



DEVELOPMENT REVIEW COMMITTEE MEETING NOTICE AND AGENDA

Notice is hereby given that the Santaquin City Development Review Committee will hold a regular meeting on **Tuesday March 10, 2020**, in the **City Offices**, 275 West Main Street at **10 A.M.**

AGENDA

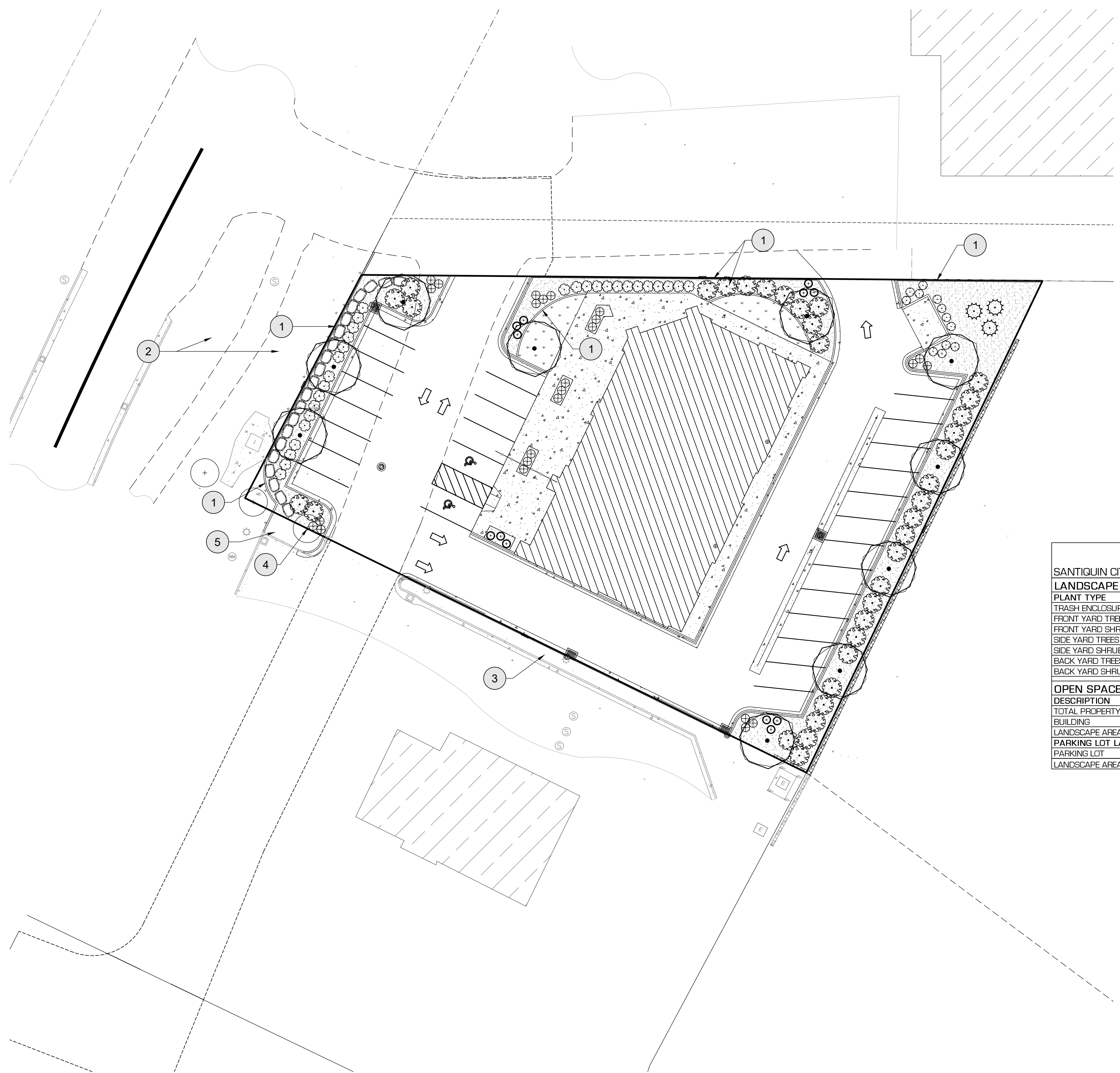
- 1. Parker View Subdivision Final Plat Review**
A **final** review of a 3 lot subdivision located at the corner of Main Street and Highland Drive.
- 2. Orchards G-3 Final Plat**
A **final** review of a 22 lot subdivision located at approximately 920 N. and 20 E.
- 3. Bylund Commercial Site Plan**
A **site plan** review of a commercial building located at approximately 94 N. State Road 198.
- 4. Foothill Plat I Final Review**
A **final** review of a 22 lot subdivision located at approximately Red Cliff Drive and Foothill Village Boulevard.
- 5. Foothill Plat L Final**
A **final** review of a 29 lot subdivision located at approximately Eagle Road and Red Cliff Drive.
- 6. Approval of Minutes for Meeting Held**
February 25, 2020
- 7. Adjournment**








If you are planning to attend this public meeting and, due to a disability, need assistance in understanding or participating in the meeting, please notify the City ten (10), or more hours in advance and we will, within reason, provide what assistance may be required







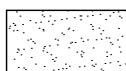
CERTIFICATION OF POSTING

This agenda is hereby properly advertised this 6th day of March 2020, through posting of copies of this agenda in three public places within the city, namely the **City Office**, **Zions Bank**, and the **United States Post Office**.

Kira Petersen, Deputy Recorder



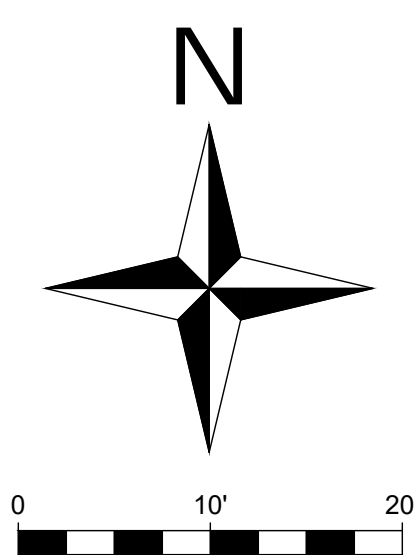
PLANT SCHEDULE				
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	GS	10	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' / SHADEMASTER LOCUST	CONTAINER
	PC	3	PICEA ABIES 'CUPRESSINA' / NORWAY SPRUCE	CONTAINER
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT
	CD	25	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB	5 GAL
	CA	12	CORNUS SERICEA 'ARCTIC FIRE' / ARCTIC FIRE DOGWOOD	5 GAL.
	PL	29	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' TM / DWARF NINEBARK	5 GAL
	PS	12	PINUS MUGO 'SLOWMOUND' / MUGO PINE	5 GAL.
	RG	36	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL.

REFERENCE NOTES SCHEDULE			
SYMBOL	DESCRIPTION	QTY	DETAIL
	CONCRETE MOWSTRIP: 6" WIDE		/
	EXISTING TURF GRASS TO REMAIN		
	EXISTING LANDSCAPE, TREES, AND SHRUBS TO REMAIN.		
	EXISTING TREE TO BE PRESERVED. ANY DIGGING UNDER TREE CANOPY SHALL BE COMPLETED BY HAND. FIELD VERIFY LOCATION.		
	REPAIR EXISTING LANDSCAPE AS NEEDED. COORDINATE WITH OWNER.		
SYMBOL	DESCRIPTION	QTY	DETAIL
	TURF GRASS: SOD (IMPERIAL BLUE FROM CHANSHARE SOD OR APPROVED EQUAL) INSTALLED OVER 5" TOPSOIL LAYER.	812 SF	/
	BARK MULCH (SMALL BARK MULCH FROM MILLER COMPANIES LC OR APPROVED EQUAL) INSTALLED AT DEPTH OF 3" WITHOUT WEED BARRIER FABRIC.	5,319 SF	/

PLANTING NOTES:

1. SEE L-301 FOR NOTES AND DETAILS.
2. CONTRACTOR TO VERIFY ALL QUANTITIES.

SANTIQUIN CITY - Interchange Commercial [C-1]			
LANDSCAPE REQUIREMENTS			
PLANT TYPE	REQUIREMENT	NUMBER REQUIRED	NUMBER PLANNED
TRASH ENCLOSURE LANDSCAPE	5' per side with 4 shrubs	5' and 4 shrubs	5' and 4 shrubs
FRONT YARD TREES	1 tree	2	2
FRONT YARD SHRUBS	4 shrubs per 40 lf.	9	16
SIDE YARD TREES	1 tree	6	7
SIDE YARD SHRUBS	4 shrubs per 40 lf.	24	32
BACK YARD TREES	1 tree	5	4
BACK YARD SHRUBS	4 shrubs per 40 lf.	19	21
OPEN SPACE CALCULATIONS			
DESCRIPTION	SQUARE FEET		
TOTAL PROPERTY	30,670		
BUILDING	6,315		
LANDSCAPE AREA	5,646		
PARKING LOT LANDSCAPE		PERCENTAGE REQUIRED	PERCENTAGE PLANNED
PARKING LOT	12,868		
LANDSCAPE AREA	867	6.0%	6.7%

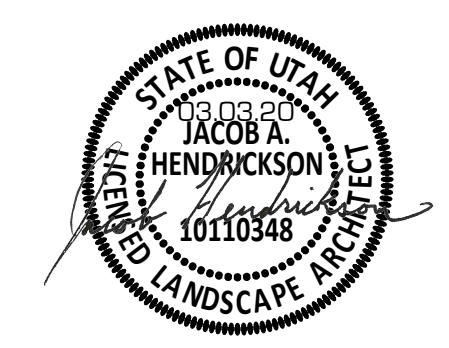


THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY OTHER PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET OF PAPER. THESE PLANS ARE PROVIDED IN PDF OR AND SHOULD BE PLOTTED AS SUCH.

BYLUND RETAIL BUILDING
94 NORTH HIGHWAY 198
SANTAGUIN, UTAH COUNTY, UTAH 84655

[illegible]

PROJECT #:	19-362
DRAWN BY:	J. HENDRICKSON
PROJECT MANAGER:	J. HENDRICKSON
ISSUED:	03.03.20

LANDSCAPE
PLAN

L-101

GENERAL NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO ANY SITE WORK, IRRIGATION AND LANDSCAPE WORK; CONTRACTOR SHALL REPORT ANY CONFLICTS TO THE OWNERS REPRESENTATIVE.
2. THE CONTRACTOR(S) AND SUBCONTRACTORS ARE 100% RESPONSIBLE FOR ANY DAMAGE OCCURRED BY CONTRACTOR/ SUBCONTRACTORS TO BUILDINGS, VEHICLES, TREES, SIDEWALKS, CURBS, DRIVES, UTILITIES AND ALL PROPERTY OF THE OWNER. IF ANY DAMAGE OCCURS TO THE OWNER'S BUILDINGS, SITE, LANDSCAPE, AND PROPERTY, THE CONTRACTOR MUST REPORT IT IMMEDIATELY AND WORK OUT A SOLUTION WITH OWNERS REPRESENTATIVE.
3. TIME IS OF THE ESSENCE AND THE OWNER IS RELYING ON THE LANDSCAPING TO BE COMPLETED IN A PROFESSIONAL AND TIMELY MANNER TO PROMOTE BUSINESS.
4. CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATION FROM THE PLANS OR SPECIFICATIONS MUST HAVE WRITTEN APPROVAL FROM THE OWNER'S REPRESENTATIVE.

