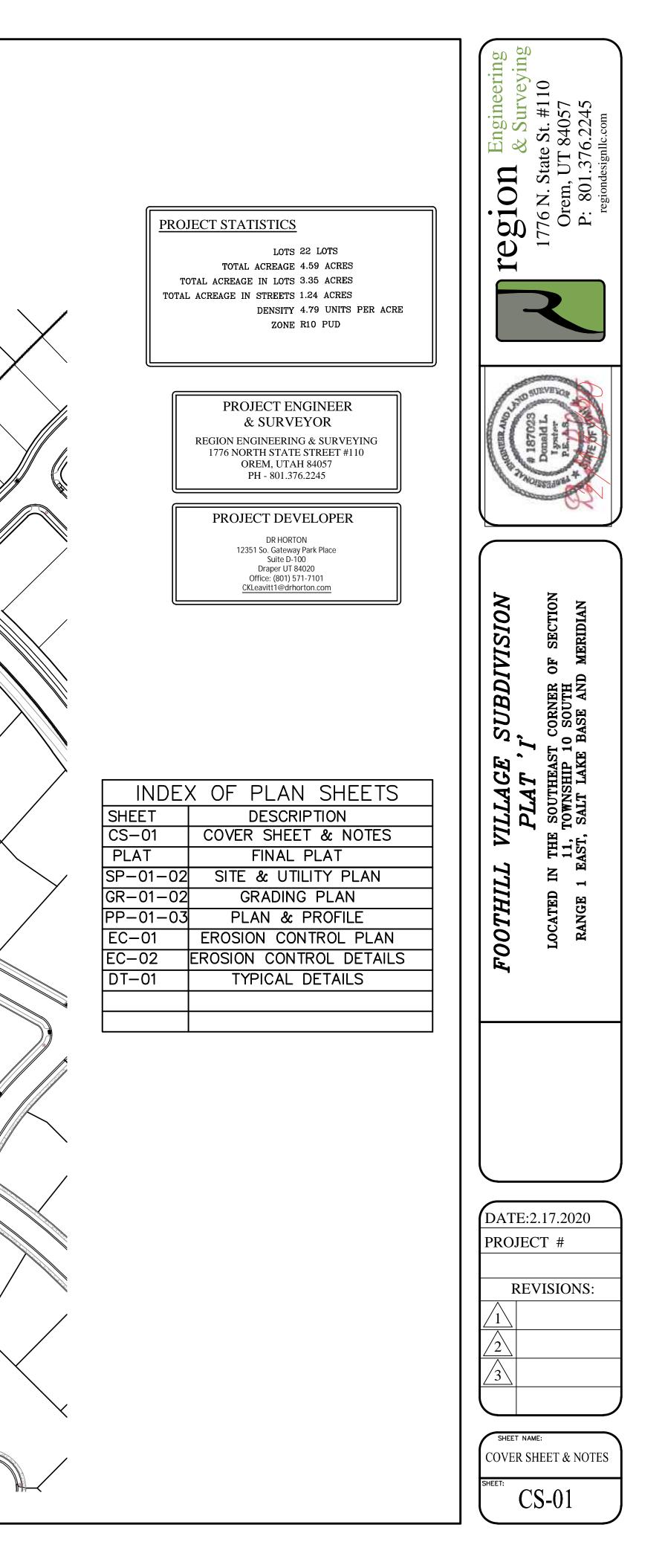


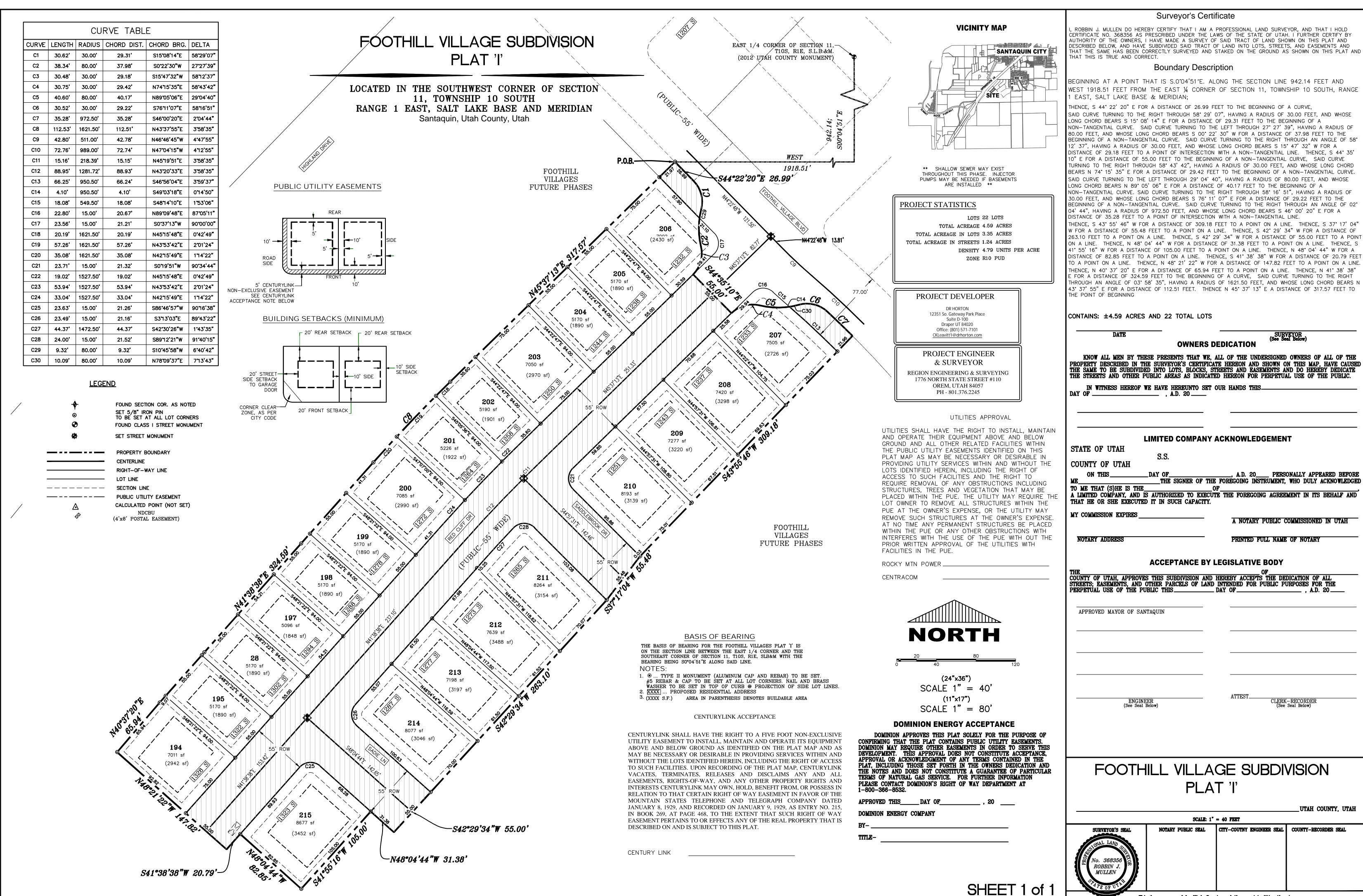


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FOOTHILL VILLAGE SUBDIVISION PLAT 'I'







Survevor's	Certif

	SURVEYOR'S SEAL	NUTARI PUBLIC SEAL	CITI-COUTNI ENGINEER SEAL	COUNTI-RECORDER SEAL
	No. 368356 ROBBIN J.			
1	PATE OF UTAT			

This form approved by Utah County and the municipalities therein

NOTES TO CONTRACTOR: CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. 1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS

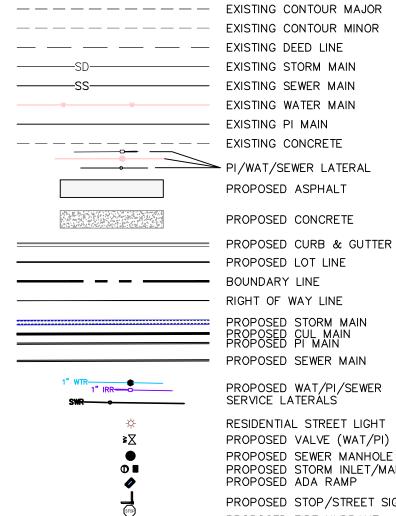
- DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
- 2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- 3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
- 4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
- 5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
- 6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED 7. ALL RECOMMENDATIONS MADE IN A PERTINENT
- GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
 - SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
 - 2 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)

 - OPI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
 - (4) PROVIDE 12" MINUS RIP-RAP AT END OF CURBING APPROX 10'
 - 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)

 - 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
 - (7) STOP/STREET SIGN
 - 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
 - 9 NDCBU (8x4 POSTAL BOX EASEMENT)

 - (EXISTING & TO REMAIN)
 - (TI) SANITARY SEWER SERVICE LATERAL (REMOVE EXISTING)

<u>LEGEND</u>



----- EXISTING STORM MAIN EXISTING WATER MAIN - EXISTING PI MAIN PROPOSED ASPHALT

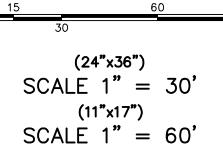
> PROPOSED CONCRETE PROPOSED LOT LINE - RIGHT OF WAY LINE PROPOSED STORM MAIN PROPOSED CUL MAIN PROPOSED PI MAIN PROPOSED SEWER MAIN

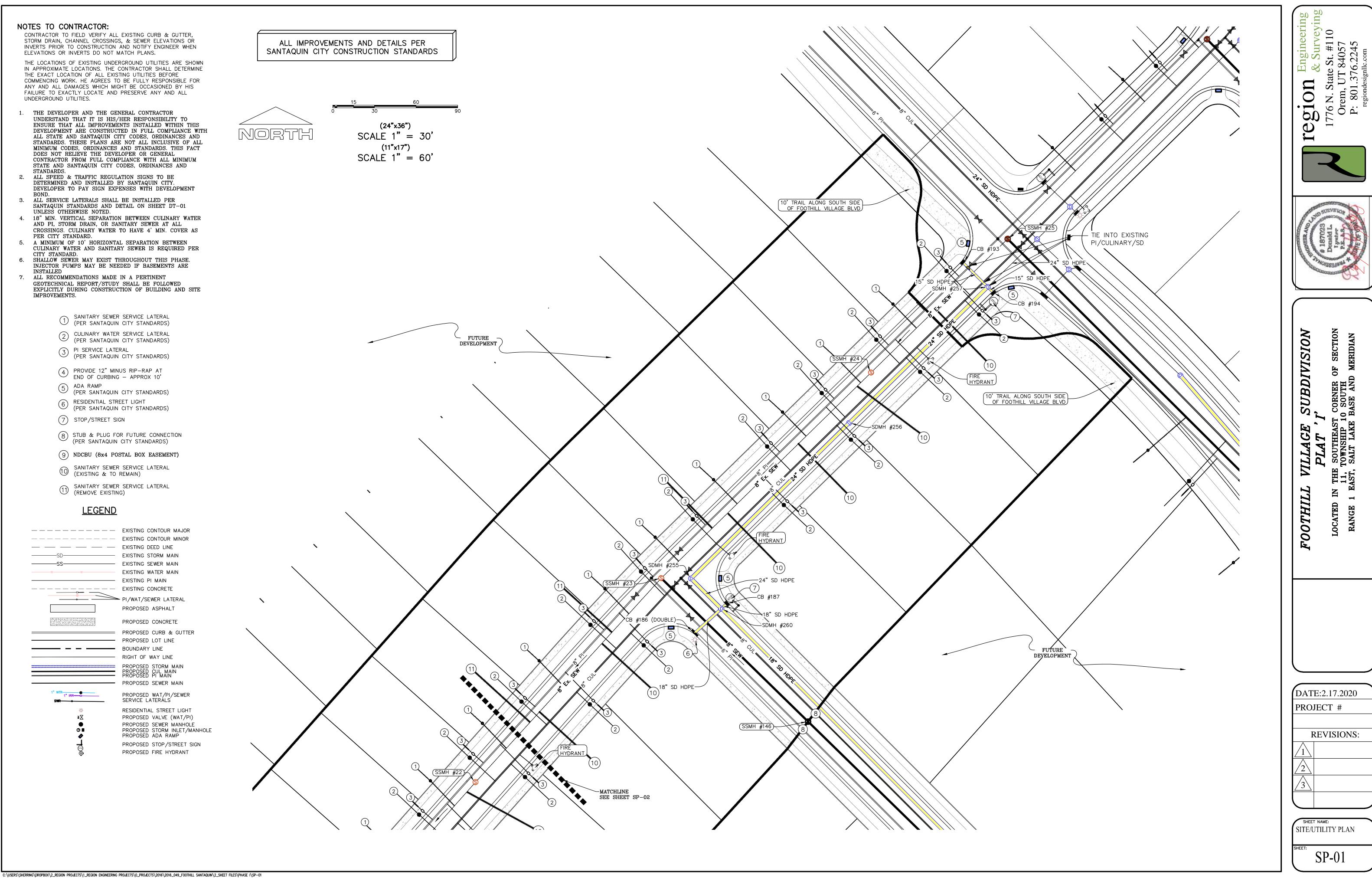
> > PROPOSED WAT/PI/SEWER SERVICE LATERALS

RESIDENTIAL STREET LIGHT PROPOSED VALVE (WAT/PI) PROPOSED SEWER MANHOLE PROPOSED STORM INLET/MANHOLE PROPOSED ADA RAMP PROPOSED STOP/STREET SIGN PROPOSED FIRE HYDRANT

ALL IMPROVEMENTS AND DETAILS PER

NORTH





NOTES TO CONTRACTOR: CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. 1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM

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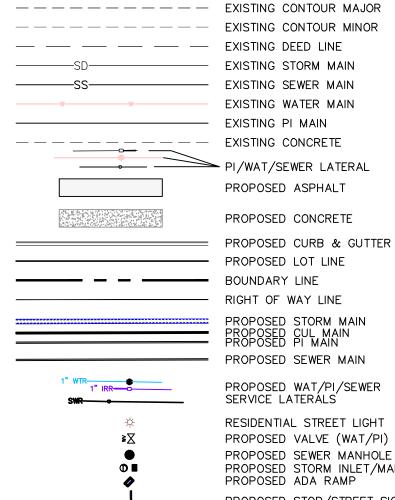
STATE AND SANTAQUIN CITY CODES, ORDINANCES AND

- 3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
- 4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
- 5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD. 6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE.
- INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED 7. ALL RECOMMENDATIONS MADE IN A PERTINENT
- GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.
 - SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
 - (2) CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)

 - 3 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
 - (4) PROVIDE 12" MINUS RIP-RAP AT END OF CURBING APPROX 10'
 - 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)

 - 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
 - (7) STOP/STREET SIGN
 - 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
 - 9 NDCBU (8x4 POSTAL BOX EASEMENT)
 - (10) SANITARY SEWER SERVICE LATERAL (EXISTING & TO REMAIN)
 - (TI) SANITARY SEWER SERVICE LATERAL (REMOVE EXISTING)

<u>LEGEND</u>



EXISTING STORM MAIN EXISTING WATER MAIN PROPOSED ASPHALT

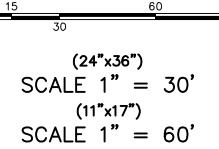
> PROPOSED CONCRETE - PROPOSED LOT LINE - RIGHT OF WAY LINE PROPOSED STORM MAIN PROPOSED CUL MAIN PROPOSED PI MAIN - PROPOSED SEWER MAIN

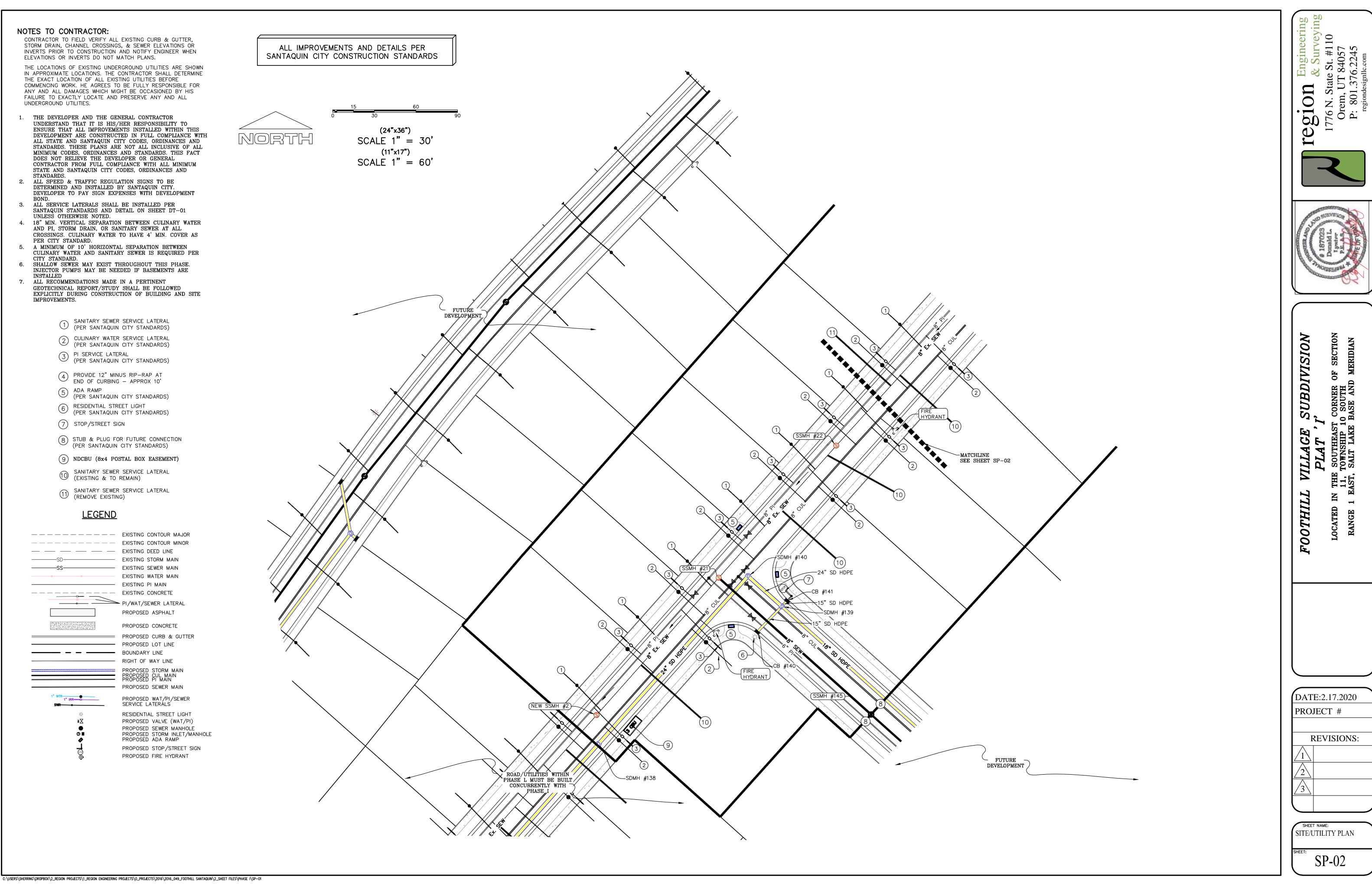
> > PROPOSED WAT/PI/SEWER SERVICE LATERALS

RESIDENTIAL STREET LIGHT PROPOSED VALVE (WAT/PI) PROPOSED SEWER MANHOLE PROPOSED STORM INLET/MANHOLE PROPOSED ADA RAMP PROPOSED STOP/STREET SIGN PROPOSED FIRE HYDRANT

ALL IMPROVEMENTS AND DETAILS PER

NORTH





- 1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
- 2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT
- BOND. 3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS
- OTHERWISE NOTED. 4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.

C: USERS\SHERRING\DROPBOX\2_REGION PROJECTS\1_REGION ENGINEERING PROJECTS\0_PROJECTS\2016\2016_2049_FOOTHILL SANTAQUIN\2_SHEET FILES\PHASE I\GR-01

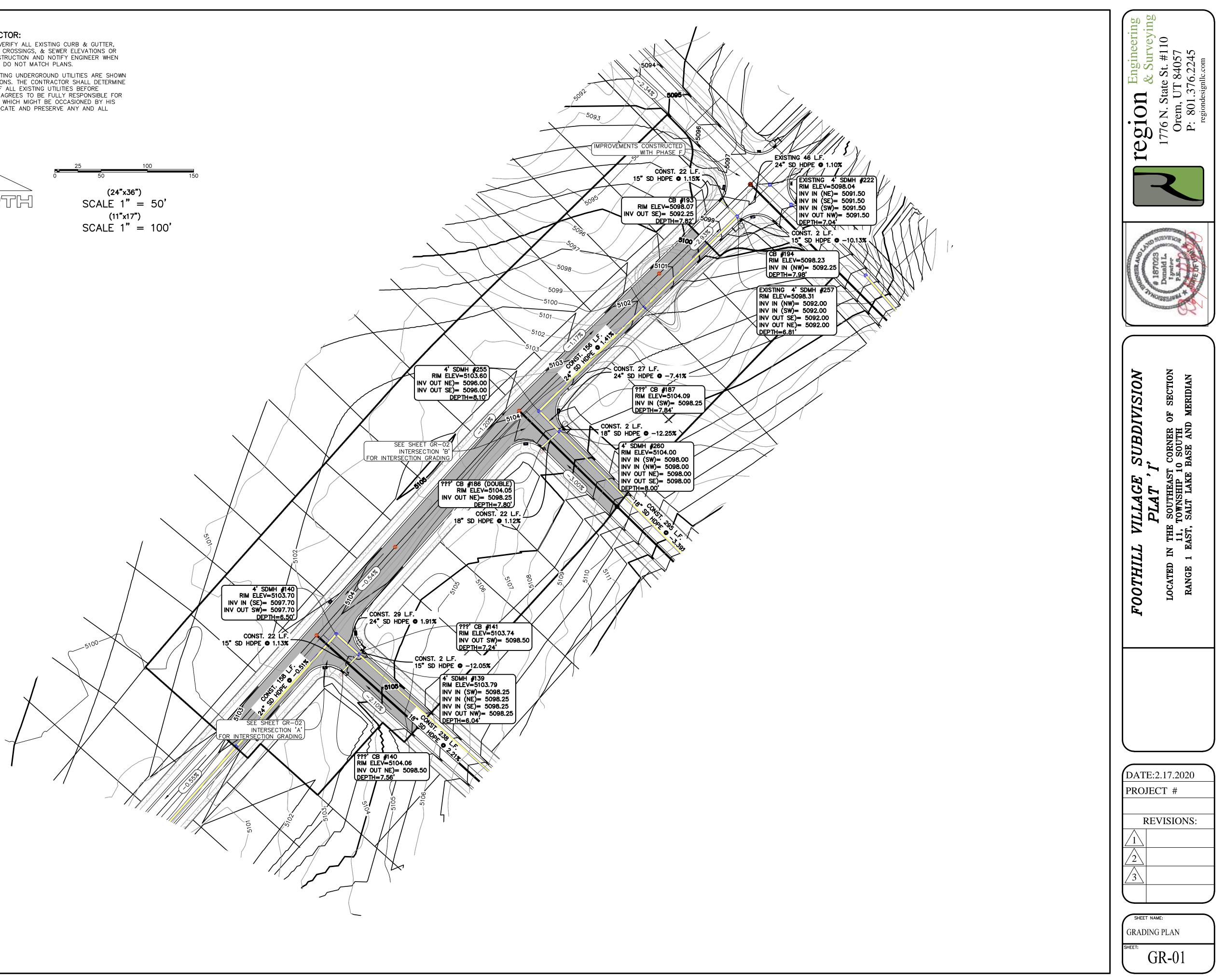
NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

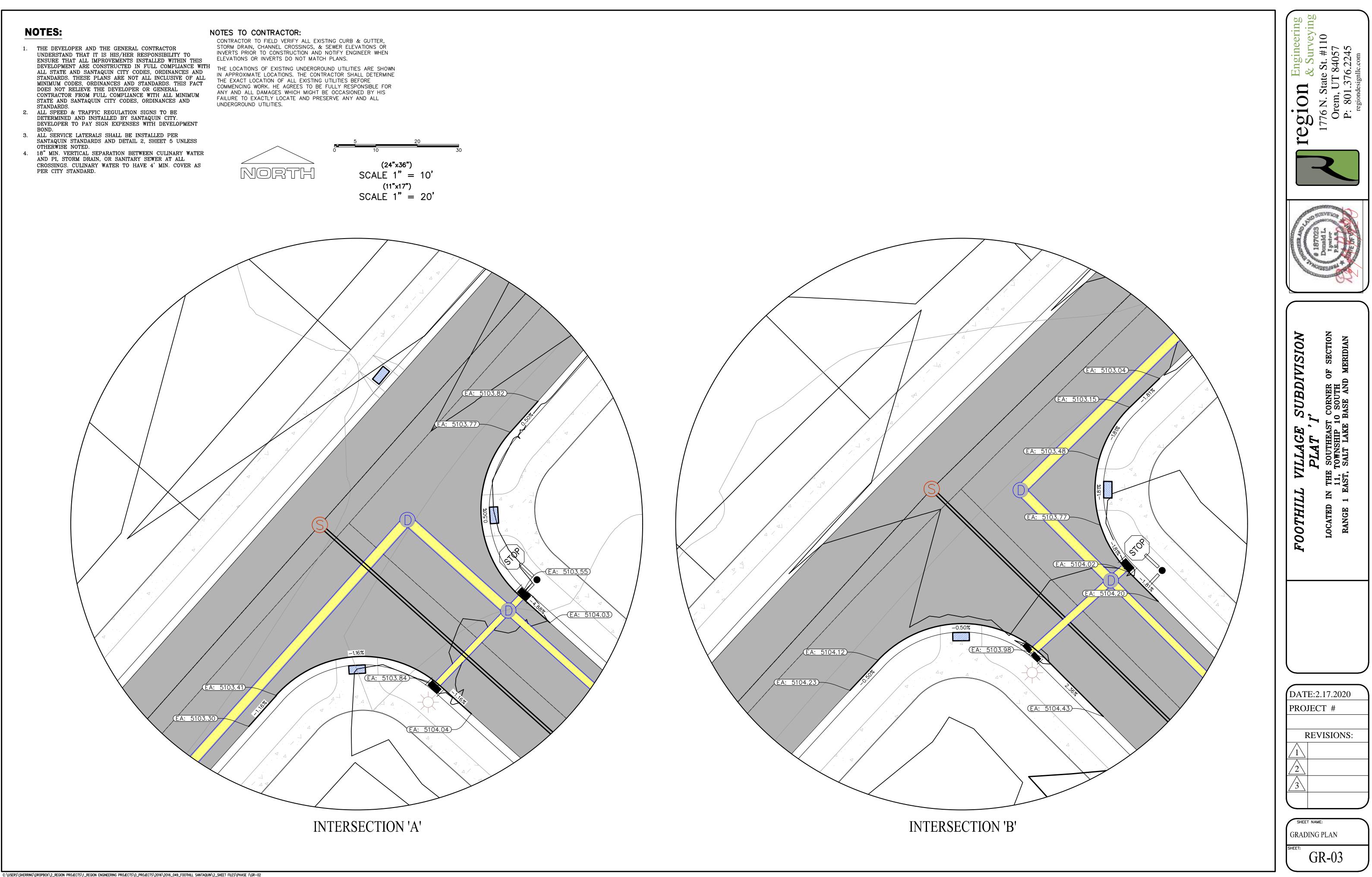
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

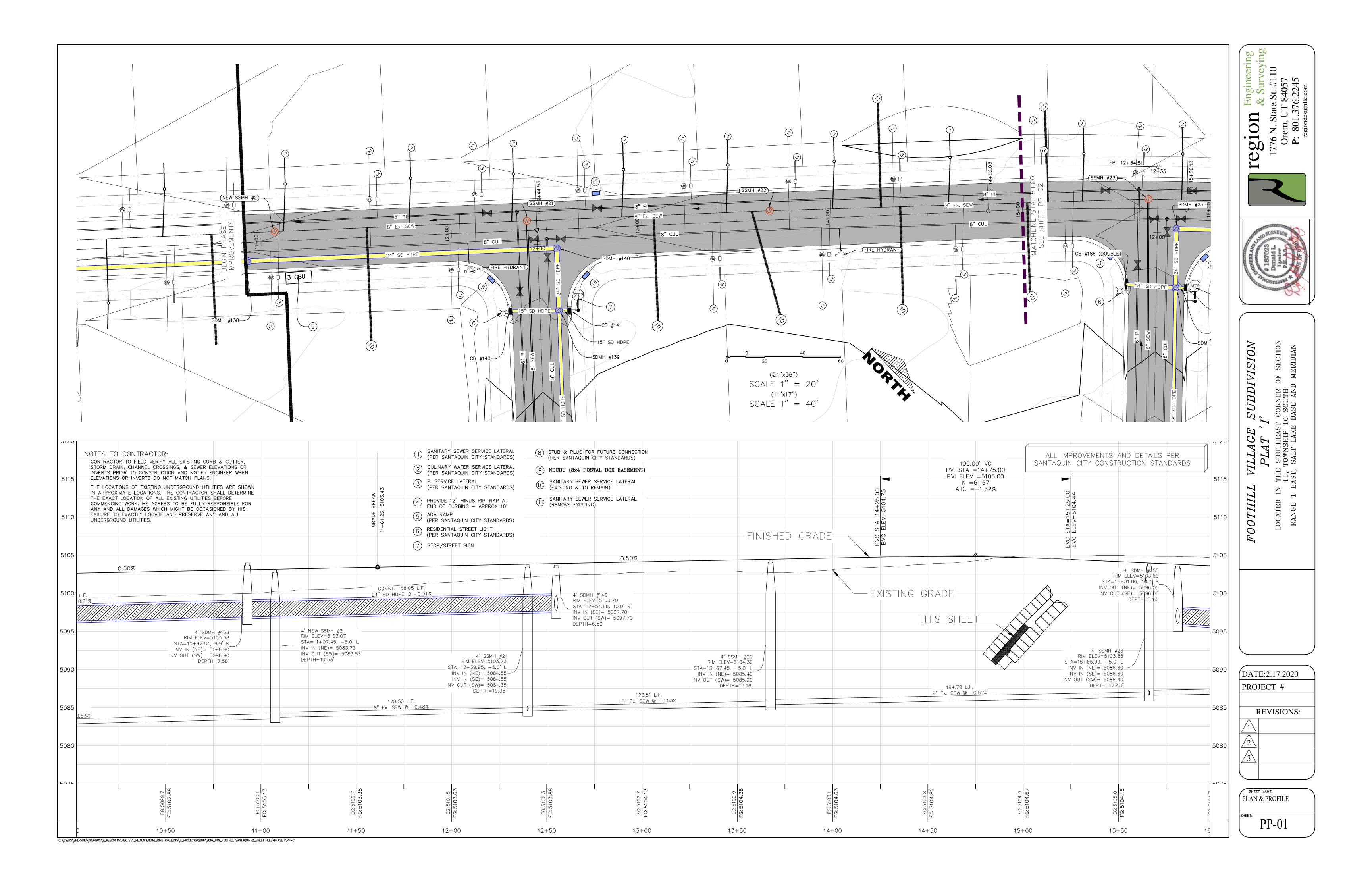
NORTH

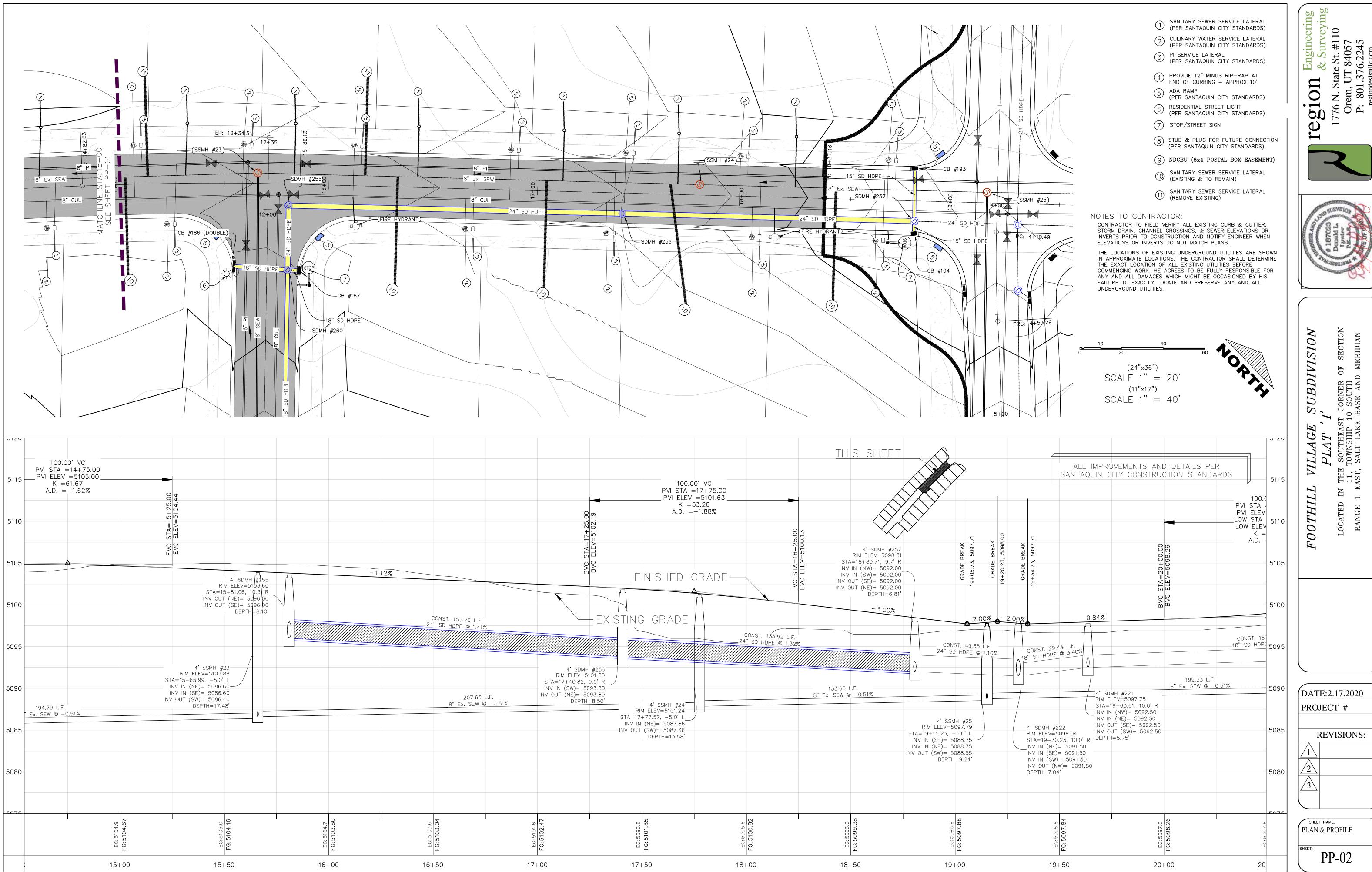
(24"x36") SCALE 1" = 50'



- 1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
- ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT 2.
- BOND. 3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS
- 4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.