PLANTING NOTES:

- THE PLANTING PLAN IS DIAGRAMMATIC, AND ALL PLANT LOCATIONS ARE APPROXIMATE. IF NECESSARY ADJUST PLANTING LOCATION TO ACCOMMODATE UTILITIES AND OTHER UNFORESEEN OBSTACLES.
6. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED ON PLANT SCHEDULE.
7. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN QUANTITIES AND SYMBOLS SHOWN.
8. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT, SOIL, WATER NEEDS, AND CULTURE ONLY AS APPROVED BY THE OWNER'S REP.
9. PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS SHALL BE MOISTENED BEFORE PLANTINGS.
10. ALL GRASS SEED AREAS SHALL RECEIVE A MINIMUM OF SIX (5) INCHES OF IMPORTED TOPSOIL, AND TEN (8) INCHES IN PLANTING BEDS. ALL TOPSOIL USED ON THIS PROJECT SHALL MEET THE FOLLOWING CRITERIA:
 - 10.1 pH: 5.5 - 6.0
 - 10.2 MINIMUM 1% PERCENT ORGANIC MATTER
 - 10.3 TEXTURE (PARTICLE SIZE PER USDA SOIL CLASSIFICATION): SAND: <70%; CLAY: <30%
 - 10.4 SILT: = BALANCE
 - 10.5 STONE FRAGMENTS (GRAVELS OR ANY SOIL PARTICLE GREATER THAN 2 MM IN SIZE): <5% (BY VOLUME)
11. IN ADDITION, THE SOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM AND SHALL BE CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH; IT SHALL BE FREE OF STONES, LUMPS, CLOUDS OF HARD EARTH, PLANTS OR THEIR ROOTS, STICKS AND OTHER EXTRANEEOUS MATTER. THE SOIL SHALL CONTAIN NO NOXIOUS WEEDS NOR THEIR SEEDS. IT SHALL NOT BE USED FOR PLANTING OPERATIONS WHILE IN A FROZEN OR MUDDY CONDITION.
12. THE FOLLOWING PROCEDURES SHALL BE FOLLOWED IN PLACING ALL TOPSOIL:
 - 12.1 SUB-GRADE MATERIAL SHALL BE ROUGH GRADED TO PLUS OR MINUS 0.1 FEET OF A FINAL ROUGH GRADE WHICH WILL ALLOW THE CONTRACTOR TO ACHIEVE FINAL FINISH-GRADE THROUGH THE INSTALLATION OF IMPORTED TOPSOIL.
 - 12.2 SCARIFY SURFACE OF SUB-GRADE TO A TWO (2) INCH DEPTH TO PROVIDE TRANSITION ZONE BETWEEN SUB-GRADE AND TOPSOIL. PLACE TOPSOIL ON SUB-GRADE AND FINE GRADE TO FINAL FINISH GRADE AND TOPSOIL DEPTHS AS INDICATED ON THE DRAWINGS AND IN THESE NOTES.
 - 12.3 FINISH GRADE TO BE 1" BELOW TOP OF CURB OR WALK FOR TURF AREAS, 2" FOR PLANTER BEDS.
 - 12.4 LANDSCAPE CONTRACTOR SHALL MAINTAIN A MINIMUM 3% DRAINAGE AWAY FROM ALL BUILDINGS, STRUCTURES, AND WALLS. FINISHED GRADES SHALL BE SMOOTHED TO ELIMINATE STANDING WATER, UNLESS SPECIFIED ON GRADING PLAN (SEE CIVIL SET).
 - 12.5 ALL FINISHED GRADES SHALL BE APPROVED BY THE OWNER/OWNERS AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION OF ANY PLANT MATERIALS.
13. CONTRACTOR SHALL HAVE THE OWNERS REP. APPROVE PLANT MATERIAL SIZE AND QUALITY PRIOR TO INSTALLATION. ANY PLANTS WHICH ARE NOT TRUE TO FORM, APPEAR STRESSED OR UNHEALTHY, INFESTED WITH PESTS, OR UNDERSIZED FOR THEIR CONTAINERS SHALL BE REJECTED.
14. PLANT MATERIAL SHALL NOT BE ROOT BOUND. THREE (3) GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF SIX (6) MONTHS UP TO A MAXIMUM OF TWO (2) YEARS. PLANTS SHALL EXHIBIT HEALTHY GROWTH AND BE FREE OF DISEASES AND PESTS. BARE ROOT MAY BE USED WHEN APPROVED BY OWNERS REP.
15. PLANTS SHALL NOT BE PLACED WITHIN TWELVE (12) INCHES OF SPRINKLER HEADS.
16. PLANTING PROCEDURES FOR ALL PLANT MATERIALS, ESPECIALLY TREES, SHALL BE AS FOLLOWS:
 - 16.1 DIG PLANTING HOLE THREE (3) TIMES THE WIDTH OF THE ROOT BALL, AND SAME DEPTH AS THE ROOT BALL DEPTH. SIDES OF HOLE SHOULD BE ROUGHENED AND NOT SMOOTH OR SOULPTED.
 - 16.2 FOR CONTAINER PLANTS, REMOVE CONTAINER AND PLACE ROOT BALL IN CENTER OF HOLE, WITH ROOT BALL RESTING ON UNDISTURBED SOIL. ROOT CROWN OR COLLAR SHALL BE AT OR JUST ABOVE FINISHED GRADE.
 - 16.3 FOR BALLED AND BURLAP PLANTS, PLACE ROOT BALL IN CENTER OF HOLE AND RESTING ON UNDISTURBED GROUND. CUT AND REMOVE WIRE BASKET AND BURLAP OR OTHER WRAPPING MATERIAL FROM ROOT BALL. THIS MAY BE DONE WITH ROOT BALL IN HOLE. BURLAP OR WIRE PIECES UNDERNEATH THE ROOT BALL MAY BE LEFT IF THEY CANNOT BE REMOVED. DO NOT FOLD BURLAP OVER, BUT CUT AWAY AS MUCH AS POSSIBLE WITHOUT DISTURBING ROOT BALL. BACKFILL BOTTOM THIRD (1/3) OF HOLE AS WIRE AND BURLAP ARE REMOVED.
 - 16.4 PLACE PLANT IN THE HOLE AND BACKFILL TO HALFWAY POINT AND PLACE AGRIFORM PLANTING TABLETS IN THE HOLE ABOUT 1-2 INCHES AWAY FROM THE ROOT TIPS. DO NOT PLACE TABLETS IN THE BOTTOM OF THE PLANTING HOLE. SEE DETAIL AND CHART FOR SUGGESTED APPLICATION RATES.
 - 16.5 FINISH FILLING THE HOLE AROUND THE PLANT TO GRADE LEVEL.
 - 16.6 THOROUGHLY WATER PLANT, THEN COMPLETE BACKFILLING THE HOLE. FORM A WATERING BASIN AROUND THE PLANT AND THOROUGHLY WATER AGAIN.
 - 16.7 MONITOR ALL PLANTS TO INSURE THAT NO SETTLING OCCURS.
17. THE LANDSCAPE CONTRACTOR SHALL LEAVE SITE IN A CLEAN CONDITION, REMOVING ALL UNUSED MATERIAL, TRASH AND TOOLS.
18. AT SUBSTANTIAL COMPLETION OF ALL WORK OUTLINED IN THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A WALK THROUGH. SUBSTANTIAL COMPLETION SHALL BE DEFINED AS COMPLETION OF ALL WORK OUTLINED IN THE PLANS AND SPECIFICATIONS WITH THE EXCEPTION OF FINAL CLEAN UP AND DEMOBILIZATION. WORK MUST BE FULLY COMPLETED ACCORDING TO ALL PLANS, NOTES, AND SPECIFICATIONS AND EXHIBIT PROFESSIONAL WORKMANSHIP. A MAINTENANCE PERIOD WILL BEGIN ON THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION BY OWNER.
19. LANDSCAPE CONTRACTOR TO PROVIDE DETAILED AS-BUILT DRAWINGS TO OWNERS REPRESENTATIVE UPON COMPLETION OF LANDSCAPE PLANTING. THE DRAWING TO SHOW LOCATION OF: BUILDING, HARDSCAPES, AND ALL PLANT MATERIAL (TREES, SHRUBS, GRASSES, PERENNIALS AND OTHERS). THE AS-BUILT DRAWINGS MUST USE THE BOTANIC NAMES OF SPECIES INSTALLED. THE CONTRACTOR MUST REVIEW THE AS-BUILT DRAWINGS WITH OWNERS REPRESENTATIVE PRIOR TO COMPLETION OF PROJECT.
21. LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS UNTIL PROJECT COMPLETION AS DETERMINED BY THE OWNER'S REP. TURF SHALL BE CONSIDERED FULLY ESTABLISHED WHEN GRASS STANDS COME IN UNIFORM AND THICK, WITH NO BARE OR THIN SPOTS, AND ARE BEGGIN TO SPREAD AND KNIT TOGETHER. NO WEEDS SHALL BE ALLOWED IN THE GRASS. THE MAINTENANCE WORK REQUIRED SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - 21.1 DAILY WATERING OF ALL PLANT MATERIAL.
 - 21.2 WEEDING AND REMOVAL OF ALL WEEDS FROM GROUND COVER AND PLANTING AREAS.

- 21.3. REPLACEMENT OF ANY DEAD, DYING, OR DAMAGED TREES, SHRUBS OR GROUNDCOVER.
 - 21.4. FILLING AND REPLANTING OF ANY LOW AREAS WHICH MAY CAUSE STANDING WATER.
 - 21.5. ADJUSTING OF SPRINKLER HEAD HEIGHTS AND WATERING PATTERNS.
 - 21.6. FILLING AND RE-COMPACTING OF ERODED AREAS, ALONG WITH ANY REQUIRED RESEEDING AND/OR REPLANTING.
 - 21.7. GRASS AND WEEDS SHALL BE ALLOWED TO GROW UNTIL THEY REACH THREE (3) INCHES TALL. NO MORE THAN ONE THIRD (1/3) OF THE BLADE SHALL BE REMOVED PER CUTTING. CUTTING FREQUENCY SHALL BE ONCE EVERY FIVE (5) TO SEVEN (7) DAYS.
 - 21.8. WEEKLY REMOVAL OF ALL TRASH, LITTER, CLIPPINGS AND ALL FOREIGN DEBRIS.
 - 21.9. CONTRACTOR TO FERTILIZE TREES, SHRUBS, PERENNIALS AND GRASSES WITH MILLERS A TO 2 MIX ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 22. PLANT QUALITY AT OR BELOW THE SOIL LINE:
 - 23.1. A MINIMUM OF THREE STRUCTURAL ROOTS REASONABLY DISTRIBUTED AROUND THE TRUNK SHALL BE FOUND IN EACH PLANT. PLANTS WITH STRUCTURAL ROOTS ON ONLY ONE SIDE OF THE TRUNK (J ROOTS) SHALL BE REJECTED.
 - 23.2. THE ROOT CIRCUMFERENCE MUST NOT BE MORE THAN TWO INCHES BELOW THE SOIL LINE. THE TOP OF THE STRUCTURAL ROOTS SHALL BE NO MORE THAN FIVE INCHES BELOW THE SOIL LINE WHEN MEASURED FOUR INCHES RADIAL TO THE TRUNK. THE TOP OF THE OTHER STRUCTURAL ROOT SHALL BE NO GREATER THAN FIVE INCHES BELOW THE SOIL LINE WHEN MEASURED FOUR INCHES RADIAL TO THE TRUNK. THE GROWER MAY REQUEST A MODIFICATION TO THIS REQUIREMENT FOR SPECIES WITH ROOTS THAT RAPIDLY DESCEND, PROVIDED THAT THE GROWER REMOVES ALL CIRCLING ROOTS ABOVE THE STRUCTURAL ROOTS ACROSS THE TOP OF THE STRUCTURAL ROOTS.
 - 23.3. THE ROOT SYSTEM SHALL BE REASONABLY FREE OF ROOT DEFECTS INCLUDING POTENTIALLY STEM-GIRDLING ROOTS ABOVE THE ROOT COLLAR AND MAIN STRUCTURAL ROOTS, VERTICAL ROOTS, AND/OR KINKED ROOTS FROM NURSERY PLANT GROWER PRODUCTION. THIS INCLUDES THE INTERIOR OF THE ROOT BALL.
 - 23.3.1. REASONABLE AND REASONABLY - WHEN USED IN THIS SPECIFICATION RELATIVE TO PLANT QUALITY - ARE INTENDED TO MEAN THAT THE CONDITIONS CITED WILL NOT AFFECT THE ESTABLISHMENT OR LONG-TERM STABILITY, HEALTH, OR GROWTH OF THE PLANT. THIS SPECIFICATION RECOGNIZES THAT IT IS NOT POSSIBLE TO PRODUCE PLANTS FREE OF ALL DEFECTS AND THAT SOME DECISIONS CANNOT BE TOTALLY BASED ON MEASURED FINDINGS, SO PROFESSIONAL JUDGEMENT IS REQUIRED. IN CASES OF DIFFERING OPINION, THE LANDSCAPE ARCHITECT SHALL DETERMINE WHEN CONDITIONS WITHIN THE PLANT ARE JUDGED AS REASONABLE.
 - 23.3.2. THE FINAL PLANT GROWER SHALL BE RESPONSIBLE FOR CERTIFYING THAT THE PLANT HAS BEEN ROOT PRUNED AT EACH STEP IN THE PLANT PRODUCTION PROCESS TO REMOVE STEM GIRDLING ROOTS AND KINKED ROOTS, OR SHALL ENSURE THAT THE PREVIOUS URN PRODUCTION SYSTEM USED OTHER PRACTICES THAT PRODUCE A ROOT SYSTEM THROUGHOUT THE ROOT BALL THAT MEETS THESE SPECIFICATIONS. REGARDLESS OF THE WORK OF PREVIOUS GROWERS, THE PLANTS' ROOT SYSTEM SHALL BE MODIFIED AT THE FINAL PRODUCTIONS STAGE TO PRODUCE THE REQUIRED PLANT ROOT QUALITY. THE FINAL GROWER SHALL CERTIFY IN WRITING THAT ALL PLANTS ARE REASONABLY FREE OF ROOT DEFECTS AS DEFINED IN THIS SPECIFICATION AND THAT THE TREE HAS BEEN GROWN AND HARVESTED TO PRODUCE A PLANT THAT MEETS THESE SPECIFICATIONS.
 - 23.4. ALL PLANTS MAY BE INSPECTED AT THE SUPPLIER'S NURSERY. THE LANDSCAPE ARCHITECT MAY REQUEST THAT THE GROWER OPEN THE ROOT BALL AS REQUIRED TO VERIFY THAT PLANTS MEET THE REQUIREMENTS. INSPECTIONS OF CONTAINER TREES MAY REQUIRE RANDOM CUTTING INTO THE INTERIOR ROOT BALL OF UP TO 2 PERCENT BUT NOT FEWER THAN TWO TREES OF EACH TYPE OF TREE IN A CONTAINER AT EACH SOURCE NURSERY. SUCH CUTTING AND INSPECTION MAY RENDER THE CONTAINER TREE UNSUITABLE FOR PLANTING. FINDINGS OF THE ROOT INSPECTIONS SHALL BE CONSIDERED AS REPRESENTATIVE OF ALL TREES OF THAT TYPE FROM THAT SOURCE.
 - 23.5. CONTAINER-GROWN PLANTS, IN ADDITION TO THE ABOVE REQUIREMENTS, SHOULD COMPLY WITH THE FOLLOWING:
 - 23.5.1.1. CONTAINER-GROWN PLANTS MAY BE PERMITTED ONLY WHEN INDICATED ON THE DRAWING OF THIS SPECIFICATION.
 - 23.5.2. CONTAINER-GROWN ROOT BALLS SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED
 - 23.5.3. SUFFICIENTLY TO HOLD ITS POTTING MEDIUM TOGETHER BUT NOT SO LONG AS TO HAVE DEVELOPED ROOTS THAT ARE MATTED OR CIRCLING AROUND THE EDGE OR INTERIOR OF THE ROOT MASS. PLANTS SHALL HAVE BEEN ROOT PRUNED AT EACH CHANGE IN CONTAINER SIZE.
 - 23.6.1. PLANTS THAT FAIL TO MEET ANY OF THE ABOVE REQUIREMENTS SHALL BE MODIFIED TO CORRECT DEFICIENCIES IF APPROVED BY THE LANDSCAPE ARCHITECT. MODIFICATION SHALL INCLUDE THE FOLLOWING:
 - 23.6.1.1. SHAVING ALL CIRCLING ROOTS ON THE EXTERIOR OF THE ROOT MASS DEEP ENOUGH TO REMOVE THEM. THE CUTS SHALL BE ROUGHLY RADIAL TO THE TRUNK.
 - 23.6.1.2. REMOVAL OF ALL ROOTS ABOVE THE TOP OF THE MAIN STRUCTURAL ROOTS AND TRUNK FLARE INCLUDE ANY ROOTS THAT ARE IMPRINTS FROM PREVIOUS SMALLER CONTAINERS.
- (THE ABOVE MODIFICATIONS SHALL NOT BE CAUSE TO ALTER THE WARRANTY PROVISIONS OF THIS SPECIFICATION.)

TREE STAKING:

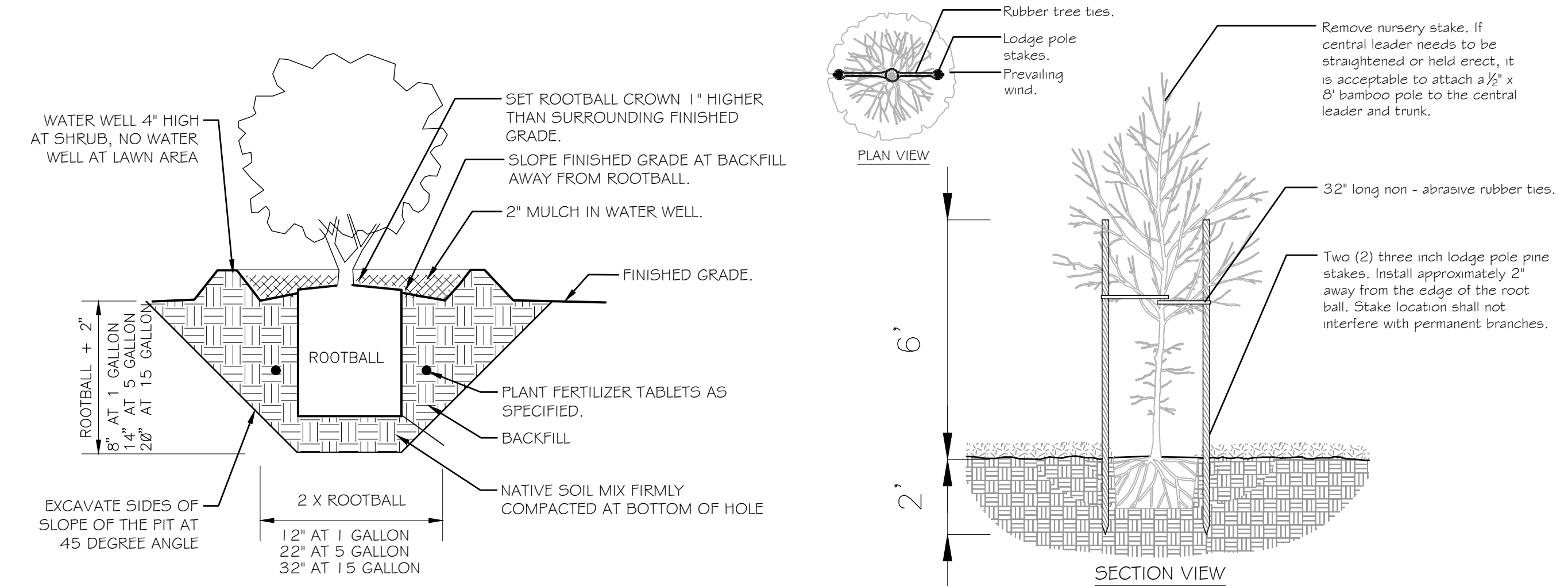
31. LANDSCAPE CONTRACTOR TO PROVIDE BID TO STAKE UP TO 50% OF TREES.
 32. THE OWNER/ OWNERS REPRESENTATIVE SHALL HAVE THE AUTHORITY TO REQUIRE THAT TREES ARE STAKED OR TO REJECT STAKING AS AN ALTERNATIVE WAY TO STABILIZE THE TREE.
 33. TREES THAT REQUIRE HEAVILY MODIFIED ROOT BALLS TO MEET THE ROOT QUALITY STANDARDS MAY BECOME UNSTABLE. THE OWNER/ OWNERS REP MAY CHOOSE TO REJECT THESE TREES RATHER THAN UTILIZE STAKING TO TEMPORARILY SUPPORT THE TREE.
 34. STAKES SHALL BE LODGE POLE STAKES FREE OF KNOTS AND OF DIAMETERS AND LENGTHS APPROPRIATE TO THE SIZE OF PLANT AS REQUIRED TO ADEQUATELY SUPPORT THE PLANT.
 35. PLANTS SHALL STAND PLUMB AFTER STAKING
- REMOVE TREE STAKING AFTER THE FIRST FULL GROWING SEASON UNLESS DIRECTED BY THE OWNER/ OWNERS REP.

MULCH:

36. ALL PLANTER BEDS ARE TO RECEIVE A FOUR (4) INCHES OF DARK BROWN COLORED MULCH OR APPROVED EQUAL BY OWNER'S REP.
37. TREAT AREAS WITH PRE-EMERGENT
38. HERBICIDE ACCORDING TO MANUFACTURERS RECOMMENDATIONS.

MAINTENANCE & WARRANTIES:

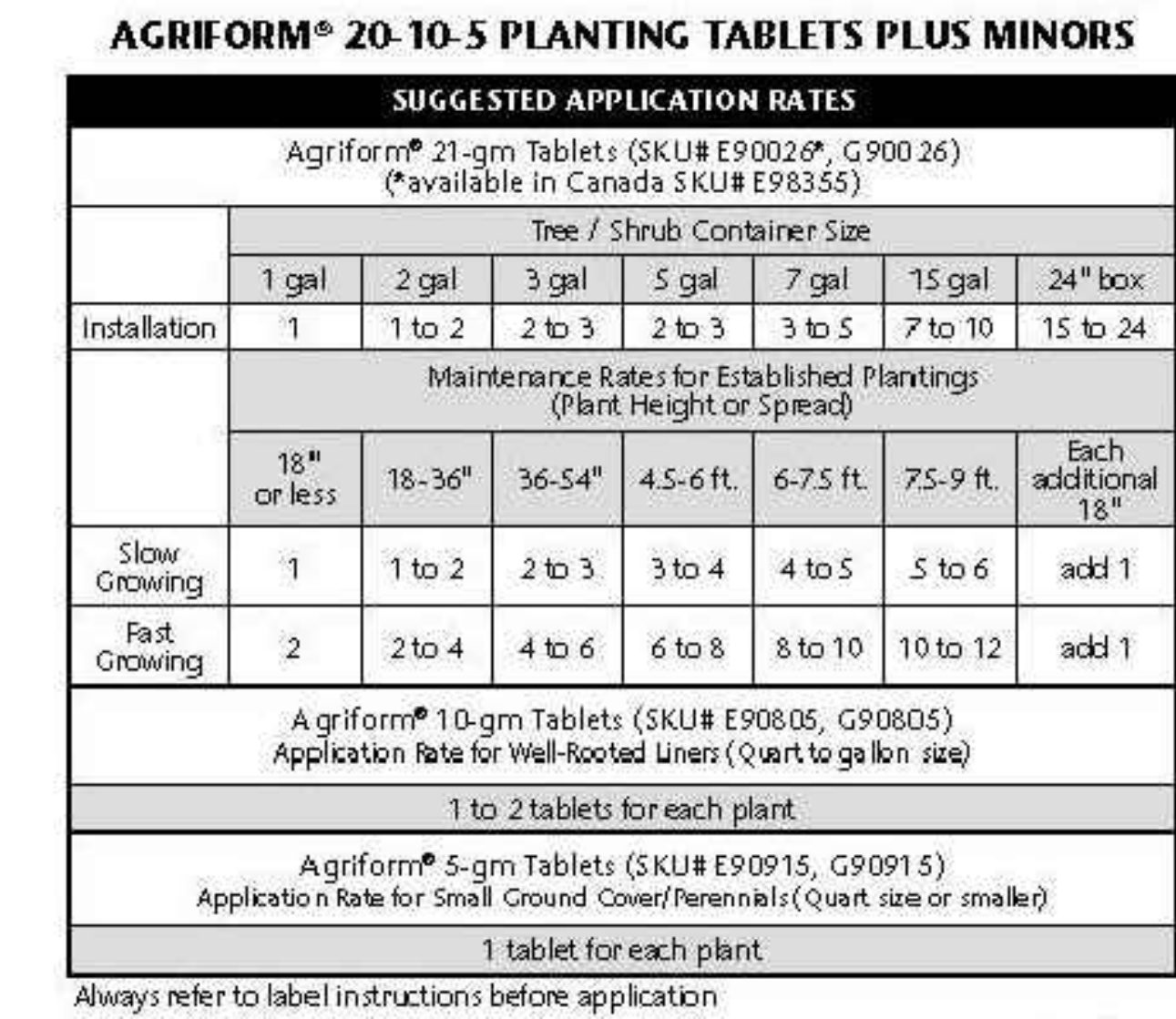
39. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE TREES, PLANT BEDS (INCLUDING WEEDING), SHRUB PRUNING, WATERING THE PLANTS AND IRRIGATION SYSTEMS FOR THE DURATION OF THE CONSTRUCTION PERIOD.
40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF LANDSCAPE FOR 90 DAYS PAST THE FINAL INSPECTION. THE MAINTENANCE IS TO INCLUDE: WEEDING PLANT BED AREAS, SPRAYING THE SOD AREAS FOR WEEDS AND FERTILIZATION (1 APPLICATION AFTER INITIAL APPLICATION), MOWING, TRIMMING, AND IRRIGATION REPAIRS.
41. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO THE GROWTH AND HEALTH FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE MAINTENANCE PERIOD AND FINAL ACCEPTANCE. ALL TREES SHALL BE GUARANTEED BY THE CONTRACTOR TO LIVE AND GROW IN AN ACCEPTABLE UPRIGHT POSITION FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD AND FINAL ACCEPTANCE.
42. THE ONLY CONDITIONS WHICH RELIEVE THE CONTRACTOR FROM THE GUARANTEE OF THE CONTRACTOR AS DESCRIBED ABOVE ARE THOSE WHICH CAN BE SHOWN ARE A DIRECT RESULT OF IMPROPER CARE OR WATERING BY THE OWNER AFTER THE MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD.
43. THE CONTRACTOR, WITHIN FIFTY (15) DAYS AFTER RECEIVING WRITTEN NOTIFICATION BY THE OWNERS REP, SHALL REMOVE AND REPLACE ALL GUARANTEED PLANT MATERIALS WHICH FAIL TO MEET THE REQUIREMENTS OF THE GUARANTEE. REPLACEMENT SHALL BE MADE WITHIN THE SAME PERIOD OF TIME SPECIFIED ON THE ORIGINAL PLANS, AND ALL SUCH REPLACEMENT MATERIALS SHALL BE GUARANTEED AS SPECIFIED FOR THE ORIGINAL MATERIALS.