C:\USERS\SHERRING\DROPBOX\2_REGION PROJECTS\1_REGION ENGINEERING PROJECTS\0_PROJECTS\2016\2016_049_FOOTHILL SANTAQUIN\2_SHEET FILES\PHASE I\PP-01

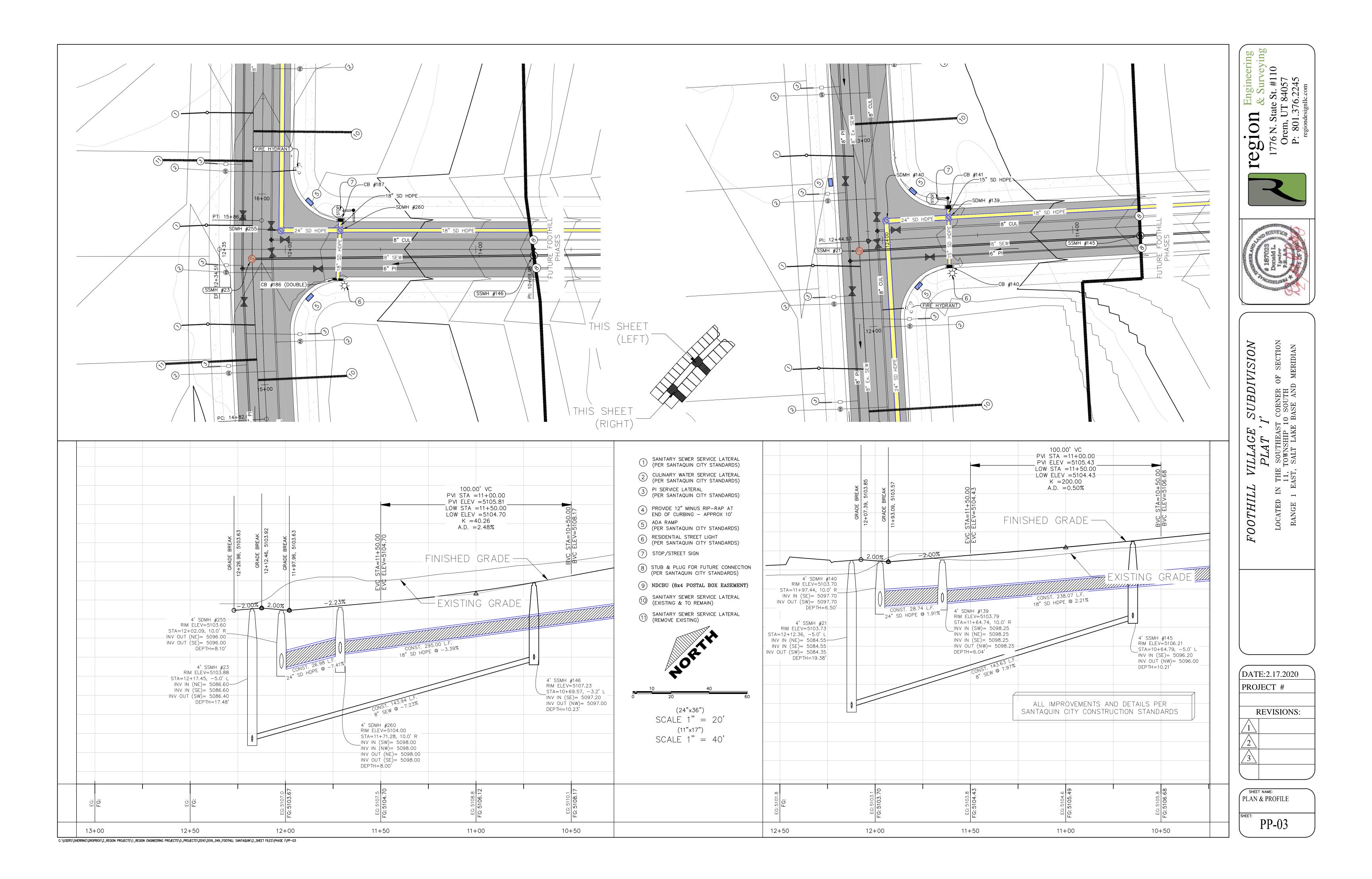
JF SECTION MERIDIAN

OUTHEAST CORNER OF WNSHIP 10 SOUTH ALT LAKE BASE AND 1

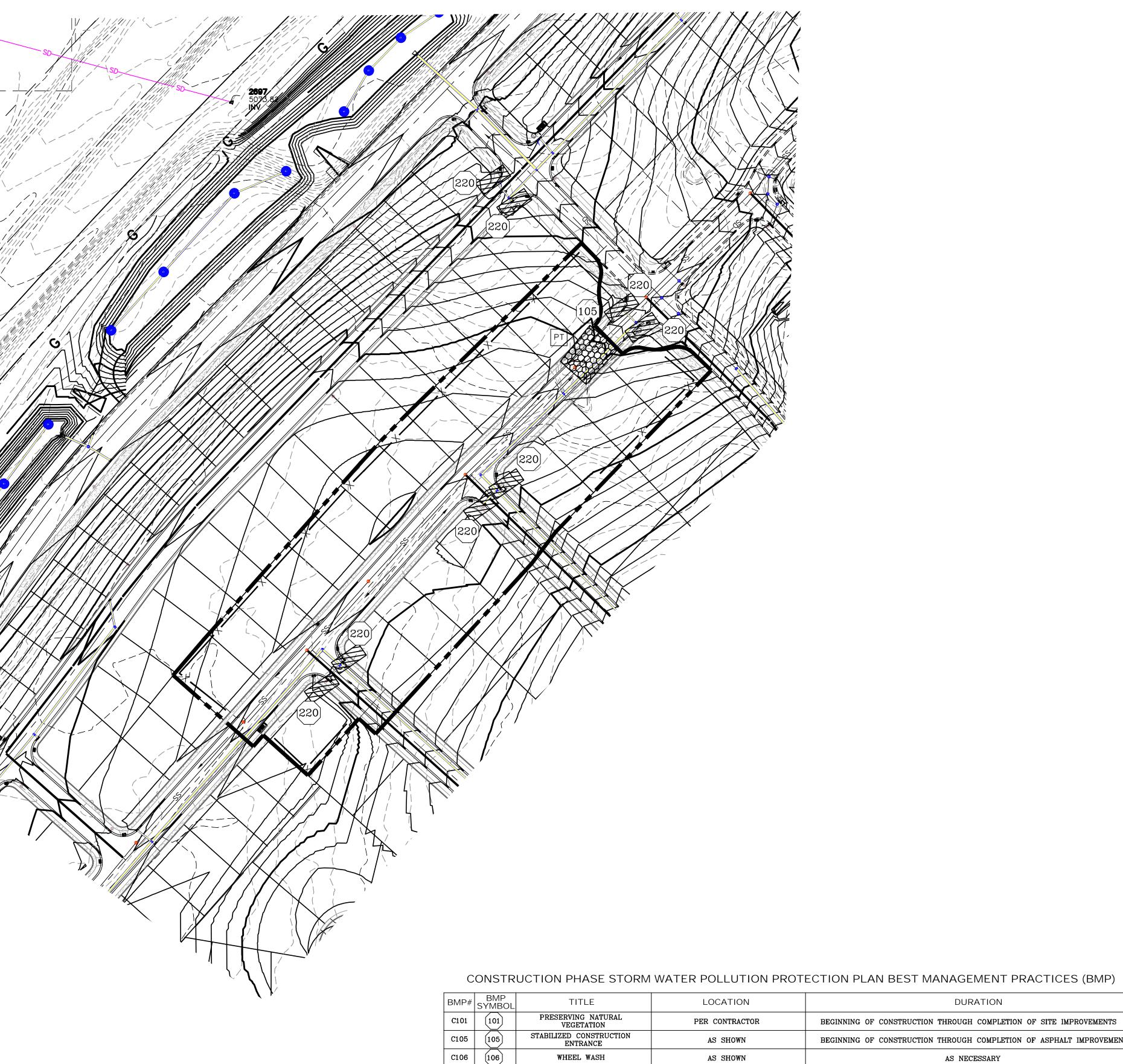
LOCATED IN RANGE 1 E¹

E

OF



	LEGEND:
N N	PROPOSED SILT FENCE
	(SEE SHEET EC-02)
	FLOW ARROW
(105)	PROPOSED VEHICLE TRACKING CONTROL
	(SEE SHEET EC-02) PROPOSED CURB INLET PROTECTION
	(SEE SHEET EC-02)
PT	PORTABLE TOILETS
NOTES	
NOTES:	NEADEREN CONDUCING NOT COVEDED
BY THESE NOTES ARE ENCO	NFORESEEN CONDITIONS NOT COVERED UNTERED DURING GRADING IGINEER IS TO BE IMMEDIATELY
NOTIFIED FOR DIRECTION.	OF THE CONTRACTOR TO PERFORM ALL
NECESSARY CUTS AND FILLS	WITHIN THE LIMITS OF THIS PROJECT E WORK, SO AS TO GENERATE THE
	GRADES AND SLOPES SHOWN.
PROVIDED BY THE CONTRAC	RING IS TO BE DESIGNED AND FOR TO PREVENT UNDERMINING OF
EXCAVATION.	R FACILITIES AND/OR CAVING OF THE
NOT NECESSARILY THE INTE	D THAT AN EARTHWORK BALANCE WAS NT OF THIS PROJECT. ANY ADDITIONAL
EARTHWORK OPERATIONS BE	TOVER MATERIAL FOLLOWING COMES THE RESPONSIBILITY OF THE
	IS RESPONSIBLE TO COORDINATE WITH R THE REQUIREMENTS OF THE
	LUTION PREVENTION PLAN (SWPPP)
	ARE TO BE PROTECTED UNTIL L HAS BEEN ESTABLISHED.
7. THE USE OF POTABLE WATE	R WITHOUT A SPECIAL PERMIT FOR PURPOSED INCLUDING CONSOLIDATION
IS TO OBTAIN ALL NECESSA	ROL IS PROHIBITED. THE CONTRACTOR RY PERMITS FOR CONSTRUCTION WATER.
ALL OTHER PUBLIC RIGHT-C	NTAIN THE STREETS, SIDEWALKS, AND DF-WAY IN A CLEAN, SAFE AND USABLE
IS TO BE PROMPTLY REMOV	SOIL, ROCK OR CONSTRUCTION DEBRIS ED FROM THE PUBLICLY OWNED
PROJECT. ALL ADJACENT PRO	CTION AND UPON COMPLETION OF THE DPERTY, PRIVATE OR PUBLIC IS TO BE FE AND USABLE CONDITION
	THE AND USABLE CONDITION. EMPORARY CONSTRUCTION ITEM IS DWN ON THESE DRAWINGS, THE OWNER
•	ISTALL SUCH ITEM AT HIS OWN
	ONSTRUCTION INCLUDES DITCHES,
	PROJECT INFORMATION SIGN
	ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
	 THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
	2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS/ EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANCIE OF ARAMCES
	PROPER SIGHT TRIANGLE CLEARANCES. 3. 3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY.
	4. THE SIGN SHALL BE A MINIMUM OF 48" × 48" AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS
	WRITTEN IN LONGHAND ARE UNACCEPTABLE. DEVELOPERS NAME (4" Uppercase Bold Letters)
	PROJECT NAME
	(4" Uppercase Bold Letters) PERMIT NUMBER (4" Bold Numbers)
	FOR PROJECT SITE CONCERNS CONTACT
	Office Phone Contact ###-#### (4" Bold Numbers)
NORTH	Cell Phone Contact ###-#### (4" Bold Numbers)
30	IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT XXX-XXXX (3" Uppercase Bold Letters and 3" Bold Numbers)
<u> </u>	(3" Uppercase Bold Letters and 3" Bold Numbers)
(24"×36")	5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
SCALE $1'' = 60'$	6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER OF IT MEETS THESE
(11"x17") SCALE 1" = 120'	REQUIREMENTS



C151

 C190
 190

 C220
 220

C233 233 C233 240

(151)

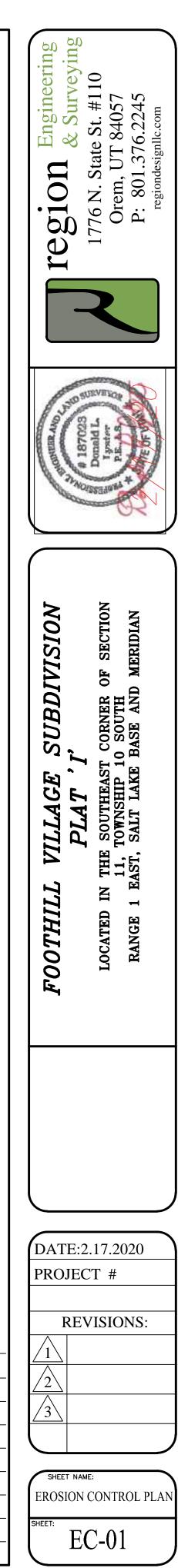
CONCRETE WASTE MANAGEMENT

PORTABLE TOILETS

STORM DRAIN INLET PROTECTION

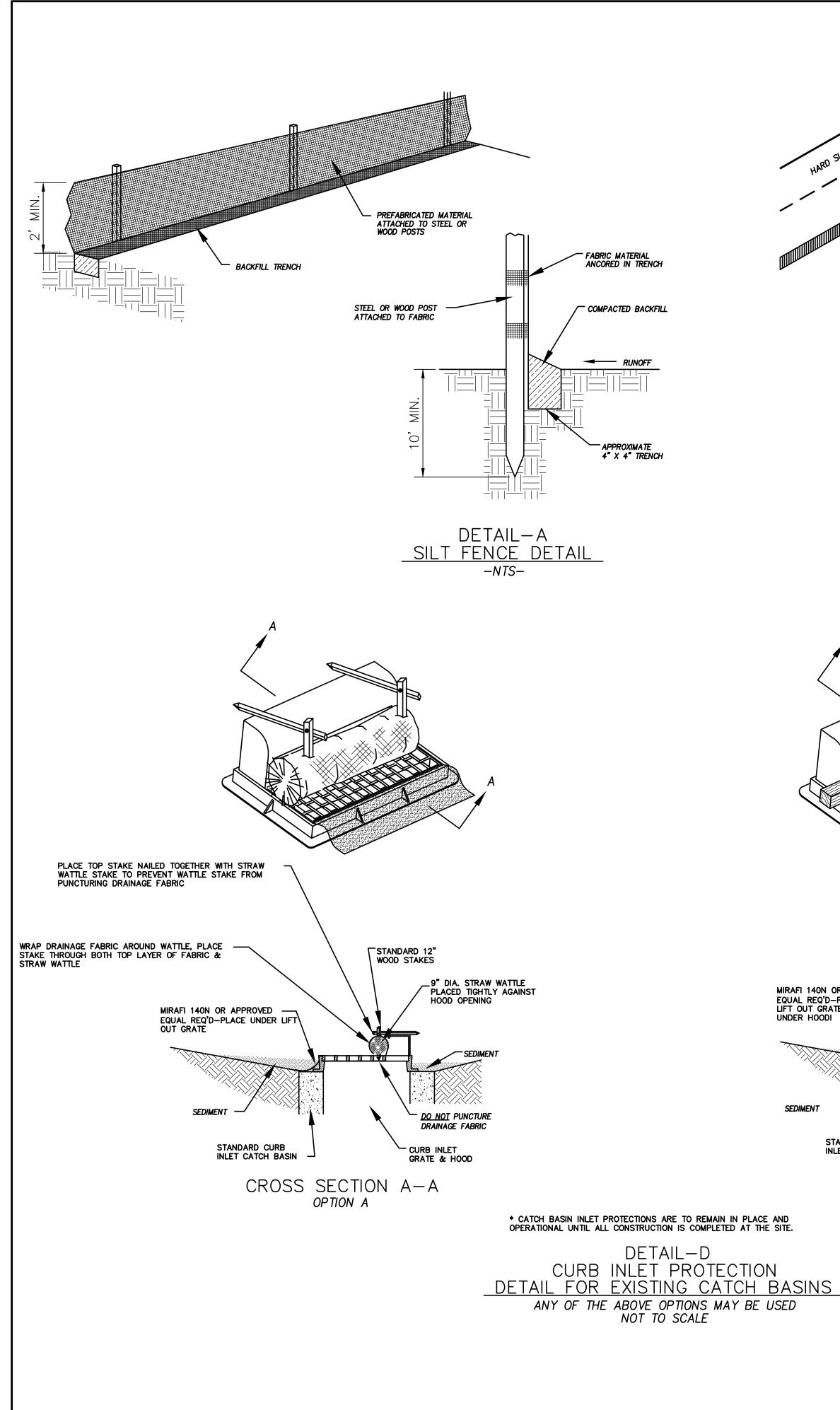
SILT FENCE

SEDIMENT TRAP

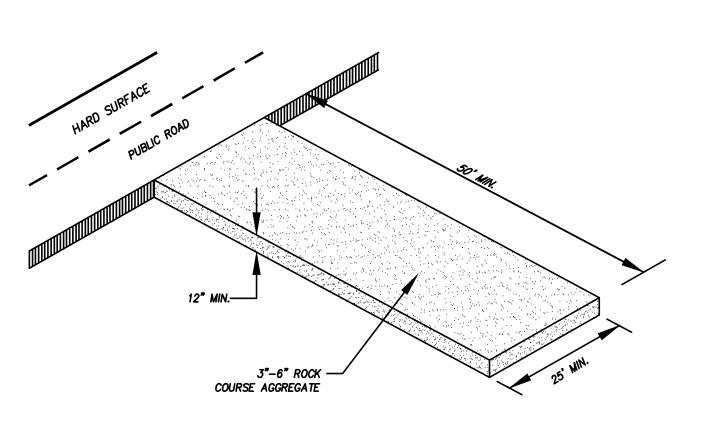


ANI DEST MANIACEMENT	

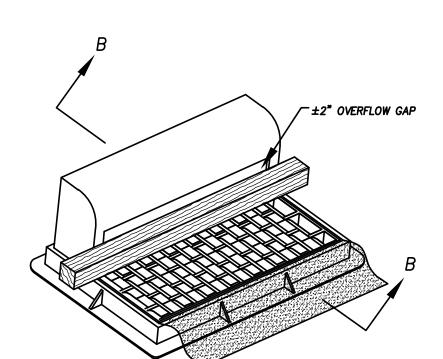
LOCATION	DURATION		
PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS		
AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS		
AS SHOWN	AS NECESSARY		
PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS		
PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS		
AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS		
AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS		
AS SHOWN	BEGINING OF CONSTRUCTION TO PLACEMENT OF ASPHALT		