SHRUB PLANTING

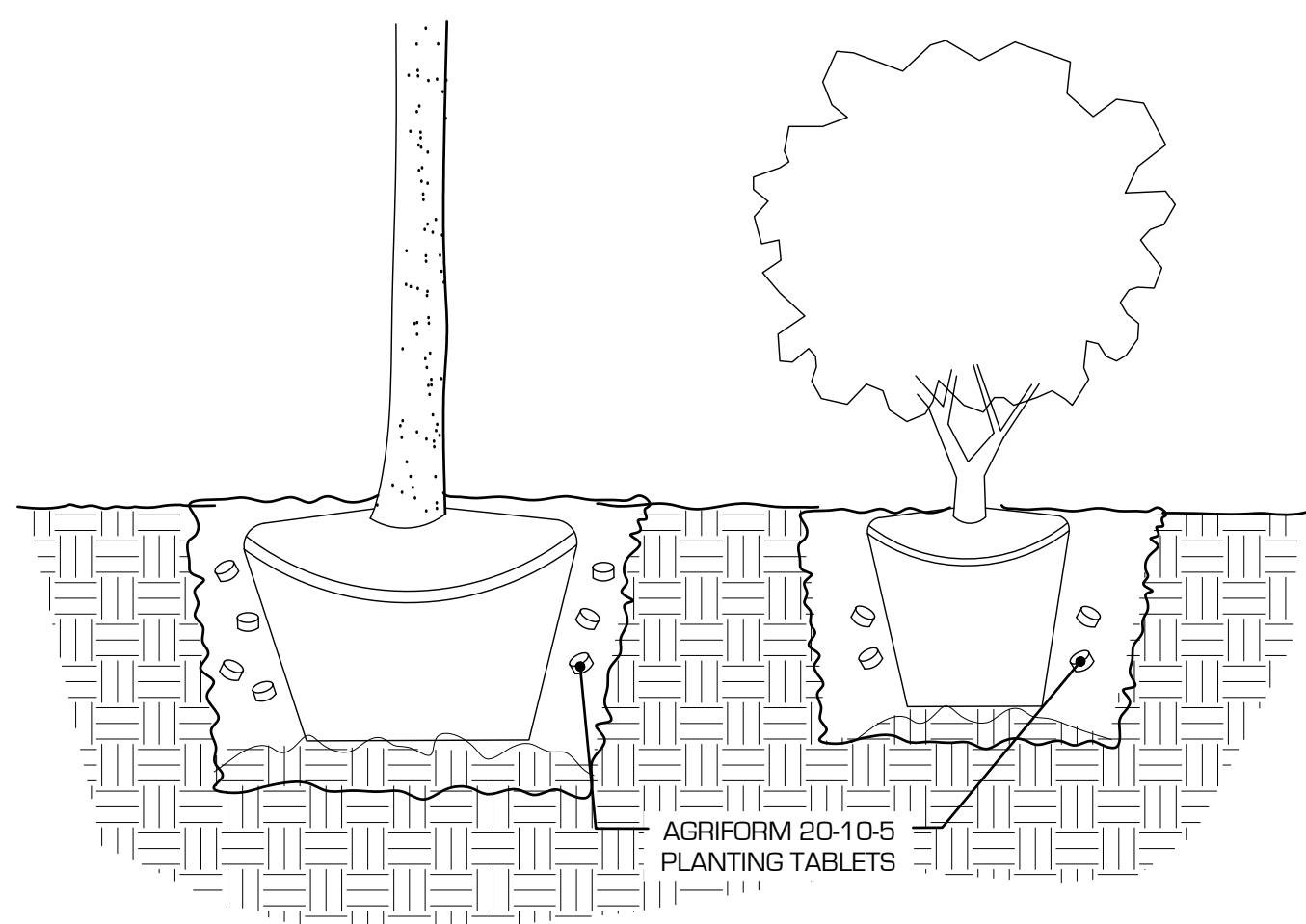
NOT TO SCALE

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BID SPECIFICATIONS:

PLANTING TABLET SHALL BE TIGHTLY COMPRESSED, LONG LASTING AND SLOW RELEASE WEIGHTS OF 5, 10, AND 21 GRAMS WITH A NITROGEN (N), PHOSPHORUS (P), AND POTASSIUM (K) ANALYSIS OF 20-10-5 AND TRACE ELEMENTS DERIVED FROM THE SOURCES LISTED IN THE GUARANTEED ANALYSIS.



 AGRIFORM 20-10-5 PLANTING TABLETS

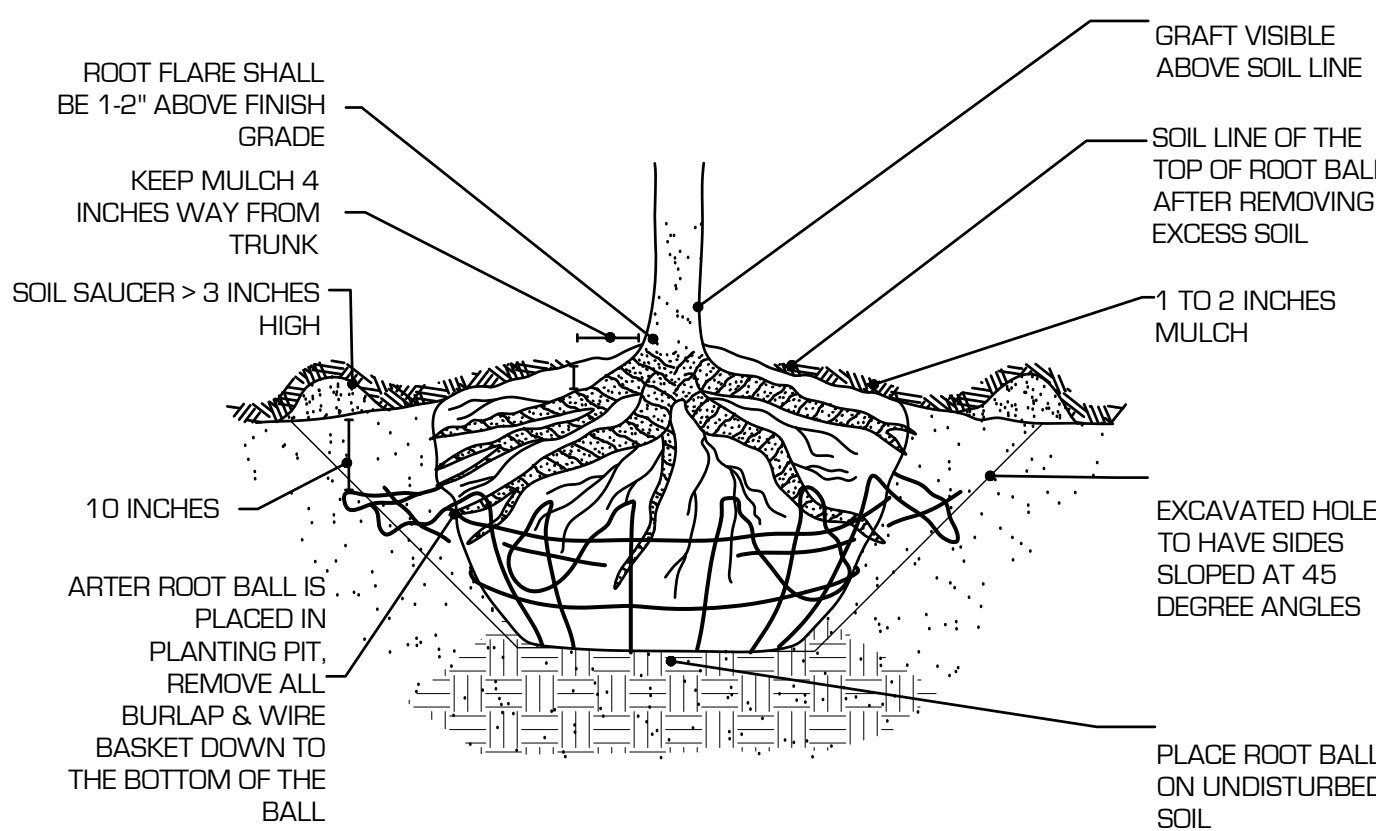
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 TREE DOUBLE STAKING

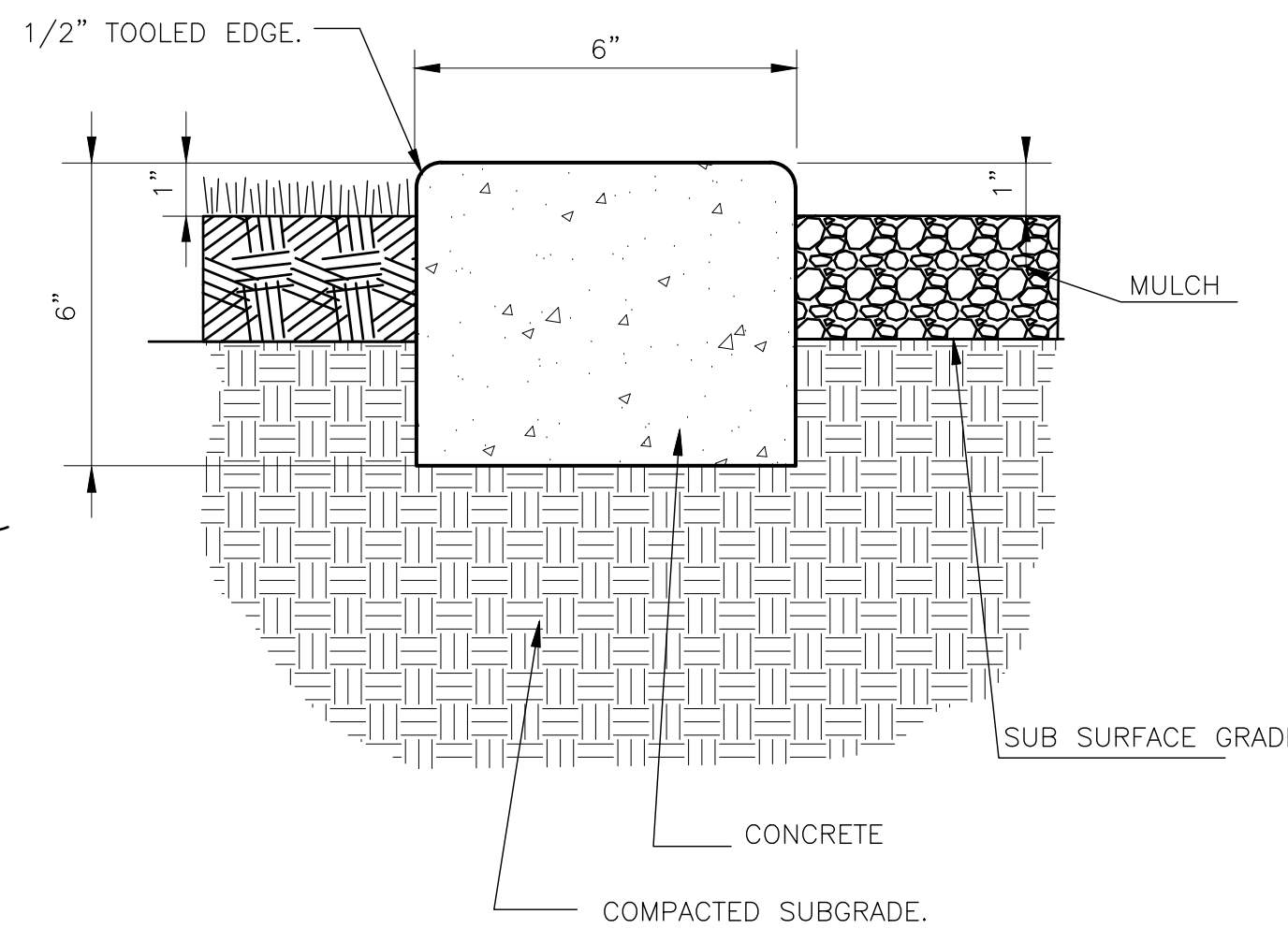
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4 TYPICAL TREE B&B PLANTING DETAIL

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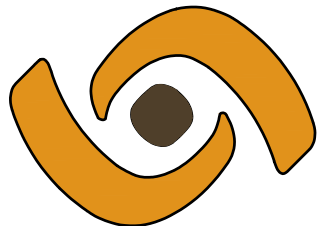


6"X6" CONCRETE MOW STRIP AT PLANTER EDGE

NOT TO SCALE

329413.19-21

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY OTHER PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR OF THE DESIGN THEREON WITHOUT THEIR CONSENT. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET OF PAPER. THESE PLANS ARE PRODUCED IN COLOR AND SHOULD BE PLOTTED AS SUCH.

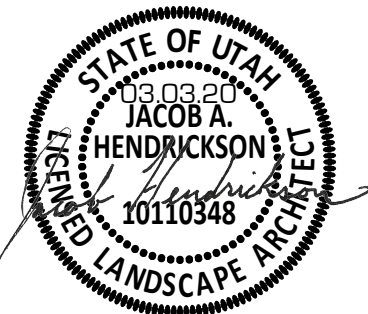


CACHE VALLEY | P: 435.213.3762
SALT LAKE | P: 801.216.3192
UTAH VALLEY | P: 801.874.1432
info@civilsolutionsgroup.net
www.civilsolutionsgroup.net

BYLUND RETAIL BUILDING
94 NORTH HIGHWAY 198
SANTAQUIN, UTAH COUNTY, UTAH 84655

[illegible]

PROJECT #:	19-362
DRAWN BY:	J. HENDRICKSON
PROJECT MANAGER:	J. HENDRICKSON
ISSUED:	03.03.20

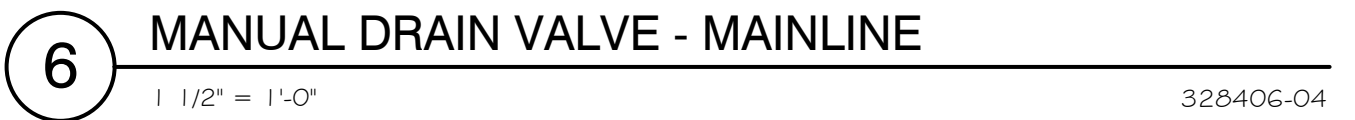


DETAILS

L301

1. IRRIGATION PLAN IS DIAMMATIC. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED IN PLANTING AREAS ONLY, UNLESS NOTED OTHERWISE. REFER TO THE IRRIGATION LEGEND, DETAILS, AND SPECIFICATIONS FOR EQUIPMENT AND INSTALLATION; SPECIFICATIONS SHALL TAKE PRECEDENCE OVER INSTALLATION DETAILS.
2. LANDSCAPE CONTRACTOR SHALL VERIFY LOCATION OF IRRIGATION POINT OF CONNECTION (POC) AND THE STATIC WATER PRESSURE AT THAT LOCATION PRIOR TO BEGINNING ANY IRRIGATION WORK. IF THE LOCATION OR WATER PRESSURE IS DIFFERENT THAN THAT EXPRESSED BY THE DRAWINGS, THE DESIGN STATIC PRESSURE IS 60 PSI. IF THE PRESSURE APPEARS TO BE UNUSUALLY HIGH OR LOW, THE CONTRACTOR SHALL CONTACT THE OWNER'S REP. IMMEDIATELY.
3. CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH INCIDENTAL TO WORK OF THIS SECTION.
4. PIPE FITTINGS SHALL BE AS FOLLOWS:
 - 4.1. ALL RISERS AND EXPOSED FITTINGS SHALL BE P.V.C. SCHEDULE 40.
 - 4.2. ALL UNDERGROUND FITTINGS SHALL BE P.V.C. SCHEDULE 40.
5. IRRIGATION CONTRACTOR WIRE SHALL CONFORM TO THE FOLLOWING:
 - 5.1. ALL WIRE SHALL BE TYPE UF, 600 VOLT, SOLID COPPER. WIRE SHALL BE DIRECT BURIAL TYPE. GROUND WIRE SHALL BE: 14 GAUGE WHITE. SPARE GROUND WIRE SHALL BE 14 GAUGE BLUE. MULTI-STRAND WIRE SHALL BE 18 GAUGE AND CONTRACTOR SHALL INSTALL 3 SPARES PER CONTROLLER. ALL SPLICES AND CONNECTIONS SHALL BE WATER-TIGHT. ALL WIRES SHALL BE INSTALLED WITH TWO (2) FEET OF EXCESS WIRE (COILED) AT THE END OF EACH WIRE RUN, WIRE SPLICE, AND AT EACH CONTROLLER.
 - 5.2. CONTROL WIRE SHALL BE BUNDLED EVERY 10' AND PLACED ADJACENT TO MAIN LINE. ALL WIRE SPLICES SHALL BE LOCATED IN VALVE BOXES. DO NOT TAP WIRE TO PIPE.
6. MANUAL DRAIN VALVES SHALL BE PLACED ON THE MAIN LINE IN LOW SPOTS. ALL MANUAL DRAINS SHALL BE PLACED IN SEPARATE VALVE BOXES PER INSTALLATION DETAILS.
7. ALL POP-UP SPRAY SPRINKLERS SHALL CONFORM TO THE FOLLOWING UNLESS SPECIFIED IN PLAN:
 - 7.1. SPRINKLERS LOCATED IN GRASS AREAS SHALL BE PER PLAN.
 - 7.2. SPRINKLERS LOCATED IN PLANTING BEDS SHALL BE SIX (6) INCHES IN HEIGHT.
8. ALL PRESSURE MAIN LINES SHALL HAVE MINIMUM TWENTY-FOUR (24) INCHES OF COVER, AND ALL LATERAL LINES SHALL BE HAVE FOURTEEN (14) INCHES OF COVER. TRENCH BEDDINGS AND BACKFILL MATERIAL SHALL BE EXISTING SITE SOIL, FREE OF ROCKS, DEBRIS, ETC. GREATER THAN ONE (1) INCH IN ANY DIMENSION THAT MAY DAMAGE IRRIGATION PIPE OR EQUIPMENT. IN THE EVENT OF BACKFILL SETTLEMENT, CONTRACTOR SHALL PERFORM REQUIRED REPAIRS AT HIS OWN COST.
9. WHERE POSSIBLE, ALL AUTOMATIC CONTROL VALVES SHALL BE LOCATED WITHIN SHRUB AREAS. ALL VALVE BOXES IN PLANTING BEDS ARE TO BE TAN. ALL BOXES WITHIN LAWN TO BE GREEN. THERE SHALL BE ONE VALVE PER BOX, WITH FOUR (4) INCHES OF 3/4" GRAVEL BENEATH THE VALVE. NO VALVE MANIFOLDS SHALL BE ALLOWED. GATE VALVES SHALL BE LOCATED IN SEPARATE VALVE BOXES. WIRE SPLICES SHALL ALSO BE LOCATED IN SEPARATE VALVE BOXES.
10. ALL MAIN LINE AND LATERAL LINES SHALL BE SLEEVED WITH P.V.C. SCHEDULE 40 PIPE. WHERE THEY PASS UNDER PAVED AREAS, SLEEVE SIZE SHALL BE TWICE THE DIAMETER OF THE LINE TO BE SLEEVED UNLESS OTHERWISE NOTED ON THE PLANS. CONTRACTOR SHALL INSTALL A SEPARATE 2" SLEEVE FOR WIRES. VALVE BOXES IN PLANTER BEDS SHALL BE TAN.
11. MAIN LINE SHALL BE INSTALLED IN SAND WITH 6" MINIMUM BELOW AND 6" MINIMUM ABOVE MAIN LINE PIPE.
12. AUTOMATIC CONTROLLERS SHALL BE OF THE SIZE AND TYPE NOTED, AND INSTALLED WHERE INDICATED ON IRRIGATION PLAN. CONTROL WIRES SHALL BE SLEEVED IN ELECTRICAL CONDUIT TO MAINLINE. 120-VOLT ELECTRICAL SERVICE AND CONTROLLER SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. COORDINATE THIS WORK WITH ELECTRICAL AND OTHER CONTRACTORS FOR THIS PROJECT.
13. PRIOR TO BACKFILLING IRRIGATION TRENCHES:
 - 13.1. ALL MAIN LINES IN THE SYSTEM SHALL BE CAPPED AND PRESSURE TESTED AT 90 PSI. FOR A PERIOD OF TWO (2) HOURS, ANY LEAKS FOUND SHALL BE CORRECTED BY REMOVING THE LEAKING PIPE OR FITTINGS AND INSTALLING NEW MATERIAL IN ITS PLACE. REPEAT PRESSURE TEST TO ASSURE ABSENCE OF LEAKS.
 - 13.2. ALL LATERAL LINES SHALL BE PRESSURE TESTED AT DESIGN PRESSURE FOR ONE (1) HOUR. DESIGN PRESSURE FOR THIS PROJECT IS 70 PSI.
 - 13.3. THE CONTRACTOR SHALL NOT ALLOW NOR CAUSE ANY OF HIS WORK TO BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED BY THE OWNER/OWNERS AUTHORIZED REPRESENTATIVE.
 - 13.4. WHERE MAIN LINE WILL BE ALLOWED TO SIT UNCOVERED FOR ANY LENGTH OF TIME IN THE TRENCH PRIOR TO TESTING, SHADE MAIN LINE WITH A TIGHT COVERING OF SOIL TO MINIMIZE WEATHER-RELATED EXPANSION OR CONTRACTION OF PIPE.
14. IRRIGATION CONTRACTOR SHALL ADJUST ALL HEADS TO PROVIDE A UNIFORM COVERAGE AND TO KEEP SPRAY OFF BUILDINGS, SIDEWALKS, WALLS, PARKING AREAS, DRIVES, AND SIGNS.
15. WHEN THE SPRINKLER SYSTEM IS COMPLETED THE CONTRACTOR SHALL, IN THE PRESENCE OF THE OWNER/OWNERS AUTHORIZED REPRESENTATIVE, PERFORM A COVERAGE TEST OF WATER PROVIDED TO THE PLANTING AREAS TO SHOW IT IS CONSISTENT AND UNIFORM.
16. THE CONTRACTOR SHALL FURNISH TO THE OWNER A COMPLETE "AS BUILT" DRAWING ON PAPER AND DIGITAL FILE SHOWING EXACT LOCATIONS OF VALVES, MAIN LINES, VALVES, BACKFLOW, AUXILIARY EQUIPMENT, ISOLATION VALVES, LATERALS, AND HEADS. ALL VALVES MUST BE LABELED INSIDE THE BOX WITH WATER PROOF LABELS.
17. AT THE TIME OF SUBSTANTIAL COMPLETION (DEFINED AS COMPLETE INSTALLATION AND PROPER FUNCTIONING OF IRRIGATION SYSTEM, INSTALLATION OF ALL PLANT MATERIAL INCLUDING STAKING OF ALL TREES, AND PLACEMENT OF SOIL PREP) THE CONTRACTOR SHALL SCHEDULE A WALK THROUGH WITH OWNER TO REVIEW ALL WORK COMPLETED TO DATE AND GENERATE A PUNCH LIST. AT THIS TIME THE WARRANTY PERIOD OF ONE (1) YEAR BEGINS. AFTER SUBSTANTIAL COMPLETION WALK THROUGH, THE CONTRACTOR HAS THIRTY (30) DAYS TO SATISFY ALL ITEMS ON PUNCH LIST.
18. IRRIGATION CONTRACTOR SHALL GUARANTEE THE ENTIRE IRRIGATION SYSTEM TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE BY THE OWNER.
19. CONTRACTOR TO COORDINATE WITH OWNERS REP. WHEN BLENDING NEW LANDSCAPE WITH EXISTING LANDSCAPE. THIS WILL ALSO INCLUDE VERIFYING SQUARE FOOTAGE OF GRASS AND IRRIGATION ADJUSTMENTS.
20. LANDSCAPE CONTRACTOR TO COORDINATE WITH OWNERS REP AND GENERAL CONTRACTOR THE WATERING OF TREES AND GRASS TO KEEP PLANTS, GRASS AND TREES ALIVE DURING CONSTRUCTION.
21. ALL PARTS AND EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. VALVES INSTALLED MUST HAVE A DOUBLE UNION AND A MINIMUM OF 6" SPACE ON BOTH SIDES OF THE VALVE IN THE VALVE BOX.
22. FOR DRIP IRRIGATION CONTRACTOR MUST PROVIDE ALL PIPING, EMITTERS, PRESSURE REDUCERS PER VALVE, DRAINS, FILTERS AND PARTS NEEDED. ALL TREES GET TWO RAINBIRD ORIPUNE RINGS 1 AT 2' RADIUS AND 1 AT 4' RADIUS. EMITTERS ARE AS FOLLOWS 1 (1) GALLON EMITTER PER 1 GALLON PLANT, 1 (2) GALLON EMITTER PER 5 GALLON SHRUB.
23. CONTRACTOR MUST PROVIDE THE OWNER WITH AN AS-BUILT IRRIGATION MAP SHOWING LOCATION OF ALL VALVES, MAIN LINE, LATERAL LINES AND AUXILIARY EQUIPMENT.