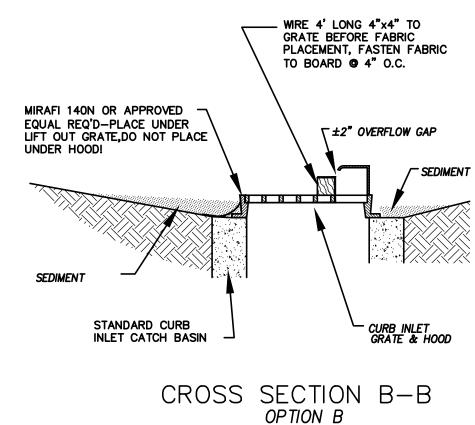


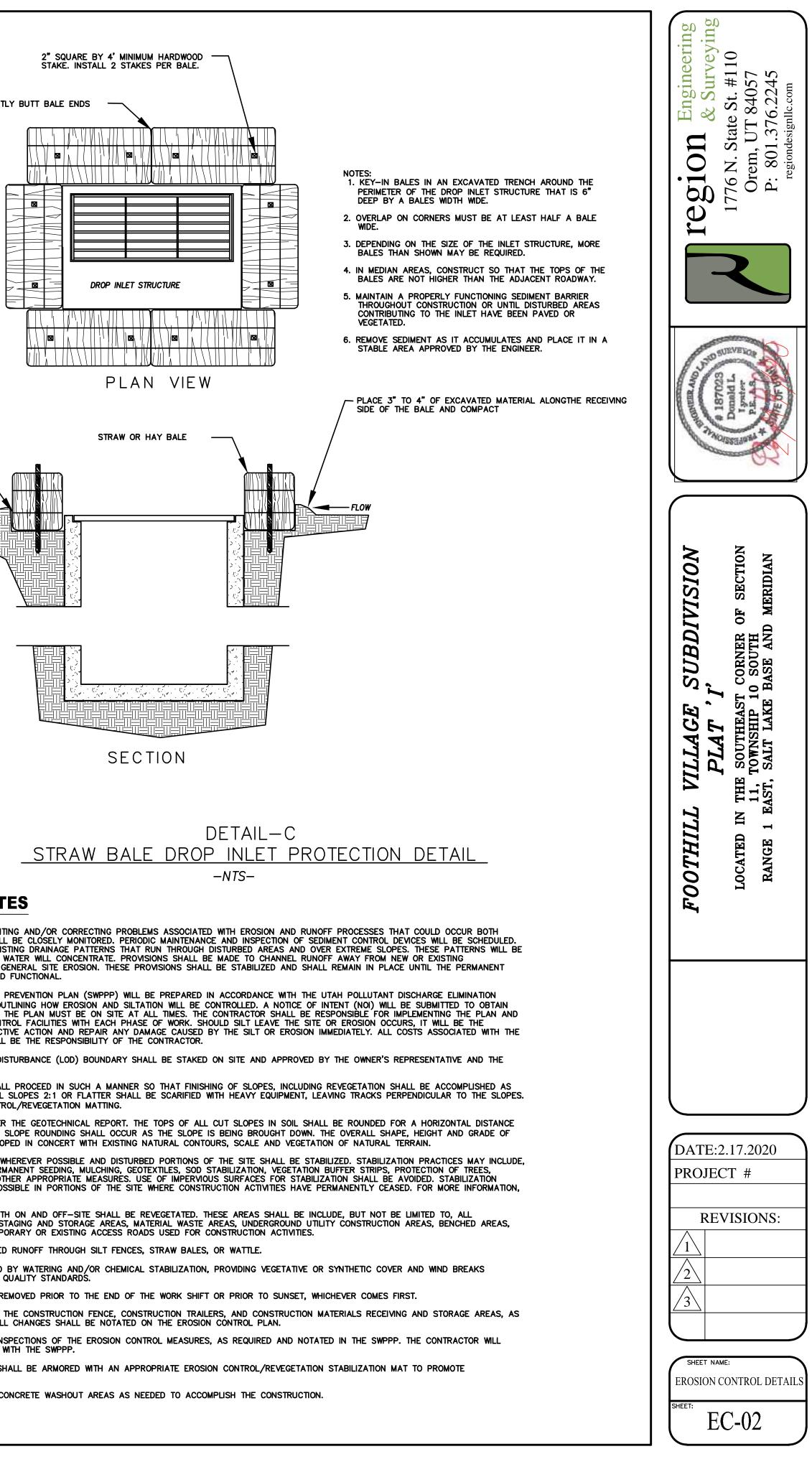
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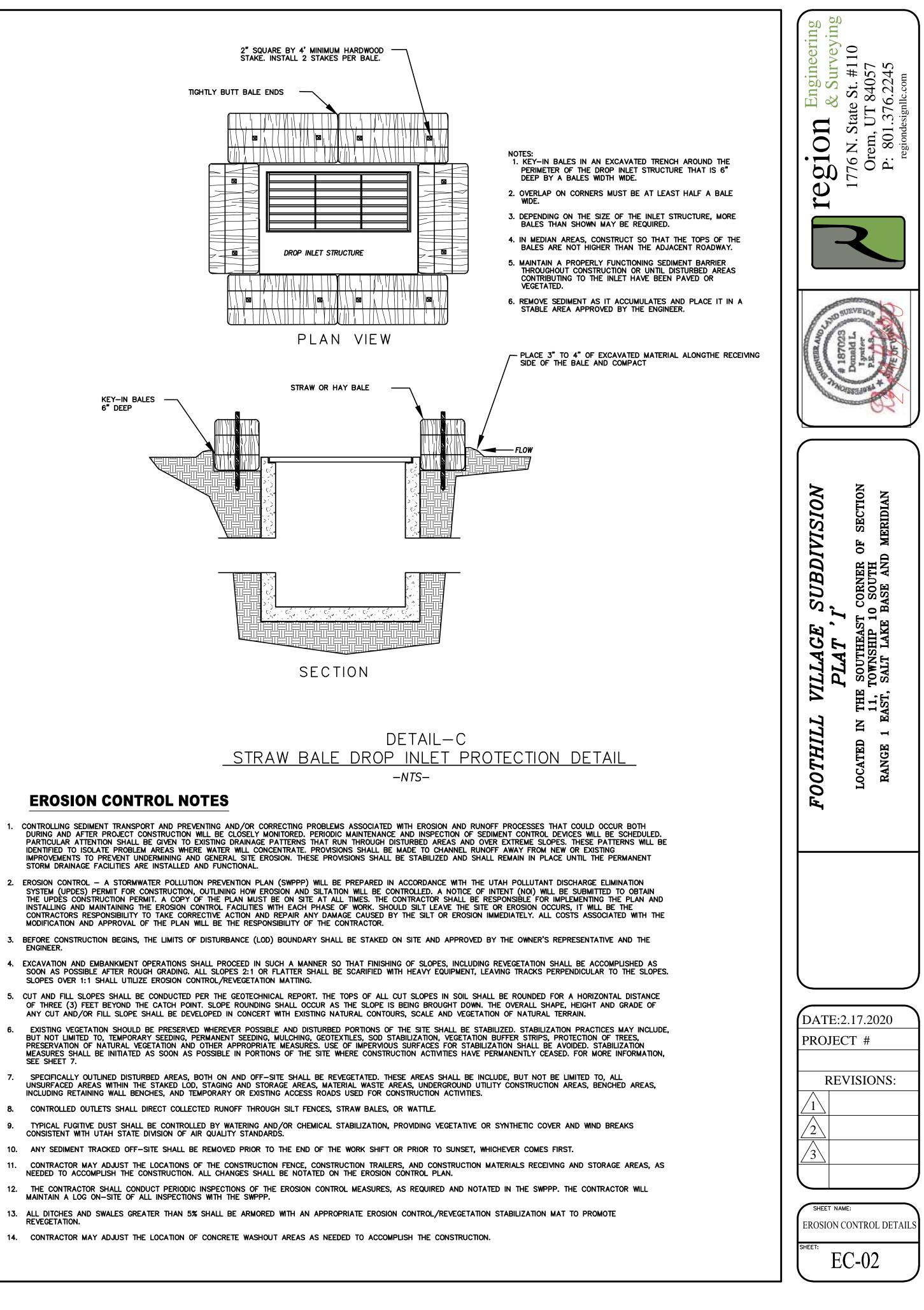


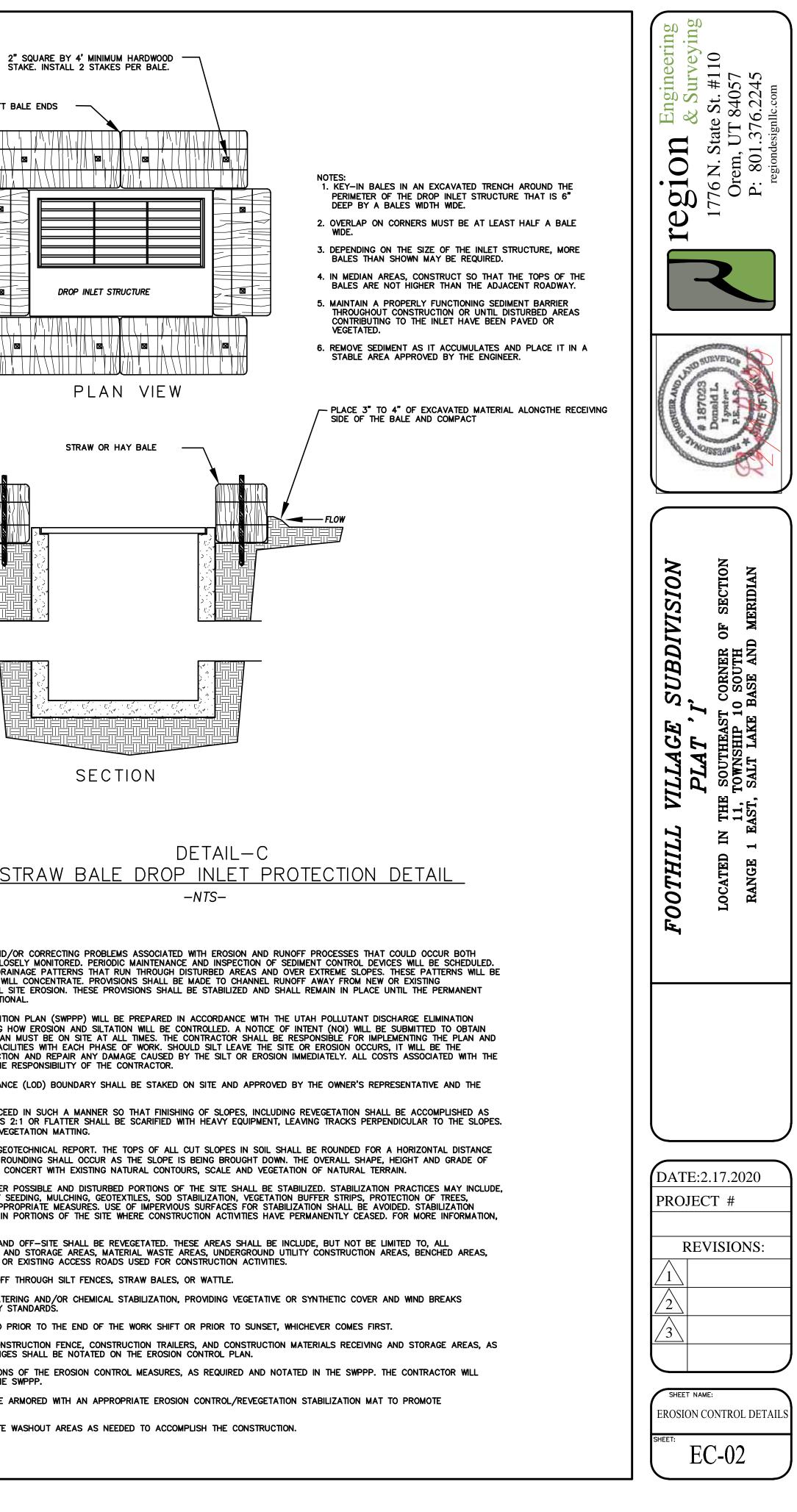










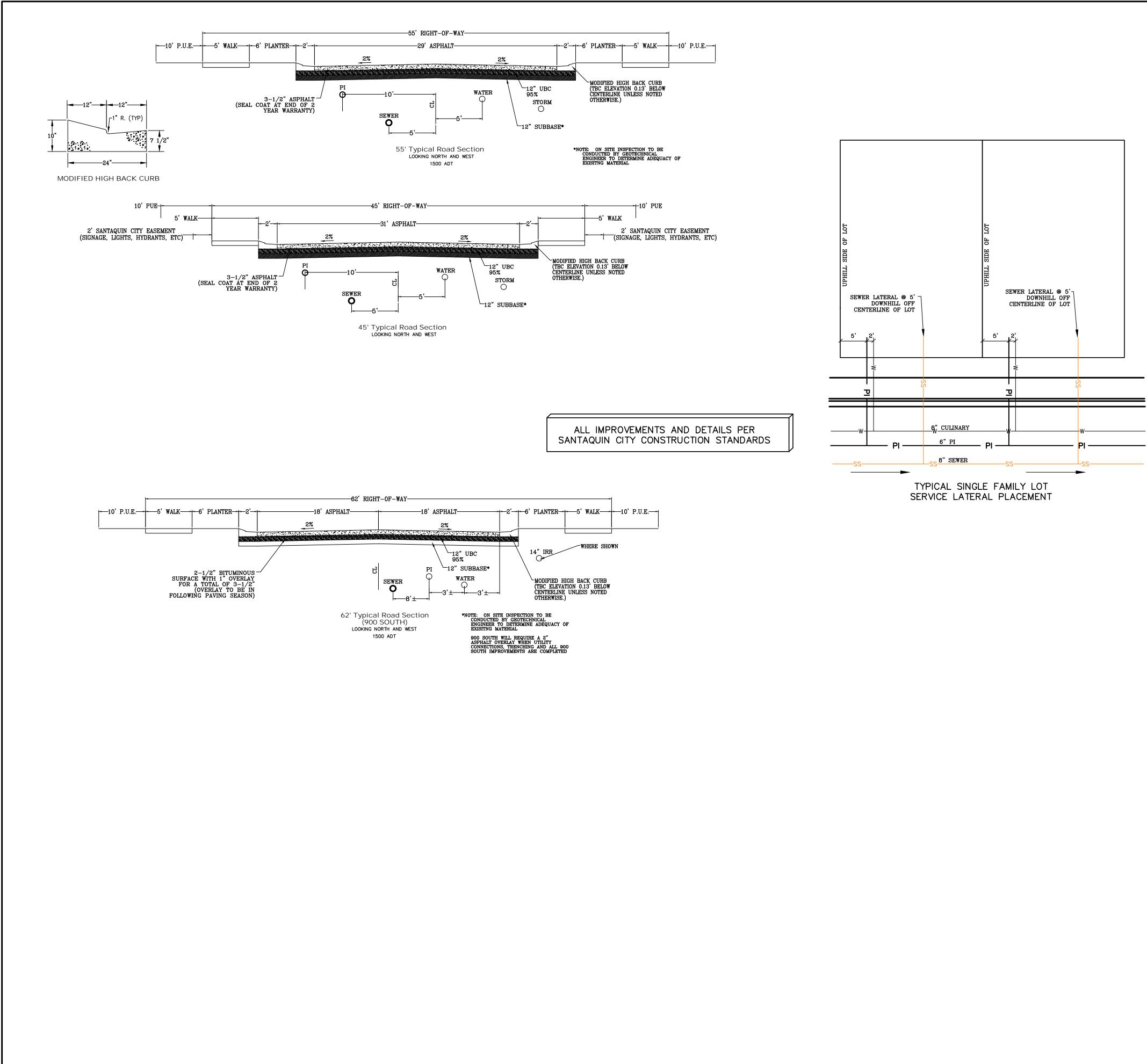


EROSION CONTROL NOTES

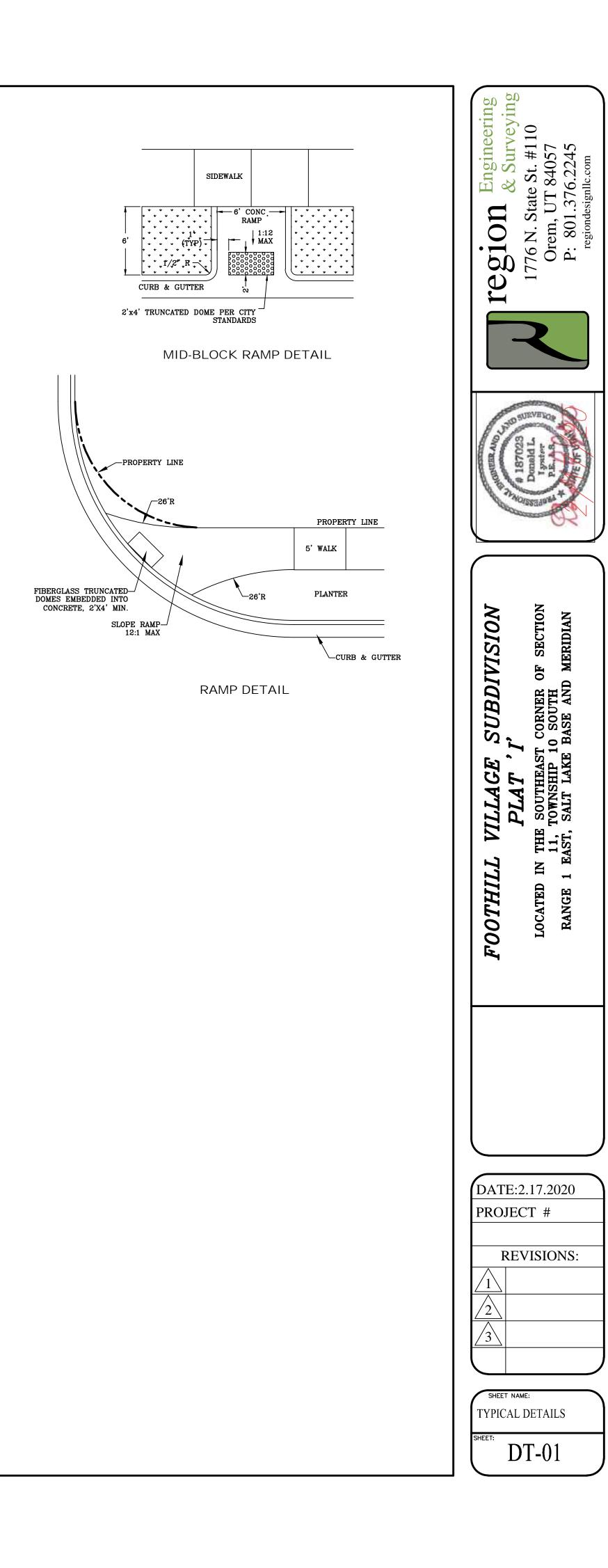
- STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
- ENGINEER.
- SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
- SEE SHEET 7.
- 7.
- CONSISTENT WITH UTAH STATE DIVISION OF AIR QUALITY STANDARDS.

- MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.

REVEGETATION.

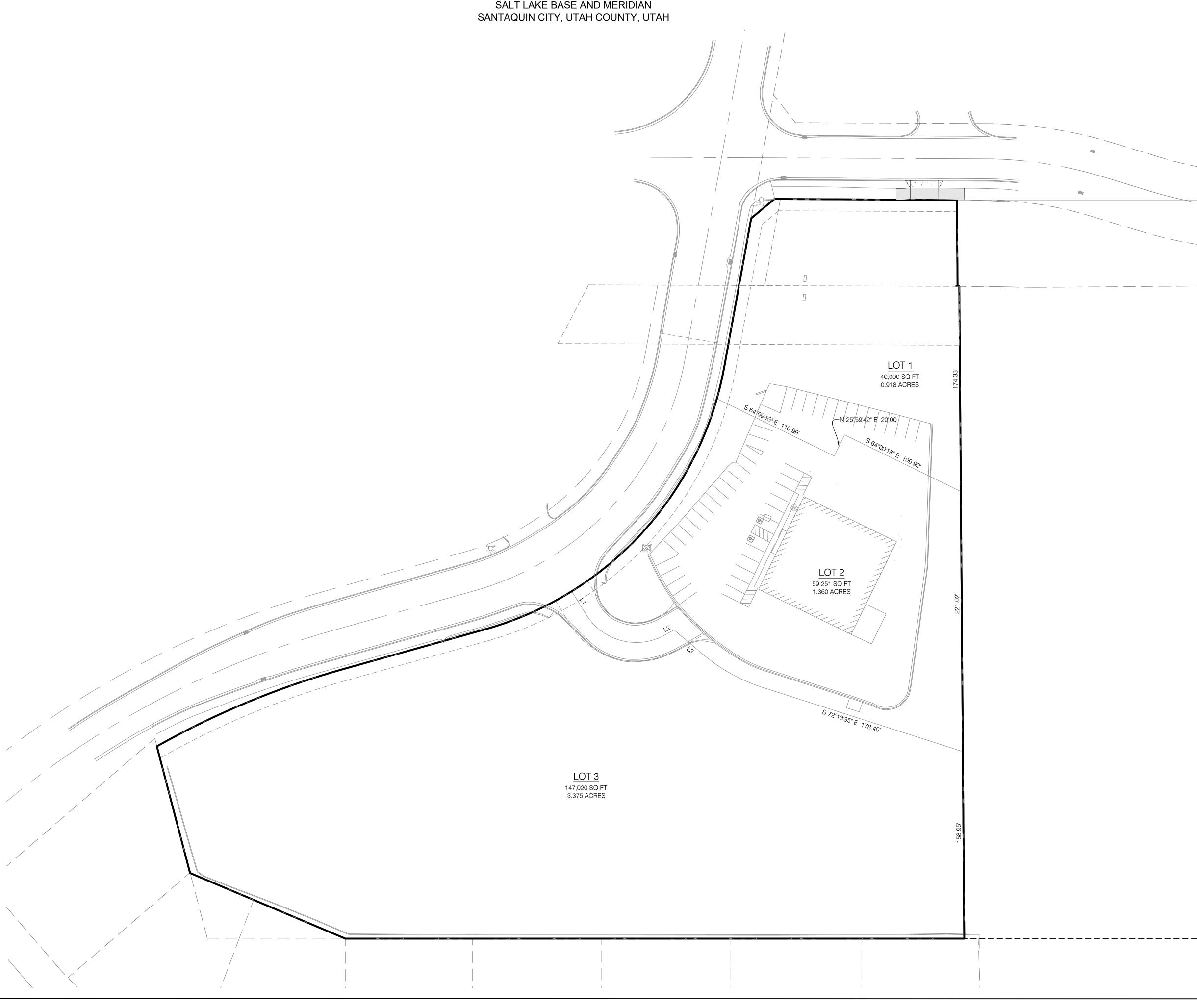


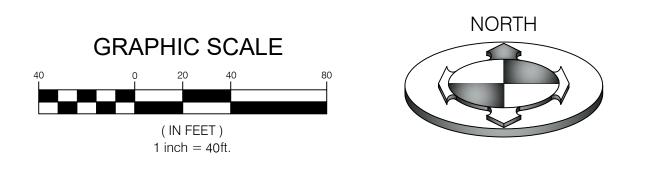
C: \USERS\SHERRING\DROPBOX\2_REGION PROJECTS\1_REGION ENGINEERING PROJECTS\0_PROJECTS\2016\2016_049_FOOTHILL SANTAQUIN\2_SHEET FILES\PHASE I\DT-01

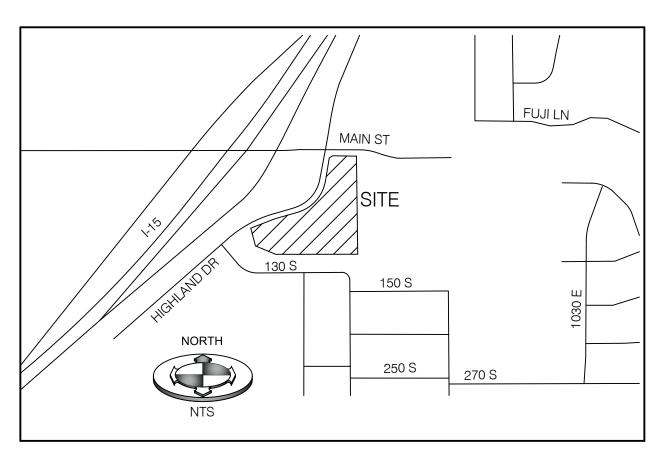


PARKER VIEW SUBDIVISION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN SANTAQUIN CITY, UTAH COUNTY, UTAH







VICINITY MAP

OWNER/DEVELOPER: COLTON PETERSEN (775) 388-1831 coltonbigotires@gmail.com

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES

NOTE: THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

CIVIL CONSTRUCTION PLANS

B		HMAR TOTAL	No. 10360773 M. CHRIS POULSEN SPATE OF UT	MEER	LA 9138	NGIN ND SOUTH S ANDY, UT	CHMARK NEERING & SURVEYING TATE STREET SUITE # 100 AH 84070 (801) 542-7192 benchmarkcivil.com
		PARKER HEIGHTS SUBD		DRAFT DZB	DESIGN: AGA	CHECK: MCP	PROJECT NO. 1909242
		55 S HIGHLAND DI SANTAQUIN, UT	7	DATE: 2/3/2020	DATE: 2/3/2020	DATE: XX/XX/2020	
No.	DATE		DESCRIPTION				COVER
							1 OF 7
BENCHMARK ENGINEERING CONTACT: M. CHRIS POULSEN, PE							

LINETYPES:

NEW

EXISTING

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<i></i> →	
X	X
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— — — — — — 4475— — —	<u> </u>
XX.XX TOC	
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IRR	IRR
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GAS	GAS
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CATV	CATV
\longrightarrow	\longrightarrow
FO	——— FO ———

	<u>NEW</u> <u>E</u>
SECTION LINE	\Diamond
PROPERTY LINE	V 🐥
ADJACENT PL or LOT LINES	····· ↓
RIGHT-OF-WAY LINE	— —
CENTERLINE of ROAD	<u></u>
EASEMENT LINE	-0-
CURB & GUTTER	¢
EDGE OF ASPHALT	-3
FENCE / WALL, STONE	Ū
FENCE, BLOCK	Ś
FENCE, BRICK	D
FENCE, CHAIN	
FENCE, IRON	■
FENCE, VINYL	Ŵ
FENCE, WIRE	\bowtie
FENCE, WOOD	
INDEX CONTOUR LINE	~~
INTERMEDIATE CONTOUR LINE	***
SPOT ELEVATION	
SANITARY SEWER LINE	©
STORM DRAIN LINE	
WATER LINE	
IRRIGATION LINE	
OVERHEAD POWER LINE	BC BAR &
UNDERGROUND POWER LINE	BOW BOTTC
GAS LINE	COR. SECTION CB CATCH
TELEPHONE LINE	CF CUBIC
CABLE TELEVISION LINE	D DELTA EG EXIST I
DRAINAGE / DITCH CENTERLINE	EOA EDGE EOC EDGE
TREE LINE EDGE	EX EXISTI
FIBER OPTIC LINE	FFE FINISH FG FINISH
PROPOSED ASPHALT	FH FIRE H
PROPOSED CONCRETE	FL FLOW GB GRADE GW GUY W

SYMBOLS

EXISTING	REMOVE IF WE DON'T [
\Diamond	SECTION CORNER (FOUND)
	SECTION CORNER (NOT FOUND)
• 母	STREET MONUMENT (FOUND)
中	STREET MONUMENT (NOT FOUND)
	BRASS CAP MONUMENT
-0-	POWER POLE & OVERHEAD POWER
¢	LIGHT POLE
-@	GUY WIRE
()	TELEPHONE MANHOLE
S	SANITARY SEWER MANHOLE
D	STORM DRAIN MANHOLE
	CATCH BASIN
\Rightarrow	DIRECTION OF DRAINAGE
W	WATER MANHOLE
\bowtie	WATER VALVE
$\langle\!$	WATER METER
,	FIRE HYDRANT
\bowtie	IRRIGATION VALVE
G	GAS MANHOLE
	TREE
. with the .	

ABBREVIATIONS



IN THE EVENT THAT THE CONSTRUCTION NOTES CONFLICT WITH RESPONSIBLE DISTRICT OR AGENCY STANDARDS NOTES AND SPECIFICATIONS, THE DISTRICT OR AGENCY STANDARD NOTES AND SPECIFICATIONS GOVERN.

CAUTION NOTICE TO CONTRACTORS THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO THE NORMAL WORKING HOURS; AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AN HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED. IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

ΡT

POINT OF TANGENCY

THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES. ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

CONSTRUCTION NOTES

RESPONSIBLE DISTRICTS OR AGENCIES AND APPLICABLE STANDARDS CITY OR COUNTY- SANTAQUIN CITY WATER UTILITY COMPANY- SANTAQUIN CITY UTILITIES SEWER- SANTAQUIN CITY STORM DRAIN/GROUNDWATER- SANTAQUIN CITY UTILITIES ELECTRICAL- ROCKY MOUNTAIN POWER TELEPHONE- CENTURY LINK NATURAL GAS- DOMINION ENERGY

APPLICABLE STANDARDS: APWA 2017 STANDARDS

GENERAL

1. ALL MATERIALS AND CONSTRUCTION IN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH **RESPONSIBLE DISTRICT OR AGENCY**

CONTRACTOR AND APPLICABLE SUBCONTRACTORS SHALL ATTEND ALL PRE-CONSTRUCTION CONFERENCES AND PERIODIC PROGRESS MEETINGS. PRIOR TO ANY WORK BEING PERFORMED, THE CONTRACTOR SHALL CONTACT RESPONSIBLE DISTRICT OR AGENCY FOR A PRE-CONSTRUCTION CONFERENCE. CONTRACTOR SHALL ALSO NOTIFY THE APPROPRIATE PROJECT CONTACTS (48) HOURS IN ADVANCE OF SAID MEETING.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PUBLIC SAFETY AND OSHA STANDARDS.

THE CONTRACTOR SHALL FAMILIARIZE HIM/HER SELF WITH THE PLANS, THE GEOLOGY REPORTS AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK. CONTRACTOR SHALL INSPECT THE SITE OF WORK PRIOR TO BIDDING TO SATISFY THEMSELVES BY PERSONAL EXAMINATION OR BY SUCH OTHER MEANS AS THEY MAY PREFER, OF THE LOCATION OF THE PROPOSED WORK, AND OF THE ACTUAL CONDITIONS OF AND AT THE SITE OF WORK.

CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT NVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2017 EDITION AND THE MANUAL OF STANDARD PLANS 2017 EDITION. SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBSIDIARY TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.

THE CONTRACTOR SHALL BE SKILLED AND REGULARLY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR. IT SHALL BE EXPECTED THAT THE PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK

CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.

THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN REGULAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE DURING THE CONSTRUCTION PROGRAM UNUSUAL OR PECULIAR UNSAFE CONDITIONS. HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORESEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT. AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT. THE CONTRACTOR SHALL ENSURE THAT THE NECESSARY RIGHT-OF-WAY, EASEMENTS, AND/OR PERMITS ARE SECURED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN APPROPRIATE PERMITS WHERE APPLICABLE FOR ANY WORK DONE WITHIN RIGHT-OF-WAY OR EASEMENTS FROM THE CITY AND/OR UDOT. CONTRACTOR SHALL NOTIFY CITY, COUNTY, AND/OR STATE, 24 HOURS IN ADVANCE OF COMMUNICATING THE WORK, OR AS REQUIRED BY SAID PERMITS.

8. CONSTRUCTION STAKING FOR GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTROLIERS SHALL BE DONE BY THE OWNER'S SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE SURVEYOR FORTY-EIGHT (48) HOURS IN ADVANCE OF THE NEED FOR STAKING. ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS. WILL BE SUBJECT TO AN EXTRA WORK BACK CHARGE TO THE CONTRACTOR. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCH MARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.

9. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES WHICH MAY EXIST IN THE PLANS OR SPECIFICATIONS. THE ENGINEER'S INTERPRETATION THEREOF SHALL BE CONCLUSIVE. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ENGINEER

10 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S DARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR REINSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

11. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS AND ANYTHING THAT HAS ALREADY BEEN CONSTRUCTED. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY

12. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL; ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

13. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER. ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE, AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATION REDLINES AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE. UTILITIES

4. CONTRACTOR TO SPACE UTILITIES TO PROVIDE MINIMUM DISTANCES AS REQUIRED BY LOCAL, COUNTY, STATE, AND INDIVIDUAL UTILITY CODES.

15. ALL UTILITES INSTALLED IN ACCORDANCE WITH THE RESPONSIBLE DISTRICTS OR AGENCIES STANDARDS AND SPECIFICATIONS

16. COORDINATE ALL SERVICE LATERAL AND BUILDING CONNECTIONS WITH CORRESPONDING ARCHITECTURAL MECHANICAL OR ELECTRICAL DRAWING FOR LOCATION AND ELEVATION. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED.

17. ALL STORM DRAIN MANHOLES AND CATCH BASINS ARE TO BE PRECAST CONCRETE FROM APPROVED LOCAL MANUFACTURER UNLESS OTHERWISE NOTED. AND COMPLY WITH CITY/COUNTY STANDARD

18. ALL STORM WATER CONVEYANCE PIPING TO BE RCP - CLASS 3 OR ADS HDPE PIPE OR EQUAL UNLESS OTHERWISE NOTED

19. ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.

20. ALL GAS LINES TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS.

21. ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO - FUSION TECHNOLOGY.

22. ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER.

NO GROUNDWATER OR DEBRIS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION. THE OPEN END OF ALL PIPES IS TO BE COVERED AND EFFECTIVELY SEALED AT THE END OF EACH DAYS WORK.

24. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE AND SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES, ALONG WITH ANY LOCAL CODES OR ORDINANCES.

25. PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC., WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.

26. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS.

ACTUAL CONNECTIONS TO EXISTING WATER LINES WILL NOT BE PERMITTED PRIOR TO THE COMPLETION OF TERILIZATION AND TESTING OF NEW WATER MAINS. ALL EXISTING WATER VALVES TO BE OPERATED UNDER THE DIRECTION OF THE CITY/COUNTY PUBLIC WORKS DEPARTMENT PERSONNEL ONLY.

28. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE INSPECTED, TESTED, AND APPROVED BY AUTHORITIES HAVING JURISDICTION PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK, AND STREET PAVING

29. ALL SEWER LINE TO BE FLUSHED, PRESSURE TESTED TO 5 PSI VIDEO INSPECTED AND OTHERWISE TESTED IN ACCORDANCE WITH DISTRICT STANDARDS PRIOR TO PLACING IN SERVICE.