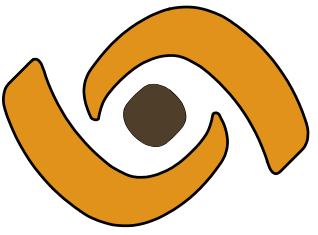
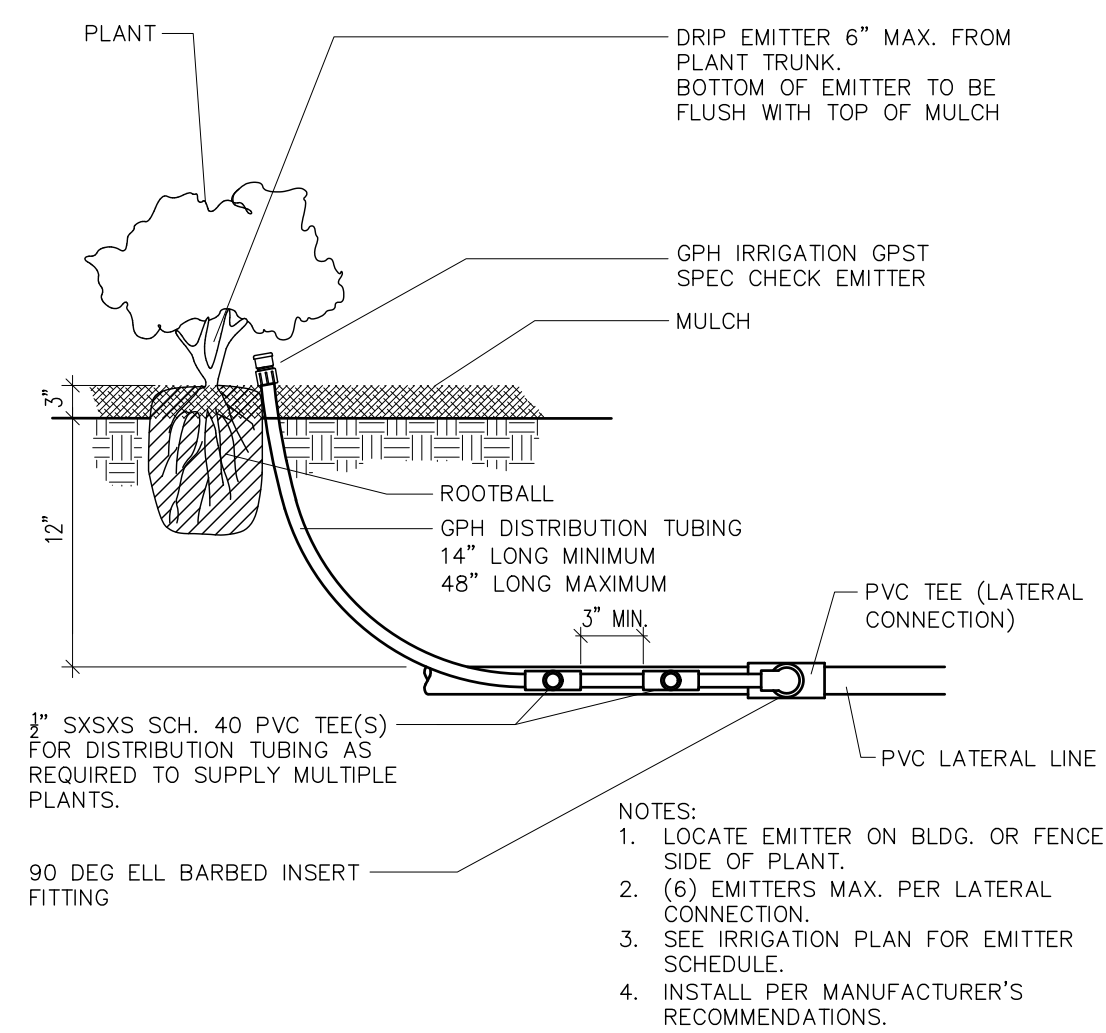
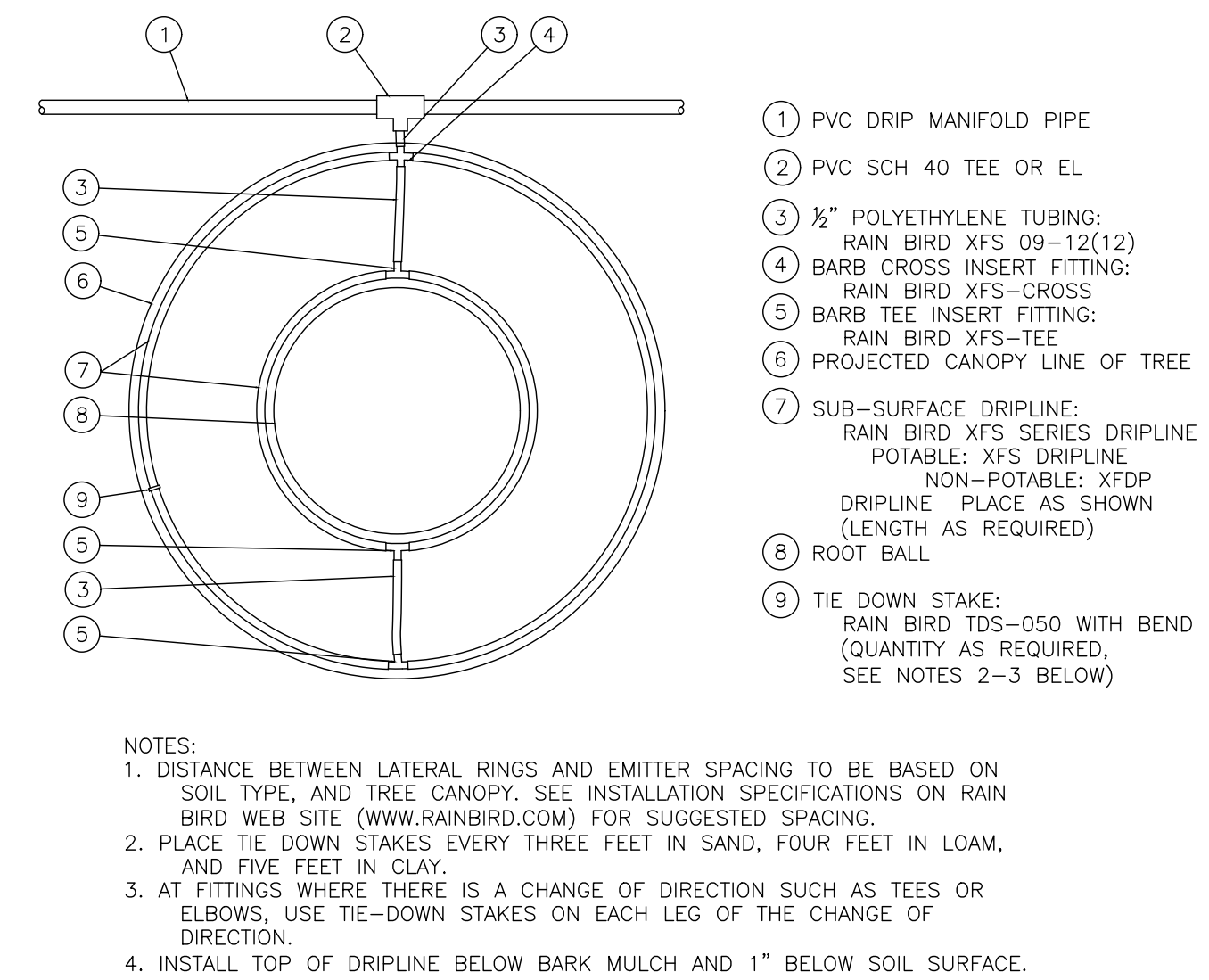
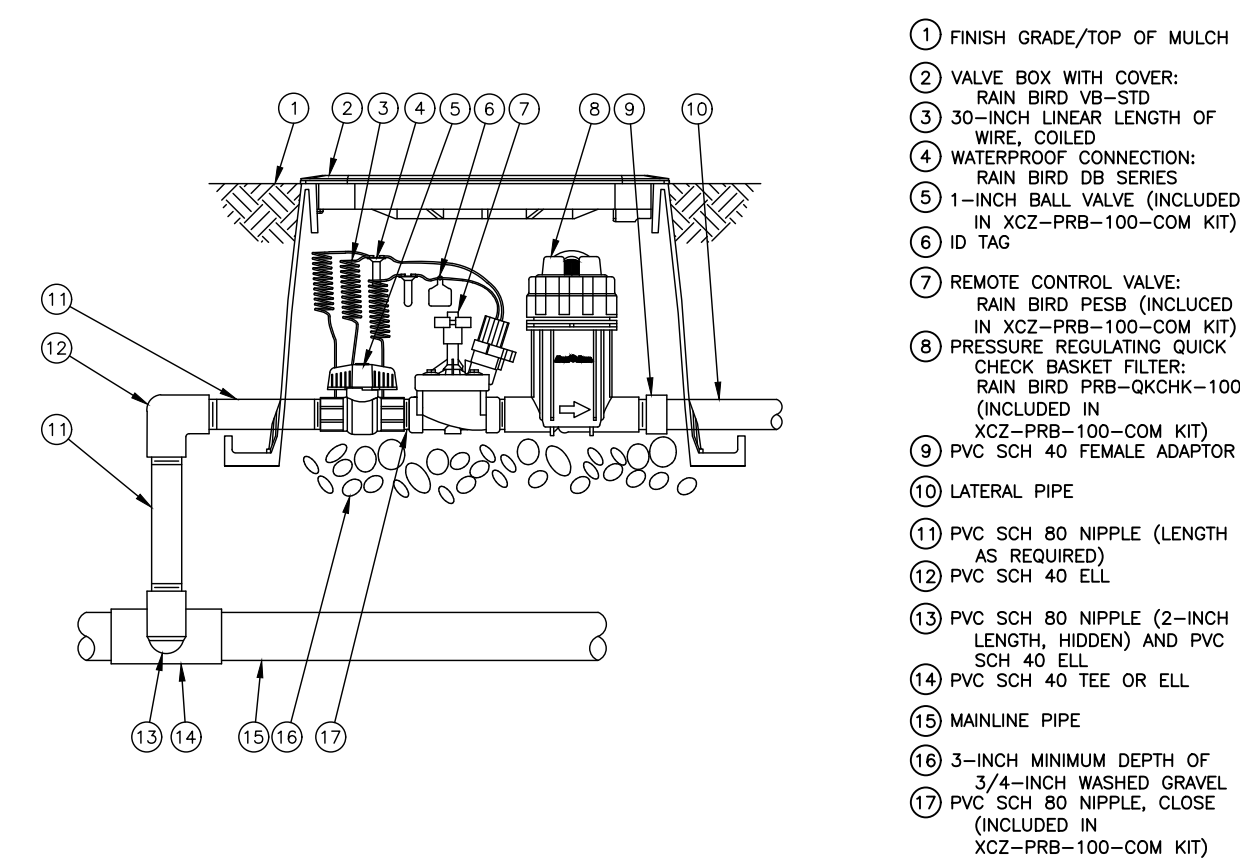
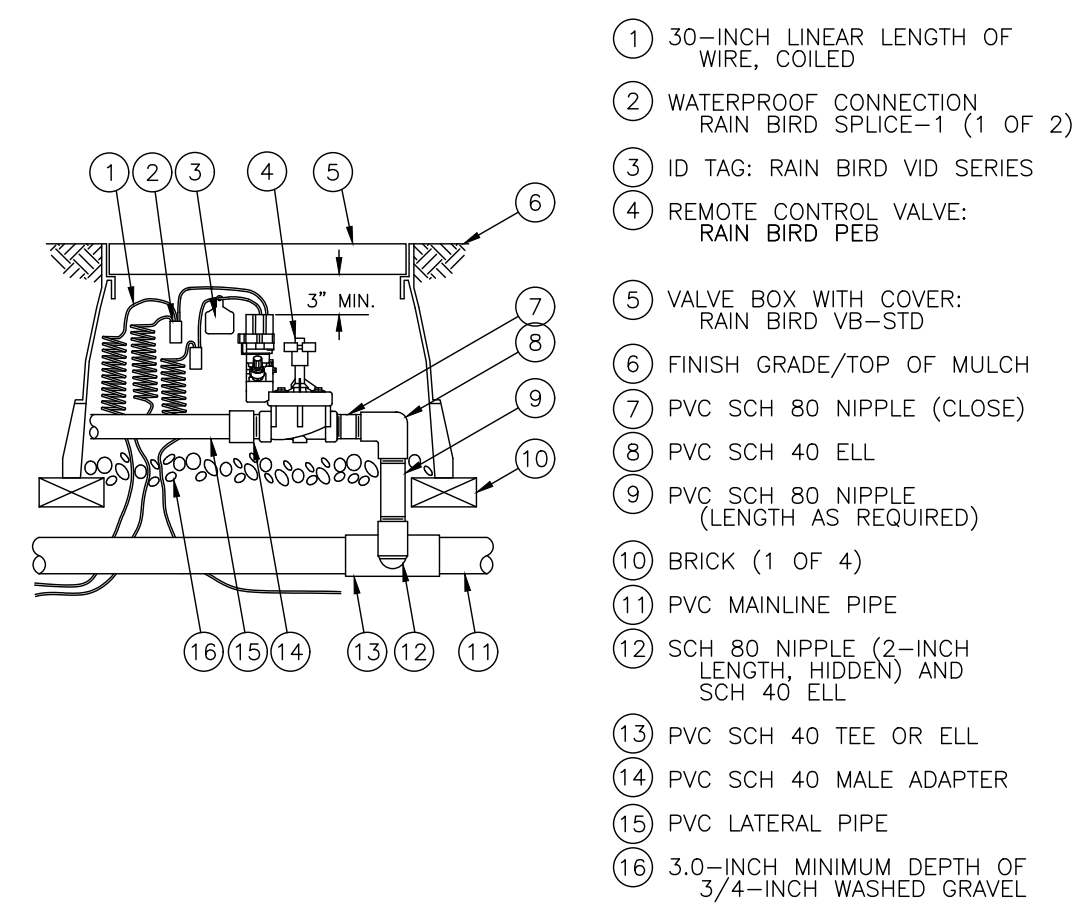
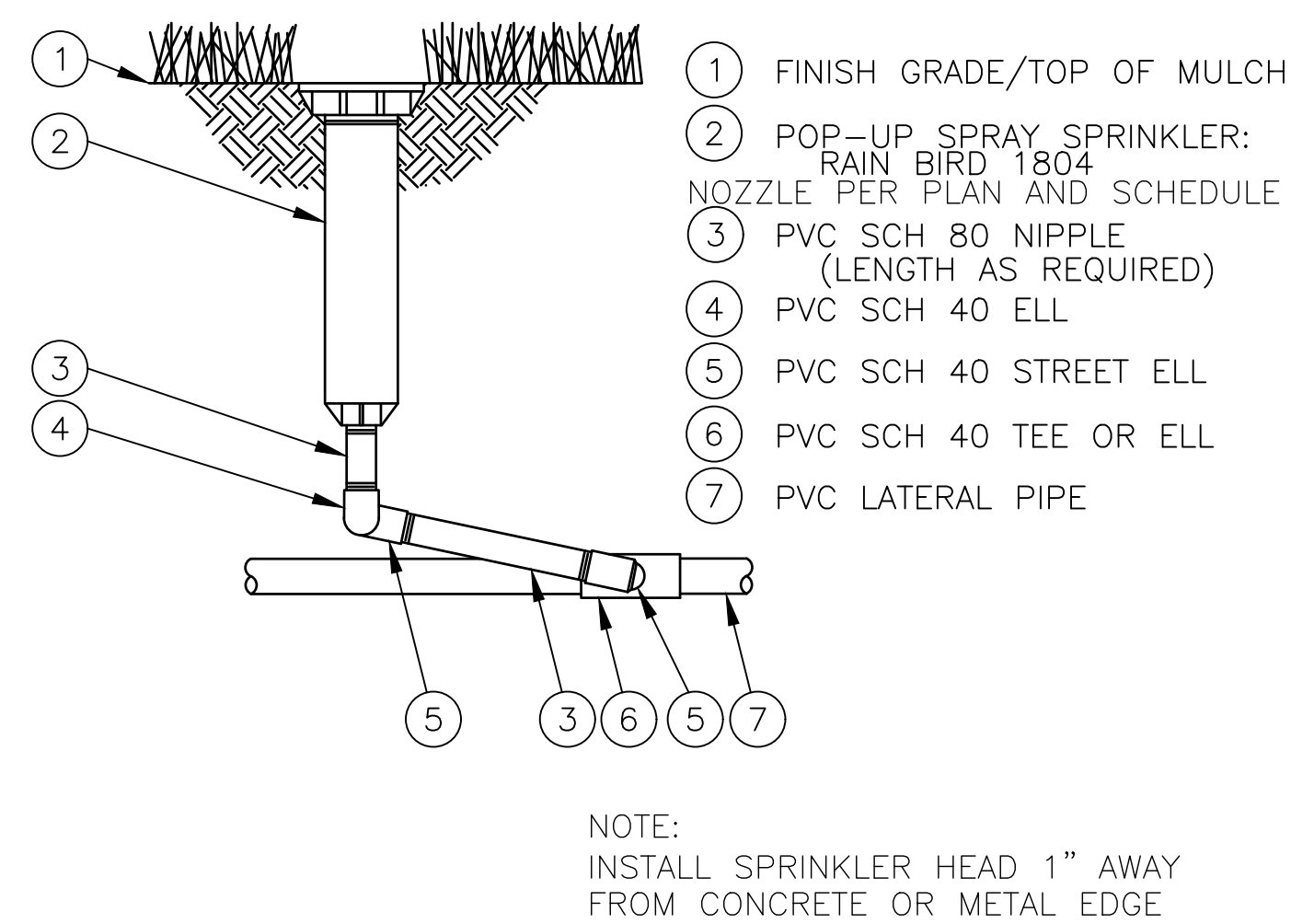
24. THE PURPOSE OF THIS SPRINKLER SYSTEM IS TO PROVIDE ONLY SUFFICIENT WATER TO MAINTAIN PLANT LIFE DURING DRY WEATHER CONDITIONS OR SUMMER SEASONS. TIME CLOCKS SHALL BE READJUSTED CONTINUOUSLY THROUGHOUT THE SEASON, ON A WEEKLY BASIS IF NECESSARY, TO PROVIDE WATER ONLY WHEN THE SOIL IS DRY AT A DEPTH OF FOUR (4) INCHES THE FIRST INITIAL GROWING SEASON AND SIX (6) INCHES THE FOLLOWING YEARS. IF THE GROUND IS MOIST EITHER AT THE SURFACE OR A DEPTH OF FOUR (4) INCHES DURING THE FIRST YEAR AFTER INITIAL PLANT ESTABLISHMENT OR IS MOIST AT A DEPTH OF SIX (6) INCHES THEREAFTER, SHUT THE TIME CLOCKS OFF AND DO NOT APPLY ADDITIONAL WATER UNTIL SOIL HAS BEEN ALLOWED TO DRY. READJUST TIME CLOCK PRIOR TO TURNING VALVES BACK ON. IF RAIN IS FORECAST OR IS EMINENT, ALL IRRIGATION SYSTEMS SHALL BE SHUT OFF AND NOT REACTIVATED UNTIL THE SOIL HAS DRIED TO THE ABOVE DEPTHS.
25. IF ANY SUBSURFACE DRAINAGE OR RUN-OFF IS VISIBLE AT LOW AREAS, ACROSS SIDEWALKS OR AT LOWER PORTIONS OF CLIMBERS, IMMEDIATELY SHUT THE CLOCKS OFF AND REMOVE THE AREA TO COMPLETELY DRY OUT. IF THIS CONDITION CONTINUES AFTER SUBSEQUENT WATERING, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE.
26. INSPECTIONS OF IRRIGATION SYSTEM SHALL BE MADE ON A DAILY BASIS TO OBSERVE AND PROVIDE REPAIRS OR REMEDIES TO THE FOLLOWING UNACCEPTABLE PROBLEMS:
 - 26.1. OVER-SPRAY ON SIDEWALKS, STREETS, PAVED AREAS, PARKING AREAS, FENCES, WALLS, SIGNS, BUILDINGS OR STRUCTURES.
 - 26.2. DRAINAGE OR RUN-OFF ACROSS SIDEWALKS, PAVING OR STREETS.
 - 26.3. DAMAGED OR IMPROPERLY OPERATING HEADS, PIPING, VALVES, CONTROLLERS OR OTHER IRRIGATION EQUIPMENT.
27. CONTRACTOR TO PROVIDE 2 HOURS OF TRAINING TO OWNER AT END OF PROJECT REGARDING OPERATION FOR IRRIGATION SYSTEM. CONTRACTOR WILL SHOW OWNER HOW TO OPERATE THE FOLLOWING: STOP AND WASTE VALVE, BACKFLOW VALVE, CONTROLLER, AND REMOTE CONTROL VALVES.