30. ALL SEWER PIPES ARE TO BE SDR-35 PVC PIPE.

SEWER

31. SEWER MANHOLES, LATERALS AND CLEANOUTS TO BE INSTALLED PER RESPONSIBLE DISTRICT OR AGENCY STANDARDS. THE UNIT COST OF THE SEWER LATERAL INCLUDES CONNECTION TO THE SEWER MAIN. THE CLEANOUT RISER FOR EACH SERVICE SHALL BE INSTALLED BY THE CONTRACTOR.

32. DURING CONSTRUCTION OF THE SEWERLINE, WYES NEED TO BE INSTALLED FOR THE LATERALS. LATERALS ARE 4" AND NEED TO COME IN AT THE TOP OF THE PIPE WITH A WYE. (SEE RESPONSIBLE DISTRICT OR AGENCY STANDARDS) WATER

33. WATERLINES TO BE PVC C-900, WATER LINES SHALL BE A MINIMUM OF 10' HORIZONTALLY FROM SEWER MAINS CROSSINGS SHALL MEET STATE HEALTH STANDARDS. (MECHANICAL JOINTS REQUIRED WHEN LESS THAN 18" VERTICAL OR TEN FEET HORIZONTAL SEPARATION FROM SEWERLINE)

34. ALL WATERLINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED

35 WATER SERVICE LATERALS TO INCLUDE ALL BRASS SADDLE: CORP. STOP LATERAL, DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE, AND SHUTOFF VALVE IN BOX NEAR BUILDING EDGE

36. ALL WATERLINES SHALL BE 48" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS. ALL WATER LINES SHALL BE LOOPED AROUND GRAVITY LINES OR ROPED PER RESPONSIBLE DISTRICT OR AGENCY INSPECTOR.

37. CONTRACTOR TO NOTIFY RESPONSIBLE DISTRICT OR AGENCY FOR CHLORINE TEST PRIOR TO FLUSHING LINES. CHLORINE LEFT IN PIPE 24 HRS. MINIMUM WITH 25 PPM RESIDUAL. ALL TURNING OF MAINLINE VALVES, CHLORINATION LUSHING, PRESSURE TESTING, BACTERIA TESTING, ETC. TO BE COORDINATED WITH RESPONSIBLE DISTRICT OR AGENCY. ALL TESTS TO BE IN ACCORDANCE WITH RESPONSIBLE DISTRICT OR AGENCY.

38. BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4 INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TEE, 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET RESPONSIBLE DISTRICT OR AGENCY STANDARDS, UNLESS OTHERWISE NOTED ON PLANS.

EXISTING UTILITIES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES SHOWN OR NOT SHOWN. THE INFORMATION SHOWN ON THE PLANS WITH REGARDS TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATION AND/OR RECORD INFORMATION. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE FACILITIES SHOWN AND ANY OTHER FACILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER IN WRITING FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES SO, THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED. IN EITHER THE LUMP SUMP CLEARING COST OR IN THE VARIOUS ITEMS OF WORK. IF LOCATION AND/OR ELEVATION FERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION BE MADE PRIOR TO CONSTRUCTION.

40. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES, THE CONTRACTOR SHALL NOTIFY BLUE STAKES 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTORS SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT O DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.

41 ALL MANHOLE RIMS LAMPHOLES VALVE BOX COVERS MONUMENT BOXES AND CATCH BASIN GRATES ARE TO BE ADJUSTED TO FIT THE FINISHED GRADE AFTER PAVING, UNLESS OTHERWISE NOTED. COST FOR THIS WORK SHALL BE INCLUDED IN THE UNIT PRICES FOR SAID FACILITIES.

42. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT ALL PIPES, WALLS, ETC. ARE ADEQUATELY BRACED DUBING CONSTRUCTION

CLEARING AND GRADING

ELEVATIONS.

COMPACTED FILL OR DRAINAGE STRUCTURES.

43 CONTRACTOR SHALL PERFORM FARTHWORK IN ACCORDANCE WITH APWA 2017 STANDARD DRAWINGS AND STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATION FOUND IN THE PROFESSIONALLY PREPARED REPORT OF GEOTECHNICAL INVESTIGATION.

44. THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DELETERIOUS MATERIALS FROM THE SITE UNLESS NOTED OTHERWISE; ALL EXISTING WELLS AND SEPTIC TANKS SHALL BE REMOVED AND/OR ABANDONED PER THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE COST TO PERFORM THIS WORK SHALL BE INCLUDED IN THE LUMP SUM CLEARING COST.

45. SUBSOIL INVESTIGATIONS MUST BE CONDUCTED BY A LICENSED GEOTECHNICAL ENGINEER AT THE SITE OF THE WORK. BEFORE FOOTING, FOUNDATION OR STRUCTURAL WALL CONSTRUCTION CAN COMMENCE.

46. SOIL INVESTIGATIONS MUST BE CONDUCTED BY A LICENSED GEOTECHNICAL ENGINEER FOR DESIGN PURPOSES THE DATA SHOWN IN THE REPORT WILL BE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK, SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION OPERATIONS.

47. ALL PROPOSED ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO FINISHED SURFACE, THE CONTRACTOR IS RESPONSIBLE TO DEDUCT THE THICKNESS OF THE PAVEMENT STRUCTURAL SECTION FOR TOP OF SUB GRADE

48. IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER.

49. UNSUITABLE MATERIAL, SUCH AS TOP SOIL, WEATHERED BED ROCK, ETC., SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER (AND/OR ENGINEERING GEOLOGIST, WHERE EMPLOYED) FROM ALL AREAS TO RECEIVE

50. NO TREES SHALL BE REMOVED OR DAMAGED WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM PROPERTY

51. THE EXISTING TOPOGRAPHY ON THESE PLANS IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY BENCHMARK ENGINEERING AND LAND SURVEYING ON 10/24/2019 AND MAY HAVE BEEN MODIFIED SINCE THIS SURVEY WAS PERFORMED.

52. FILLS IN EXCESS OF 4 FEET IN THICKNESS AND BENEATH ALL FOUNDATIONS OR PAVEMENT SECTIONS SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1557 COMPACTION CRITERIA. ALL OTHER STRUCTURAL FILL LESS THAN 4 FEET IN THICKNESS SHOULD BE COMPACTED TO AT LEAST 90 PERCENT OF THE ABOVE CRITERIA. REFERENCE REFERENCE GEOTECHNICAL REPORT.

53. COMPACTION TESTING WILL BE ACCOMPLISHED BY THE CONTRACTOR, OR THE CONTRACTOR WILL HAVE SUCH TESTING ACCOMPLISHED BY A SEPARATE CONTRACTOR. TEST RESULTS WILL BE SUBMITTED FOR REVIEW WITHIN 24 HOURS AFTER TEST.

54. CONTRACTOR TO SUBMIT PROCTOR AND/OR MARSHALL TEST DATA 24 HOURS PRIOR TO COMPACTION TESTS.

55. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON PLANS.

56. ALL SLOPES IN ADJOINING STREETS, DRAINAGE CHANNELS, OR OTHER FACILITIES SHALL BE GRADED NO STEEPER THAN 2 TO 1 FOR CUT AND FILL.

57. GRADES WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PAVEMENT AREAS AND ALONG ALL CURBS. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN. CURBS AND PAVEMENT AREAS WHICH ARE NOT INSTALLED PER PLAN MUST BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.

58. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES. 59 WHERE NEW CUBB AND GUTTER IS BEING CONSTRUCTED AD ACENT TO EXISTING ASPHALT OR CONCRETE PAVEMENT. THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSE SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS, THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER

POURS WITHOUT THE APPROVAL OF THE ENGINEER.

60. SITE WORK SHALL MEET OR EXCEED OWNER'S SITE SPECIFICATIONS.

61. ALL SITE CONCRETE OR CONCRETE ELEMENT NOT SPECIFICALLY SHOWN AND DETAILED ON STRUCTURAL DRAWINGS TO HAVE A MINIMUM OF 28 DAY COMPRESSION STRENGTH OF 4000 PSI.

62. CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL

63. FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL

64. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT

DEWATERING

THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SC THAT THE GROUND LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL SOILS AND ALLOW THE PLACEMENT OF ANY FILL TO THE SPECIFIED DENSITY. THE CONTRACTOR SHALL HAVE ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION

DEWATERING SYSTEM SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE

66. THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED.

67. SUMPS SHALL BE NO DEEPER THAN 5 FEET AND SHALL BE AT THE LOW POINT OF EXCAVATION. EXCAVATION SHALL BE GRADED TO DRAIN TO THE SUMPS.

68. THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUICK" CONDITIONS OR "BOILS", DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF NATURAL SOILS. THE RELEASE OF GROUNDWATER AT ITS STATIC LEVEL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF NATURAL FOUNDATION SOILS, PREVENT DISTURBANCE OF COMPACTED BACKFILL, AND PREVENT FLOTATION OR MOVEMENT OF STRUCTURES, PIPELINES AND SEWERS. IF A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR DISPOSAL OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES, IT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY DEWATERING ACTIVITIES.

69. ONE HUNDRED PERCENT STANDBY PUMPING CAPACITY SHALL BE AVAILABLE ON SITE AT ALL TIMES AND SHALL BE CONNECTED TO THE DEWATERING SYSTEM PIPING AS TO PERMIT IMMEDIATE USE. IN ADDITION STANDBY EQUIPMENT ND APPLIANCES FOR ALL ORDINARY EMERGENCIES, AND COMPETENT WORKMEN FOR OPERATION AND MAINTENANCI OF ALL DEWATERING EQUIPMENT SHALL BE ON SITE AT ALL TIMES. STANDBY EQUIPMENT SHALL INCLUDE EMERGENCY POWER GENERATION AND AUTOMATIC SWITCH OVER TO THE EMERGENCY GENERATOR WHEN NORMAL POWER FAILS. DEWATERING SYSTEMS SHALL NOT BE SHUT DOWN BETWEEN SHIFTS, ON HOLIDAYS, ON WEEKENDS, OR DURING WORK STOPPAGES

SITE SAFETY AND MAINTENANCE

NORMAL STATIC GROUNDWATER LEVEL

70. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT. 71. THE CONTRACTOR AGREES THAT: A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK. B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT

THEIR OWN EXPENSE IN A TIMELY MANNER. C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER DNTRACTORS SO AS NOT TO DELAY THE JOB. FAILURE TO DO SO WILL RESULT IN A DEDUCTION FOR THE COST OF CLEAN UP FROM THE FINAL PAYMENT.

E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSPECTIONS AT THEIR OWN EXPENSE

UNLESS OTHERWISE NOTED ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY

FOR PUBLIC SAFETY H. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND

ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.

72. FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS. THE CONTRACTOR SHALL PRESERVE THE NTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONST CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES. THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF PLAN IS REQUIRED. CONTRACTOR SHALL PROVIDE PLAN AND RECEIVED PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION. WORK IN EASEMENT AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID AND/OR RIGHT-OF-WAY. ALL CONSTRUCTION WORK IN UDOT RIGHT- OF -WAY SHALL BE SUBJECT TO INSPECTION BY THE STATE IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT INSPECTIONS TAKE PLACE WHERE AND WHEN REQUIRED AND TO INSURE THAT ALL WORK IS COMPLETED

SURFACE IMPROVEMENTS:

SANDBLASTING.

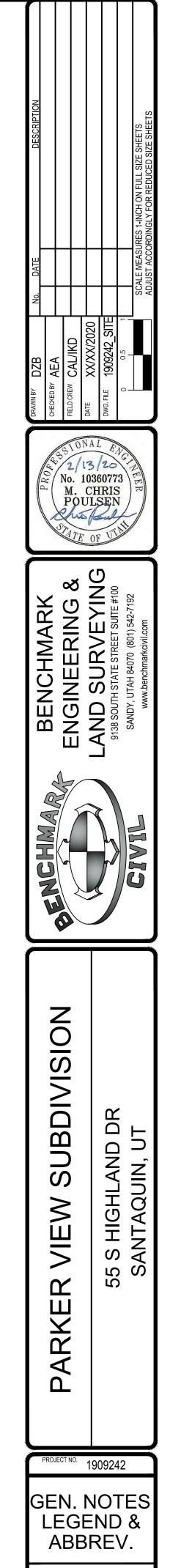
TO UDOT STANDARDS

SUBGRADE PREPARATION: SUBGRADE SHALL BE COMPACTED TO A 95% RELATIVE COMPACTION TO A MINIMUM DEPTH OF 6" FOR ALL ON-SITE DEVELOPMENT. ALL OFF-SITE IMPROVEMENTS ARE TO BE DONE PER APWA STANDARDS. 74. AGGREGATE SUB-BASE: AGGREGATE SUB-BASE SHALL BE GRANULAR BACKFILL BORROW. AGGREGATE SUB-BASE MATERIAL SHALL BE CLEAN AND FREE FROM VEGETABLE MATTER AND OTHER DELETERIOUS SUBSTANCE. AGGREGATE SHALL COMPLY WITH THE GUIDELINE REQUIREMENTS FOR PAVEMENTS FOUND IN THE PROFESSIONALLY PREPARED OF THE SOILS INVESTIGATIONS COMPLETED ON THIS SITE. AGGREGATE BASE: AGGREGATE BASE SHALL BE GRADE 3/4 UNTREATED BASE COURSE, AND COMPLY PREPARED REPORT OF THE SOILS INVESTIGATION PREPARED ON THIS SITE. 76. ALL SIDEWALKS AND CROSSINGS TO MEET CURRENT ADA STANDARDS/ APWA STANDARDS. 77. PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE GENERAL NOTES, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR PAVEMENT, AND NO ADDITIONAL PAYMENT SHALL BE MADE FOR SUCH WORK 78. INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH CITY STANDARDS. 79. PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT BY THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY, AND POWER COMPANY TO HAVE THE ELECTRICAL SYSTEM AND ALL STREET LIGHTS ENERGIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO FUTURE STRIPING. METHOD OF REMOVAL SHALL BE BY GRINDING OR

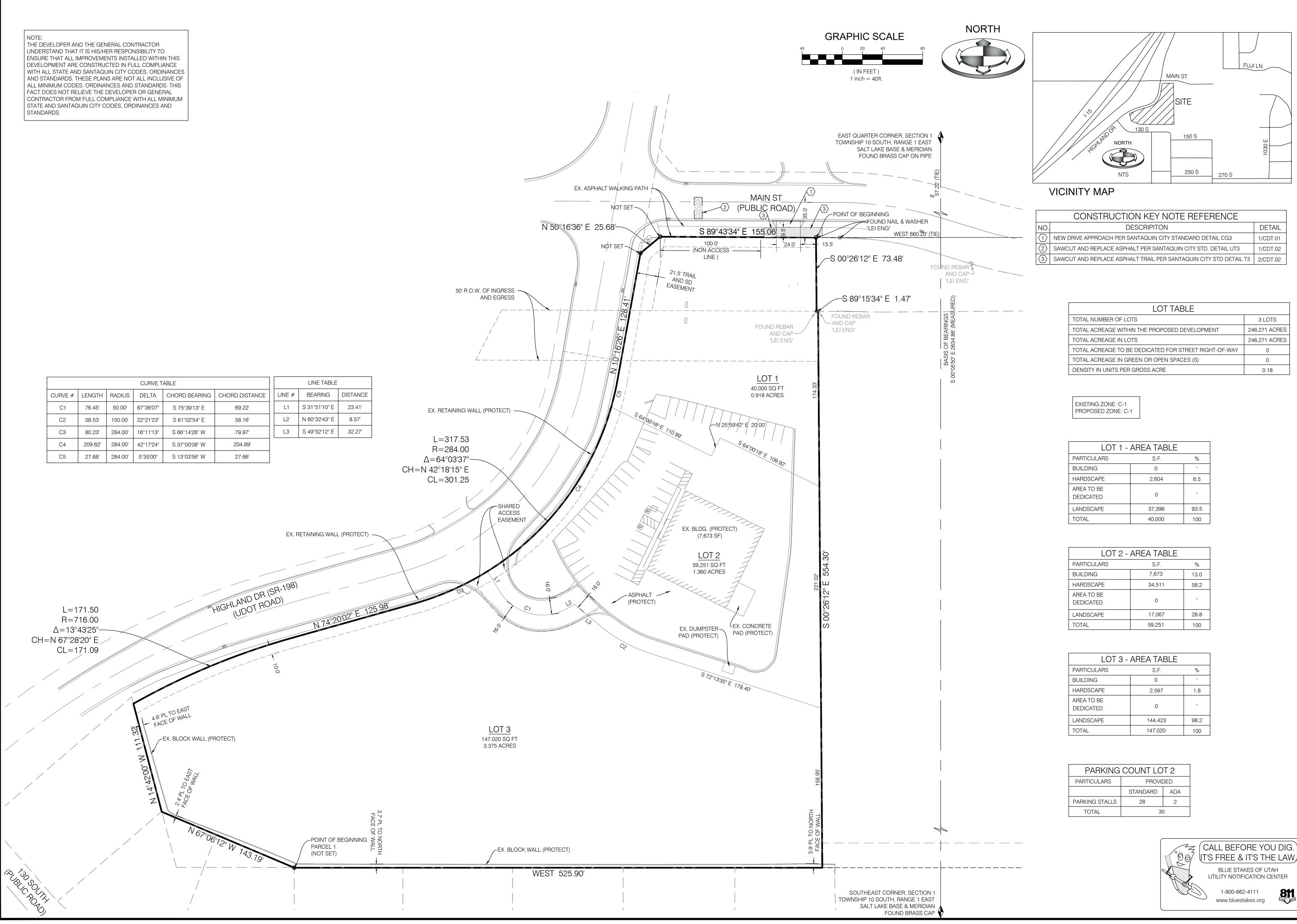
80. STRIPING AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH MUTCD & APWA 32 17 23.

81. DURING THE BIDDING PROCESS, CONTRACTOR TO REVIEW DESIGN SLOPES SHOWN FOR PAVEMENT AND RRANTY THE PAVEMENT TO THE OWNER BASED UPON THE DESIGN SLOPES SHOWN HEREON. CONCERNS WITH SLOPES MUST BE BROUGHT DURING THE BIDDING PROCESS.

82. IT IS THE INTENT ON THESE PLANS THAT ALL PAVEMENT SLOPE TO A CATCH BASIN, INLET BOX OR OUT INTO A STREET.CONTRACTOR TO VERIFY FINISH SPOT ELEVATIONS AND NOTIFY ENGINEER IF THERE ARE DISCREPANCIES THAT WOULD CAUSE PUDDLING ON THE SITE.



CGN.01



	CONSTRUCTION KEY NOTE REFERENCE	
NO.	DESCRIPITON	DETAI
$\langle 1 \rangle$	NEW DRIVE APPROACH PER SANTAQUIN CITY STANDARD DETAIL CG3	1/CDT.0
$\langle 2 \rangle$	SAWCUT AND REPLACE ASPHALT PER SANTAQUIN CITY STD. DETAIL UT3	1/CDT.0
3	SAWCUT AND REPLACE ASPHALT TRAIL PER SANTAQUIN CITY STD DETAIL T3	2/CDT.0

TOTAL NUMBER OF LOTS	3 LOTS
TOTAL ACREAGE WITHIN THE PROPOSED DEVELOPMENT	246,271 ACRES
TOTAL ACREAGE IN LOTS	246,271 ACRES
TOTAL ACREAGE TO BE DEDICATED FOR STREET RIGHT-OF-WAY	0
TOTAL ACREAGE IN GREEN OR OPEN SPACES (S)	0
DENSITY IN UNITS PER GROSS ACRE	0.18

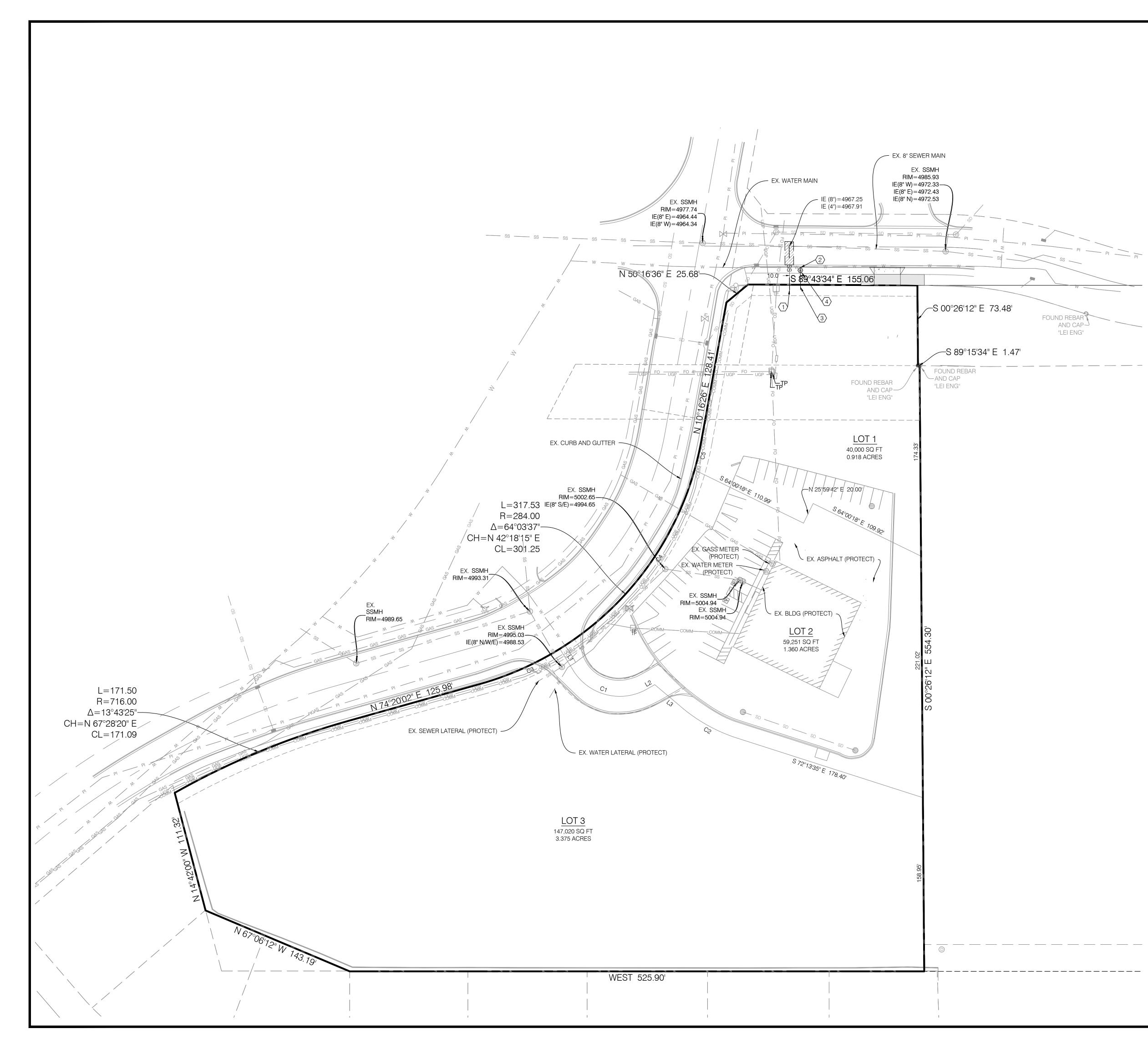
LOT 1 - AREA TABLE					
PARTICULARS S.F. %					
BUILDING	0	-			
HARDSCAPE	2,604	6.5			
AREA TO BE DEDICATED	0	-			
LANDSCAPE	37,396	93.5			
TOTAL	40,000	100			

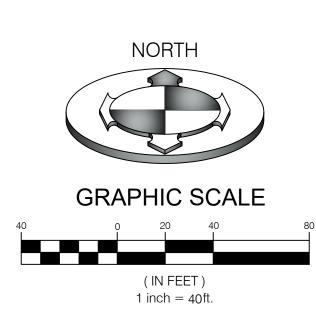
S.F.	%
7,673	13.0
34,511	58.2
0	-
17,067	28.8
59,251	100
	7,673 34,511 0 17,067

LOT 3 - AREA TABLE					
PARTICULARS	S.F.	%			
BUILDING	0	-			
HARDSCAPE	2,597	1.8			
AREA TO BE DEDICATED	0	-			
LANDSCAPE	144,423	98.2			
TOTAL	147,020	100			

PARKING COUNT LOT 2				
PARTICULARS	PROVIDED			
	STANDARD	ADA		
PARKING STALLS	28	2		
TOTAL	30			







	CONSTRUCTION KEY NOTE REFERENCE	
NO.	DESCRIPITON	DETAIL
$\left<1\right>$	4" SEWER LATERAL PER STD CITY STANDARD DETAIL S2 (SLOPE @ MIN. 2%)	2/CDT.01
2	2" SDR 9, CTS PE SERVICE PIPE (BLUE) SANTAQUIN CITY STANDARD DETAIL W1	3/CDT.01
3	2" POLY WATER SERVICE LINE (BLUE)	
$\langle 4 \rangle$	2" WM PER SANTAQUIN CITY STANDARD DETAIL W1	3/CDT.01

NOTE: PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION AND NOTIFY ENGINEER IF THIS POINT IS HIGHER THAN SHOWN ON

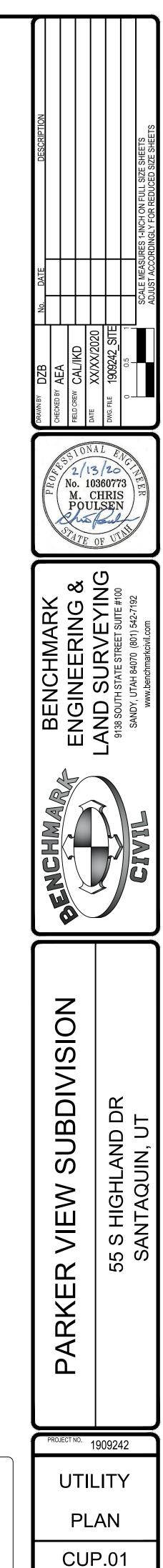
THE PLANS FOR A REDESIGN.

NOTE:

POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.

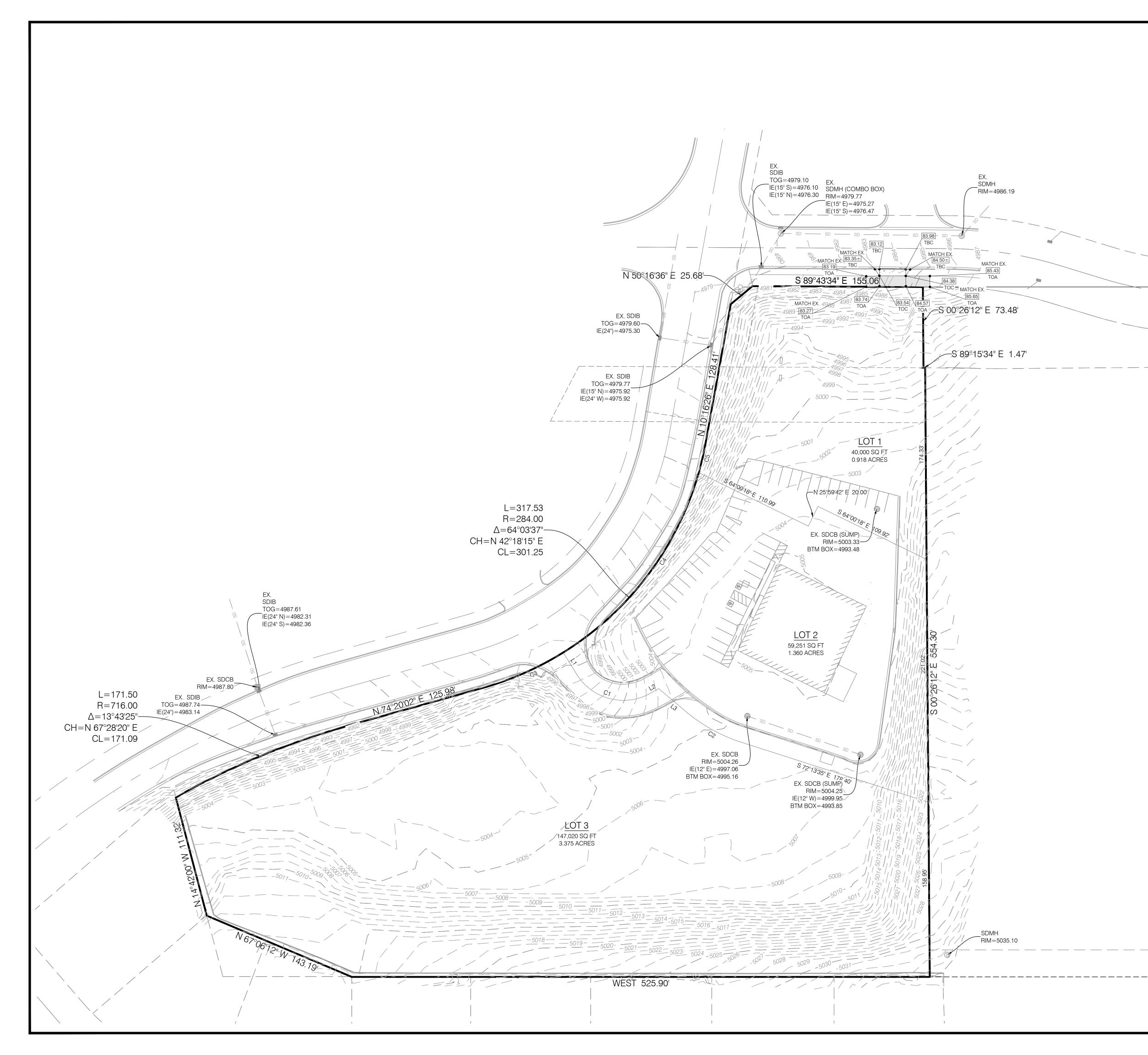
NOTE:

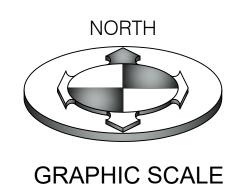
THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.



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(IN FEET) 1 inch = 40 ft.

NOTE:

POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.

NOTE:

PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION AND NOTIFY ENGINEER IF THIS POINT IS HIGHER THAN SHOWN ON THE PLANS FOR A REDESIGN.

SURVEY CONTROL NOTE:

THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

NOTE:

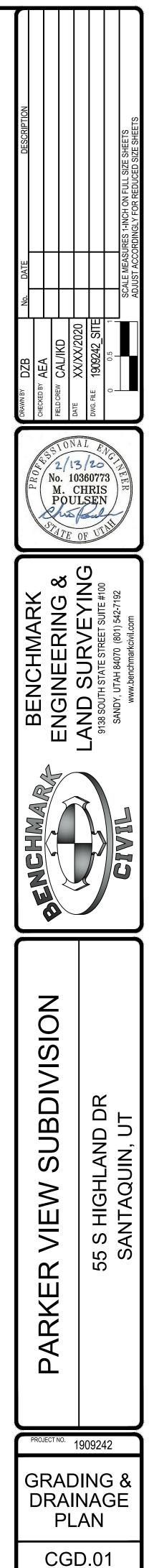
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS IN EXISTING HARDSCAPE ARE APPROXIMATE, CONTRACTOR TO FIELD VERIFY LOCATION AND EXTENT OF SAWCUTTING PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER IF REVISIONS ARE REQUIRED. SEE NOTE 58 ON CGN.01 FOR FURTHER DETAIL.

NOTE:

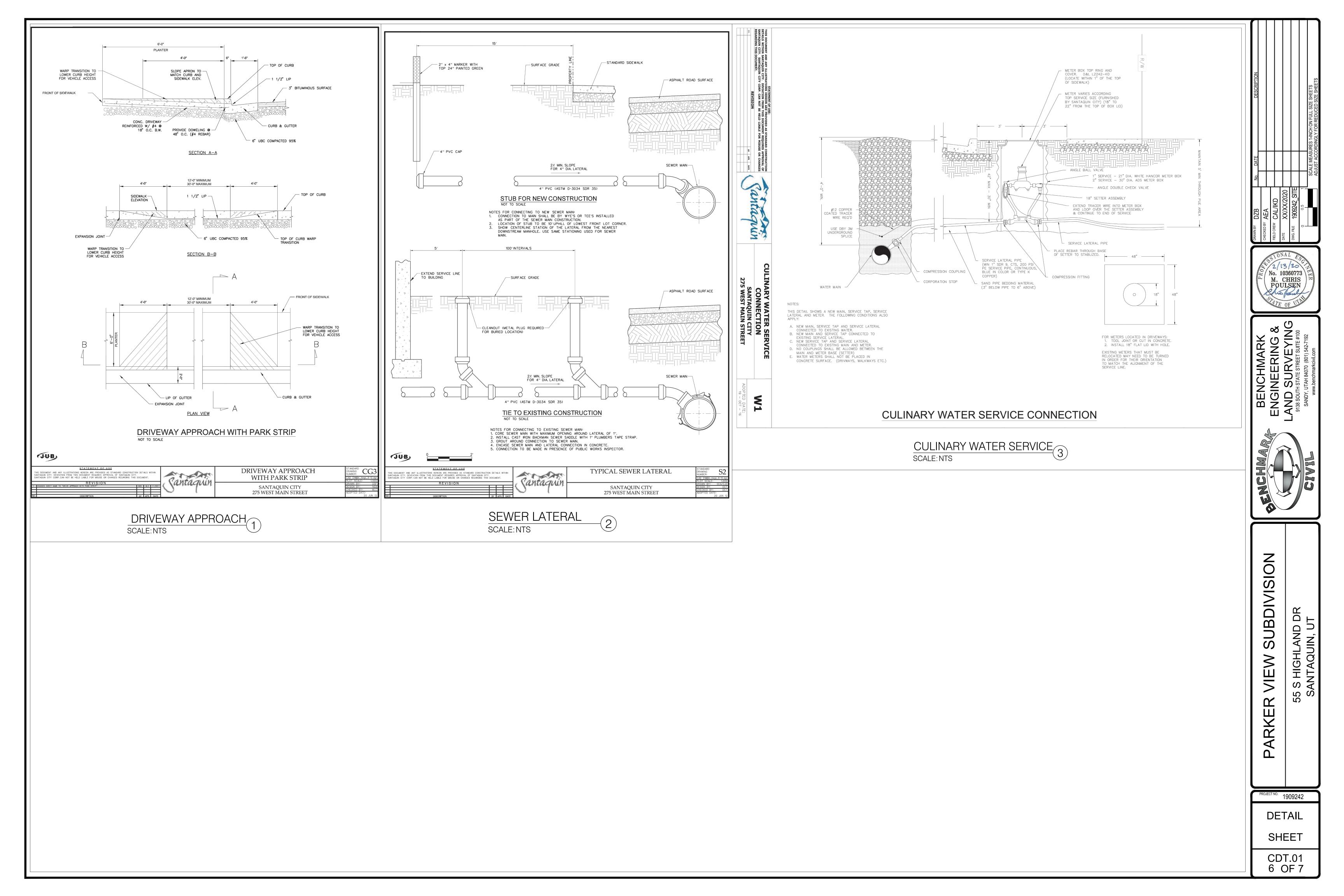
THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