PROJECT #:	19-362
DRAWN BY:	J. HENDRICKSON
PROJECT MANAGER:	J. HENDRICKSON
ISSUED:	03.03.20



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BYLUND RETAIL BUILDING
94 NORTH HIGHWAY 198
SANTAQUIN, UTAH COUNTY, UTAH 84655

[illegible]

PROJECT #:	19-362
DRAWN BY:	J. HENDRICKSON
PROJECT MANAGER:	J. HENDRICKSON
ISSUED:	03.03.20



DETAILS

L303

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THE ORCHARDS

PLAT G-3

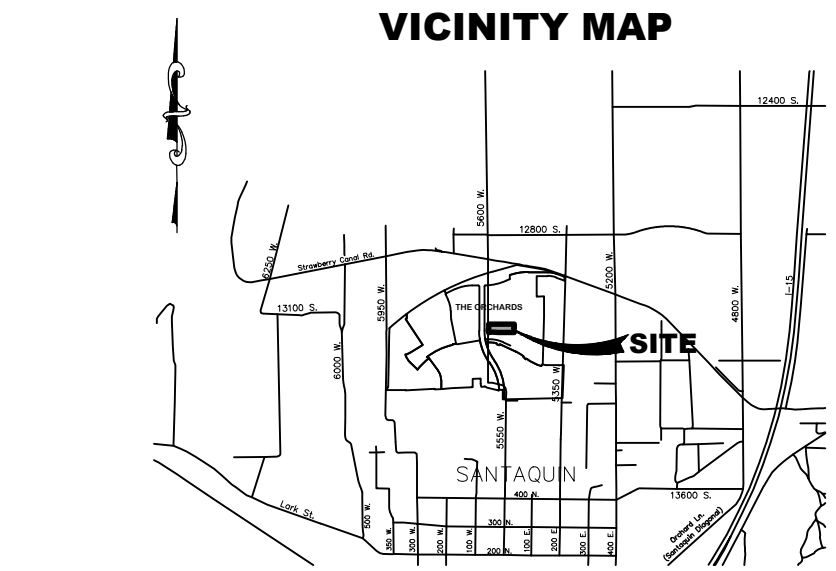
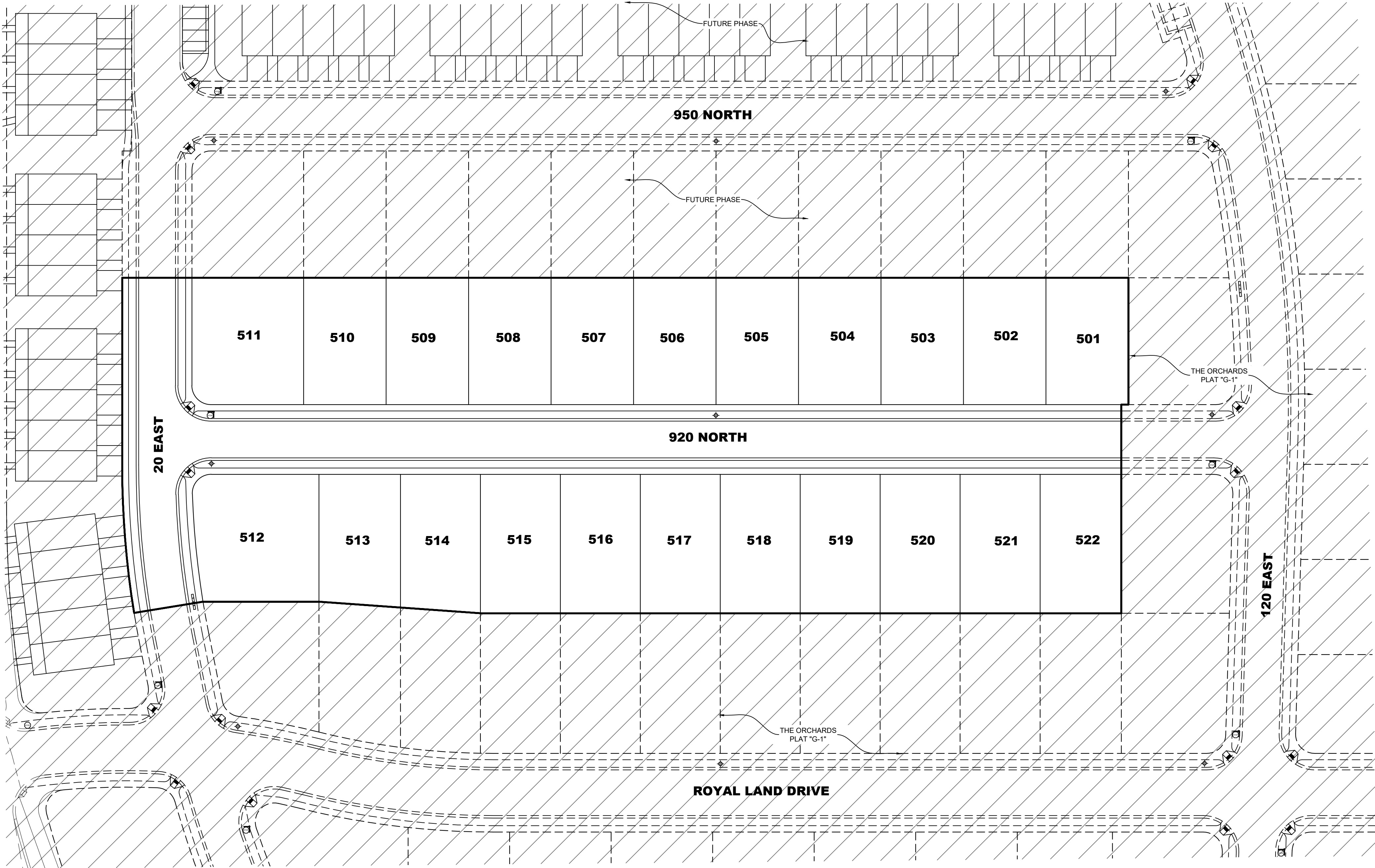
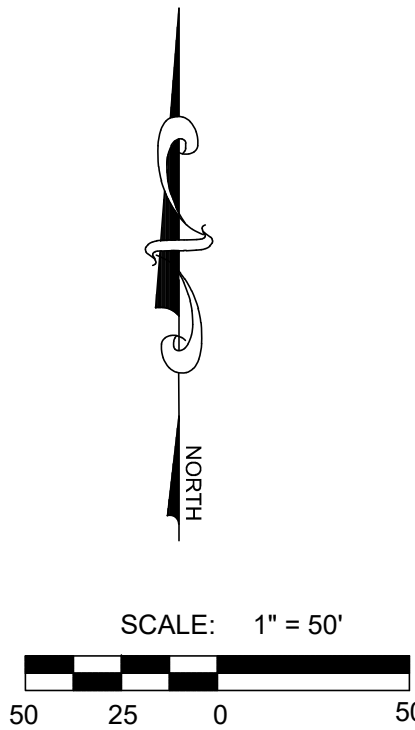


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SHEET 1	OVERALL UTILITY PLAN
SHEET 2	GRADING PLAN
SHEET 3	920 NORTH PLAN & PROFILE
SHEET 4	20 EAST PLAN & PROFILE
SHEET 5	DETAILS

TABULATIONS

TOTAL AREA	4.75 ACRES±
ZONE	R-10 (PUD)
TOTAL ACRES IN ROADS	1.26 ACRES±
# OF UNITS	22 UNITS
DENSITY	4.63 U/A

NOTES

- ALL CONSTRUCTION TO BE DONE ACCORDING TO SANTAQUIN CITY STANDARDS AND SPECIFICATIONS.
- PROJECT VERTICAL DATUM: ELEVATION 4862.19 ON THE 1933 G.L.O. TYPE MONUMENT AT THE NORTHEAST CORNER OF SECTION 15, T10S, R1E, S1, B&M, AS PUBLISHED BY THE UTAH COUNTY SURVEYOR AND RECORDED AS ENTRY 48692 IN BOOK 3730 PAGE 846 OF THE OFFICIAL RECORDS OF UTAH COUNTY.
- ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- ALL RECOMMENDATIONS MADE IN THE GEOTECHNICAL REPORT DATED AUGUST 14, 2007 PREPARED BY IGES FOR THE ORCHARDS DEVELOPMENT MUST BE FOLLOWED.
- 18' MIN. VERTICAL SEPARATION BETWEEN CW AND PI, SD OR SS AT ALL CROSSINGS. CW TO HAVE 4' MIN COVER AS PER CITY STANDARD.
- NOTE TO DEVELOPERS AND GENERAL CONTRACTORS: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY STANDARDS.