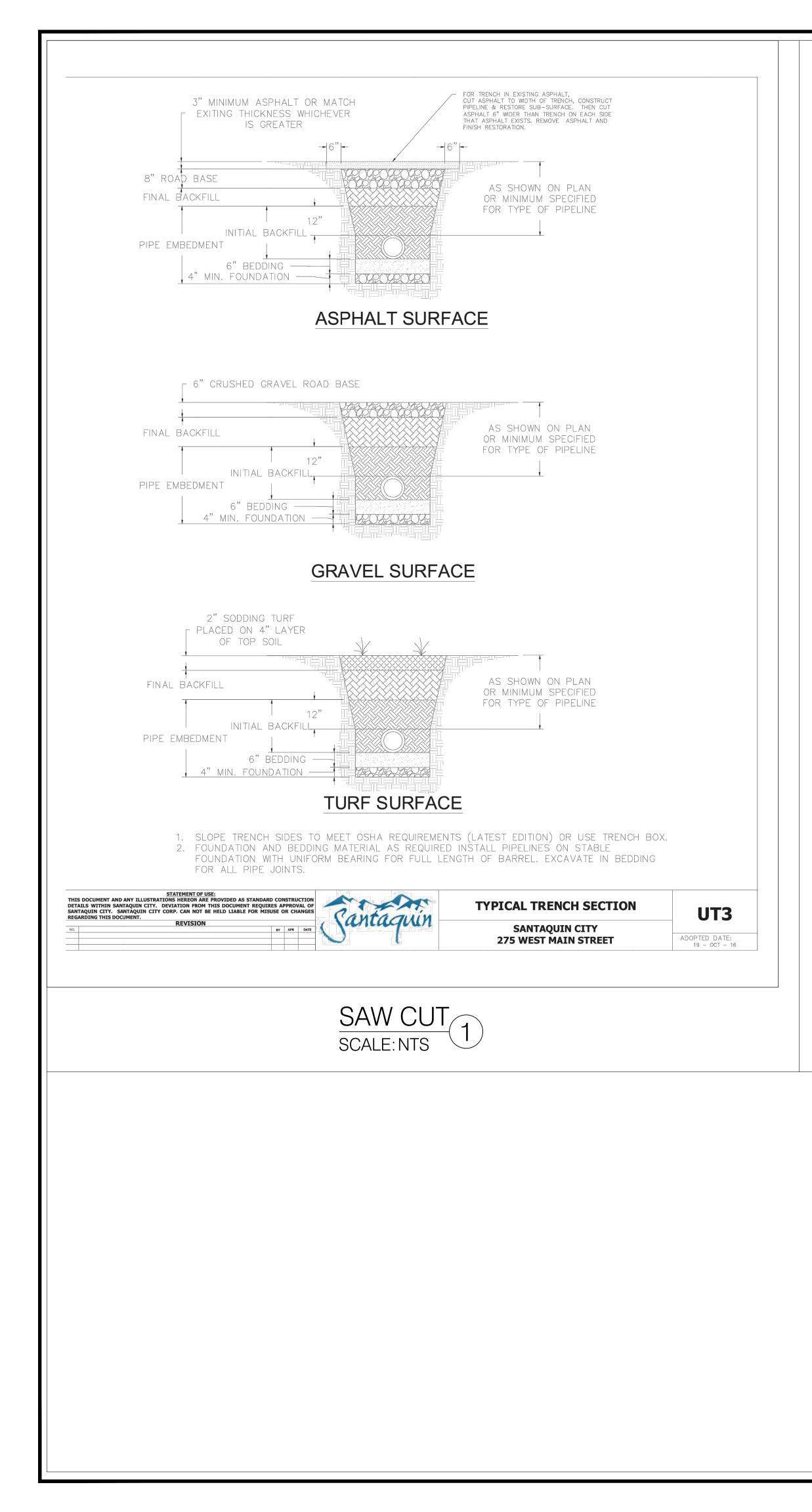
> BENCHMARK: THE FOUND BRASS CAP MARKING THE EAST QUARTER CORNER, SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN ELEVATION = 5020.01 (PER UTAH COUNTY SURVEYOR'S SECTION TIE NO. 48-73)

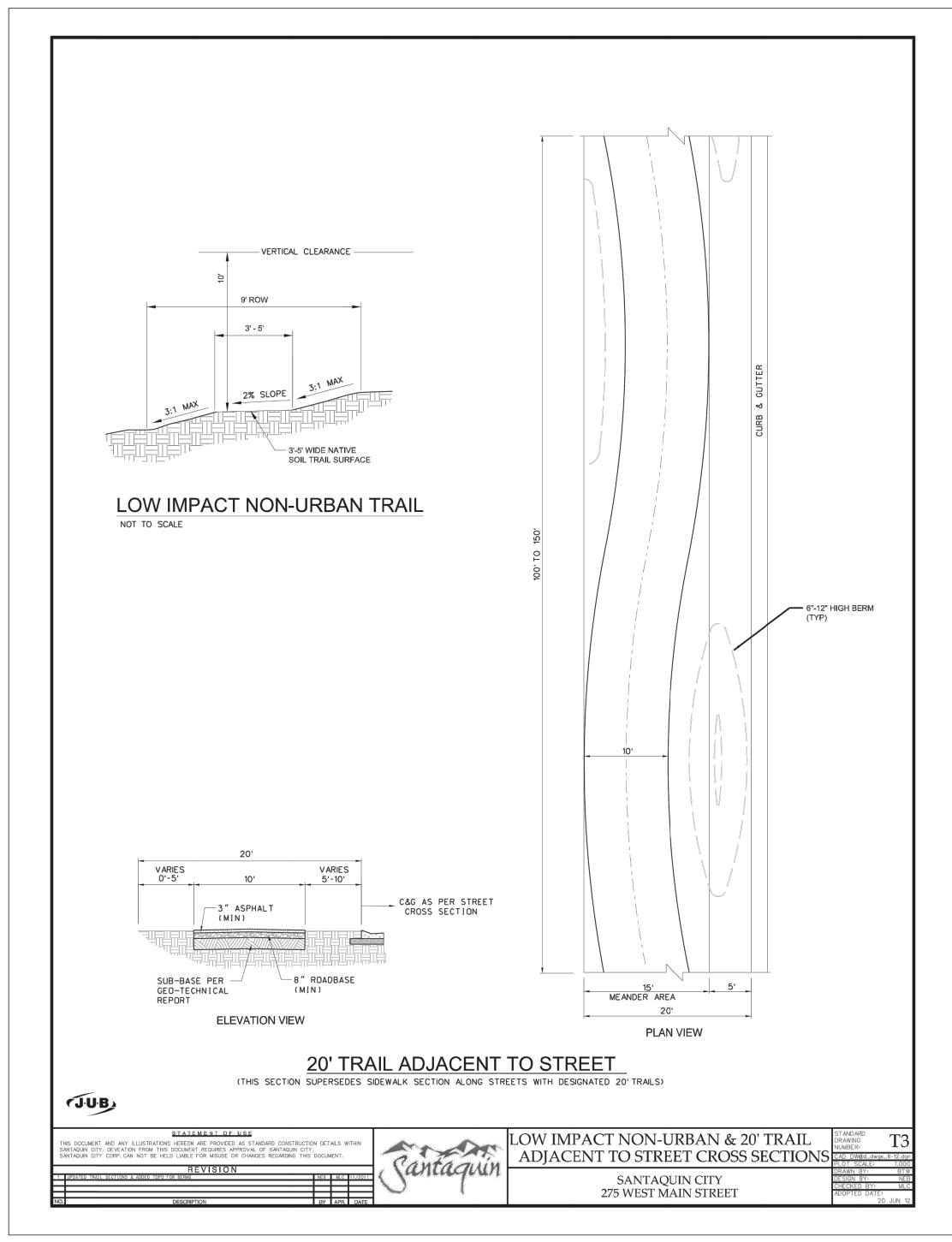




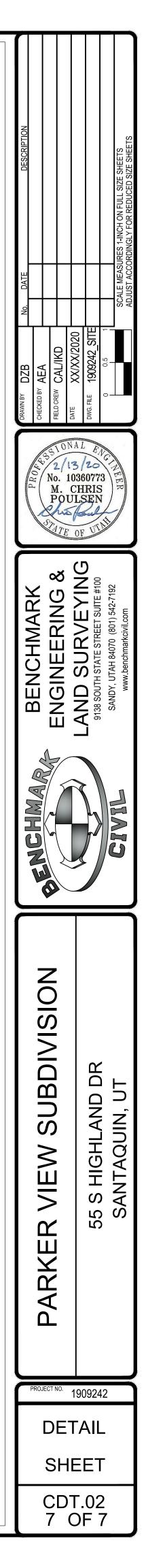
5 OF 7

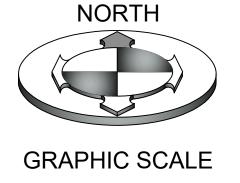




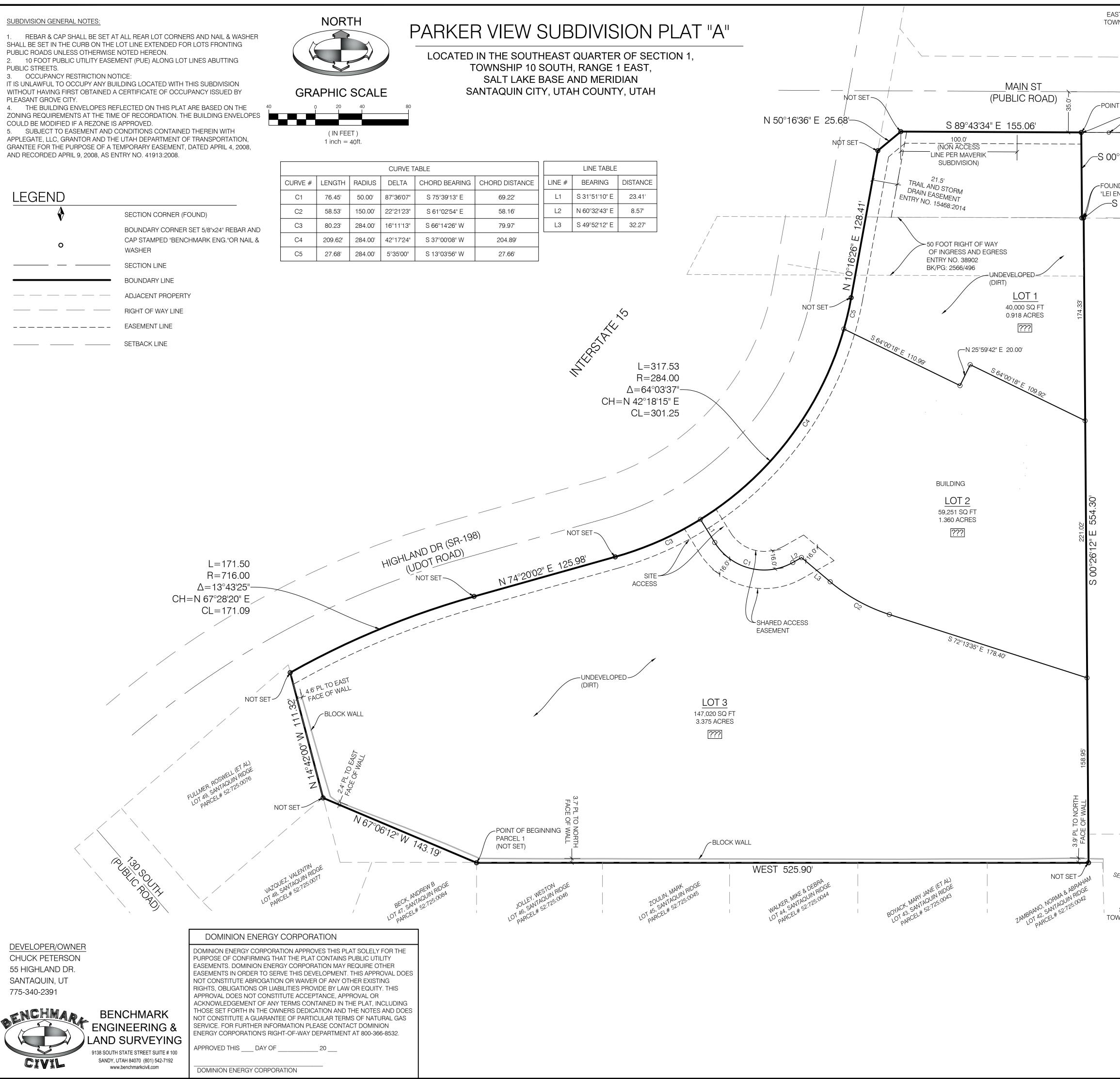


TRAIL DETAIL SCALE: NTS





CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	76.45'	50.00'	87°36'07"	S 75°39'13" E	69.22'
C2	58.53'	150.00'	22°21'23"	S 61°02'54" E	58.16'
C3	80.23'	284.00'	16°11'13"	S 66°14'26" W	79.97'
C4	209.62	284.00'	42°17'24"	S 37°00'08" W	204.89'
C5	27.68'	284.00'	5°35'00"	S 13°03'56" W	27.66'



T QUARTER CORNER, SECTION 1 NSHIP 10 SOUTH, RANGE 1 EAST SALT LAKE BASE & MERIDIAN			IEREBY CERTIFY THAT I AM	CERTIFICATE		
FOUND BRASS CAP ON PIPE		UTAH. I FURTHER CER TRACT OF LAND SHOW	TIFY THAT BY AUTHORITY OF	RESCRIBED UNDER THE LAV THE OWNERS, A SURVEY H RIBED BELOW, AND HAVE S TO BE KNOWN AS:	AS BEEN MADE OF THE	
57.22' (BDIVISION PLA		
FOUND NAIL & WASHER	Ń		E APPLICABLE ZONING ORDI	ET MINIMUM AREA, WIDTH AI NACE. DESCRIPTION	ND FRONTAGE	
"LEI ENG" WEST 660.20' (TIE)		RANGE 1 EAST, CONSIS	ATED IN THE SOUTHEAST Q STING OF THE LAND DESCRI	UARTER OF SECTION 1, TOW BED IN THAT CERTAIN SPEC	IAL WARRANTY DEED	
26'12" E 73.48'		COUNTY RECORDER, B	EING MORE PARTICULARLY	025:2018 ON FILE AT THE OF DESCRIBED AS FOLLOWS: DF MAIN STREET, SAID POIN		
D REBAR & CAP NG" 89°15'34" E 1.47'	BASIS OF BEARINGS S 00°05'50" E 2634.86' (MEASURED)	EAST 57.22 FEET ALONG CORNER OF SAID SECT SOUTH 89°15'34" EAST 1 FEET; THENCE NORTH (THE EASTERLY RIGHT C LINE THE FOLLOWING (716.00 FOOT RADIUS CU NORTH 74°20'02" EAST 1 FOOT RADIUS TANGENT NORTH 10°16'26" EAST 1 SOUTHERLY LINE THE F 89°43'34" EAST 155.06 FU	G THE SECTION LINE AND W TON 1, AND RUNNING THEN 1.47 FEET; THENCE SOUTH (67°06'12" WEST 143.19 FEET; DF WAY LINE OF HIGHLAND (4) FOUR COURSES: 1) NOR URVE TO THE RIGHT, CHORI 125.98 FEET; 3) NORTHEAST T CURVE TO THE LEFT, CHO 128.41 FEET TO SAID SOUTH	EST 660.20 FEET FROM THE CE SOUTH 00°26'12" EAST 73 00°26'12" EAST 554.30 FEET; 1 THENCE NORTH 14°42'00" W DRIVE (SR-198); THENCE ALC THEASTERLY 171.50 FEET AL D BEARS NORTH 67°28'20" EA ERLY 317.53 FEET ALONG TH RD BEARS NORTH 42°18'15" ERLY LINE OF MAIN STREET SES: 1) NORTH 50°16'36" EAST NNING.	EAST QUARTER 8.48 FEET; THENCE FHENCE WEST 525.90 /EST 111.32 FEET TO DNG SAID EASTERLY ONG THE ARC OF A AST 171.09 FEET; 2) HE ARC OF A 284.00 EAST 301.25 FEET; 4) ; THENCE ALONG SAID	
ELRAY AT			RANGE 1 EAST SALT LAKE B	EEN THE EAST QUARTER OF ASE & MERIDIAN AND THE SO ATION		
PEDERSEN, ELRAN PARCEL# 32:004:0147		KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNER OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS PARKER VIEW SUBDIVISION PLAT "A" AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED ALSO DO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEYS ANY OTHER EASEMENTS AS SHOWN OR NOTED ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN AND/OR NOTED HEREON.				
		IN WITNESS WHEREOF, 2020.	WE HAVE HEREUNTO SET C	OUR HAND THIS DA	AY OF,	
		State of Utah State Of Utah State St	ACKNOWLI B.S.	EDGMENT		
		NOTARY PUBLIC COMMI	SSIONED IN THE STATE OF	NALLY APPEARED BEFORE M JTAH, IO DULY ACKNOWLEDGE TO	,	
		MY COMMISSION EXPIR	RES:(DATE)	COMMISSION NUMBE	R:	
		PRINT NAM	ME	(SIGNED) A NO COMMISSION		
		THE	OF SANTAQUIN BY ACCEPTS THE DEDICATION	EGISLATIVE BODY CITY, COUNTY OF UTAH, AF DN OF ALL STREETS, EASEM POSE OF THE PERPETUAL U .D	ENTS AND OTHER	
— — — – – – – – – – – – – – – – – – – –	N	APPROVED BY CITY MAN	IAGER AI	PPROVED BY CITY ATTORNEI	RY	
^{EASONS OF SANTAQUIN LLC PARCEL # 66:334:0001}		CITY ENGINEER (SEE S		ITEST: CLERK-RECORDER (S	EE SEAL BELOW)	
SOUTHEAST CORNER, SECTION 1 WNSHIP 10 SOUTH, RANGE 1 EAST SALT LAKE BASE & MERIDIAN FOUND BRASS CAP					CTION 1,	
		SURVEYOR'S SEAL	CITY ENGINEER SEAL	CLERK-RECORDER SEAL	UTAH COUNTY RECORDER	

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