LEGEND

EXISTING	
WATER METER	⊗
WATER	— EX-W —
WATER VALVE	⊗
FIRE HYDRANT	⊗
SEWER	— EX-SS —
SEWER MANHOLE	⊗
STORM DRAIN	— EX-SD —
STORM DRAIN MANHOLE	⊗
STORM DRAIN CURB INLET	⊗
PI	— EX-PI —
PI VALVE	⊗
FENCE	— X —
PROPOSED	
WATER	— W —
WATER VALVE	⊗
WATER METER	⊗
FIRE HYDRANT	⊗
SEWER	— SS —
SEWER MANHOLE	⊗
STORM DRAIN	— SD —
STORM DRAIN MANHOLE	⊗
STORM DRAIN CURB INLET	⊗
PI	— PI —
PI VALVE	⊗
STOP SIGN	⊗
STREET SIGN	⊗

DEVELOPER / OWNER

JIMMY DEGRAFFENRIED
(801) 830-5940

ENGINEER

LEI CONSULTING ENGINEERS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
(801) 798-0555

PROJECT NAME

THE ORCHARDS PLAT G-3



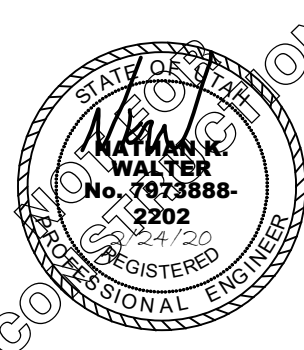
- A Utah Corporation -

ENGINEERS

SURVEYORS

PLANNERS

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



THE ORCHARDS EAST

SANTAQUIN, UTAH

OVERALL COVER PAGE

REVISIONS

1	-
2	-
3	-
4	-
5	-
6	-

LEI PROJECT #:

2015-0106

DRAWN BY:

BAP

DESIGNED BY:

NKW

SCALE:

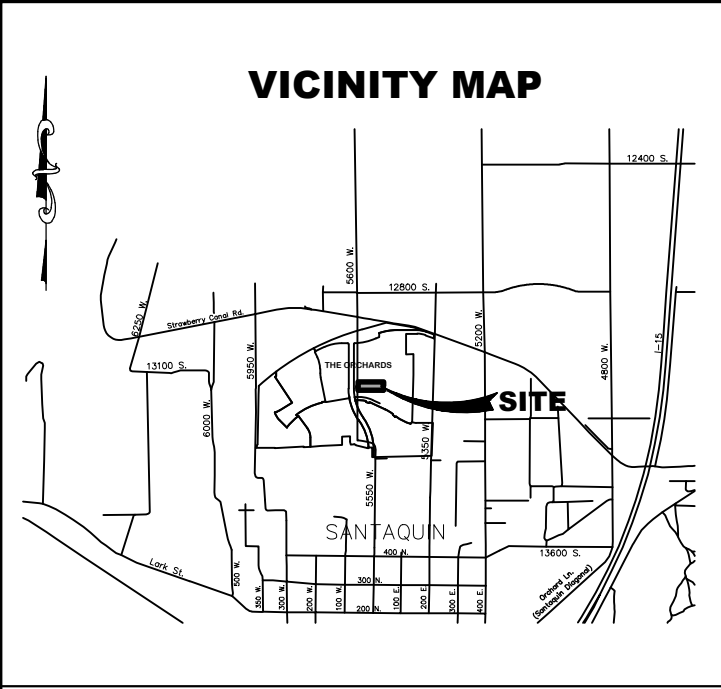
1" = 50'

DATE:

2/24/2020

SHEET

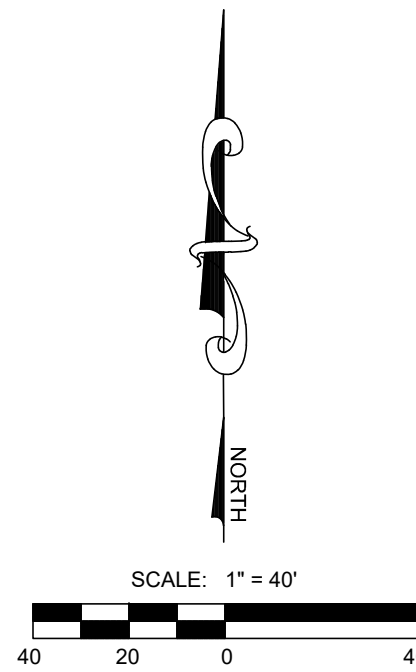
COVER



THE ORCHARDS

PLAT "G-3"

A PLANNED COMMUNITY
A PORTION OF THE NORTHWEST QUARTER OF SECTION
36, T.9S., R.1E., S.L.B.&M., SANTAQUIN CITY, UTAH



SURVEYOR'S CERTIFICATE

I, RYAN W. HALL, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6310734 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S), THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, OF SAID CODE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED, AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

A PORTION OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT LOCATED N89°32'33"E 134.74 FEET AND NORTH 573.79 FEET FROM THE WEST QUARTER CORNER OF SECTION 36, TOWNSHIP 9 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN; THENCE NORTHWESTERLY ALONG THE ARC OF A 727.50 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT (RADIUS BEARS: N80°46'31"E) 117.13 FEET THROUGH A CENTRAL ANGLE OF 9°13'29" (CHORD: N4°36'45"W 117.00 FEET); THENCE NORTH 147.60 FEET; THENCE THENCE EAST 793.00 FEET; THENCE SOUTH 100.00 FEET; THENCE WEST 5.61 FEET; THENCE SOUTH 164.52 FEET; THENCE WEST 505.00 FEET; THENCE WEST 955.00 FEET; THENCE N85°54'17"W 127.59 FEET; THENCE WEST 91.42; THENCE S80°46'31"W 55.00 FEET TO THE POINT OF BEGINNING.

CONTAINS: 4.75 ACRES

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, EASEMENTS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS
DAY OF _____, A.D. 20____

LIMITED LIABILITY COMPANY ACKNOWLEDGEMENT

STATE OF UTAH S.S.
COUNTY OF UTAH

ON THIS _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME _____ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE _____ OF _____ LIMITED LIABILITY COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

NOTARY PUBLIC FULL NAME: _____
COMMISSION NUMBER: _____
MY COMMISSION EXPIRES: _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED BY MAYOR _____

APPROVED _____ ENGINEER (See Seal Below) ATTEST _____ CLERK-RECORDER (See Seal Below)

PLAT "G-3"

THE ORCHARDS

A PLANNED COMMUNITY

A PORTION OF THE NORTHWEST QUARTER OF SECTION 36, T.9S., R.1E., S.L.B.&M.

SANTAQUIN

UTAH COUNTY, UTAH

SCALE: 1" = 40'

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	COUNTY-RECORDER SEAL

This form approved by Utah County and the municipalities therein.

NAD27 STATE PLANE COORDINATES

	Northing	Easting
A	603525.76	1919968.33
B	604100.44	1920103.02
C	604217.02	1920093.62
D	604364.57	1920093.62
E	604364.57	1920886.36
F	604264.60	1920886.36
G	604264.60	1920880.74
H	604100.14	1920880.74
I	604100.14	1920375.91
J	604109.25	1920248.69
K	604109.25	1920157.29

GRID FACTOR: 0.99967

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	15.00	91°57'09"	24.07	S44°01'26"W 21.57
C2	672.50	7°16'20"	85.36	S5°35'19"E 85.30
C3	15.00	90°00'00"	23.56	S45°00'00"E 21.21
C4	700.00	9°13'29"	112.70	S4°36'45"E 112.58

DOMINION ENERGY ACCEPTANCE

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT OF WAY DEPARTMENT AT 1-800-366-8532.

APPROVED THIS _____ DAY OF _____, 20____

DOMINION ENERGY GAS COMPANY

BY- _____
TITLE- _____

CENTRACOM ACCEPTANCE

APPROVED THIS _____ DAY OF _____, A.D. 20____,
CENTRACOM COMPANY
BY- _____ TITLE- _____

CENTURY LINK ACCEPTANCE

APPROVED THIS _____ DAY OF _____, A.D. 20____,
CENTURY LINE COMPANY
BY- _____ TITLE- _____

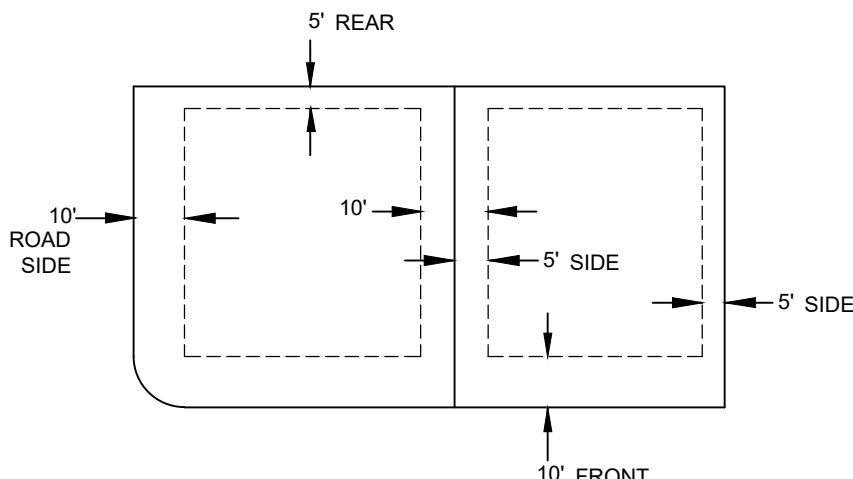
ROCKY MOUNTAIN POWER ACCEPTANCE

APPROVED THIS _____ DAY OF _____, A.D. 20____,
ROCKY MOUNTAIN POWER
BY- _____ TITLE- _____

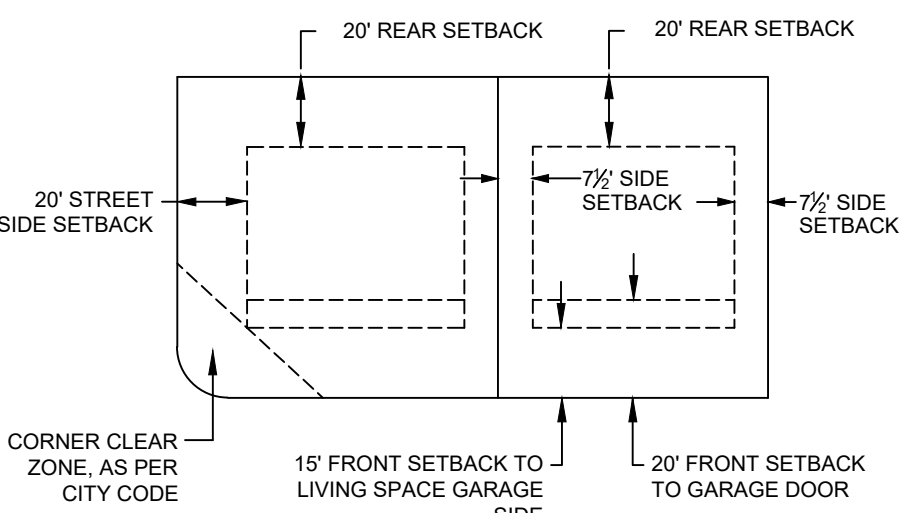
NOTES:

1. ① TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS, NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB
2. ② PROJECTION OF SIDE LOT LINES
3. ③ NDCBU - NEIGHBORHOOD DELIVERY BOX UNIT.
3. ALL FRONT YARD LANDSCAPING MUST BE BONDED OR INSTALLED PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.
4. ALTHOUGH CORNER VISIBILITY AREAS DO NOT IMPACT THE PROPOSED STRUCTURE SETBACKS ON CORNER LOTS, THE DRIVEWAY LOCATIONS MUST BE OUT OF THE CLEAR VIEW AREAS, WHICH MAY IMPACT HOME ORIENTATION.
5. (XXXX S.F.) DENOTES BUILDABLE AREA.
6. THIS PROJECT IS LOCATED IN THE VICINITY OF AN ESTABLISHED AGRICULTURE PROTECTION AREA IN WHICH NORMAL AGRICULTURAL USES AND ACTIVITIES HAVE BEEN AFFORDED THE HIGHEST PRIORITY USE STATUS. IT CAN BE ANTICIPATED THAT SUCH AGRICULTURAL USES AND ACTIVITIES MAY NOW OR IN THE FUTURE BE CONDUCTED ON THE PROPERTY INCLUDED IN THE AGRICULTURE PROTECTION AREA. THE USE AND ENJOYMENT OF THIS PROPERTY IS EXPRESSLY CONDITIONED ON ACCEPTANCE OF ANY ANNOYANCE OR INCONVENIENCE WHICH MAY RESULT FROM SUCH NORMAL AGRICULTURAL USES AND ACTIVITIES.

PUBLIC UTILITY EASEMENTS



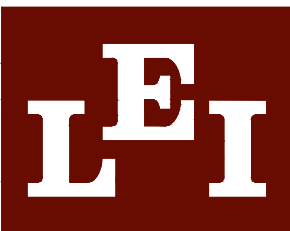
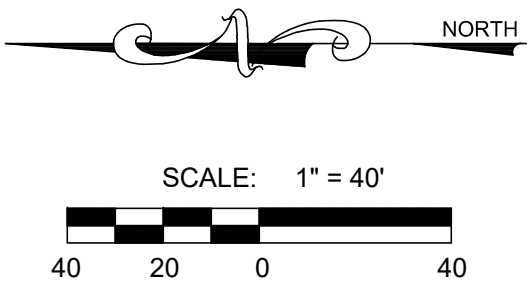
BUILDING SETBACKS (MINIMUM)



DRAWING DATE: FEBRUARY 27, 2020

OWNER/DEVELOPER

JIMMY DEGRAFFENRIED
(801) 830-5940



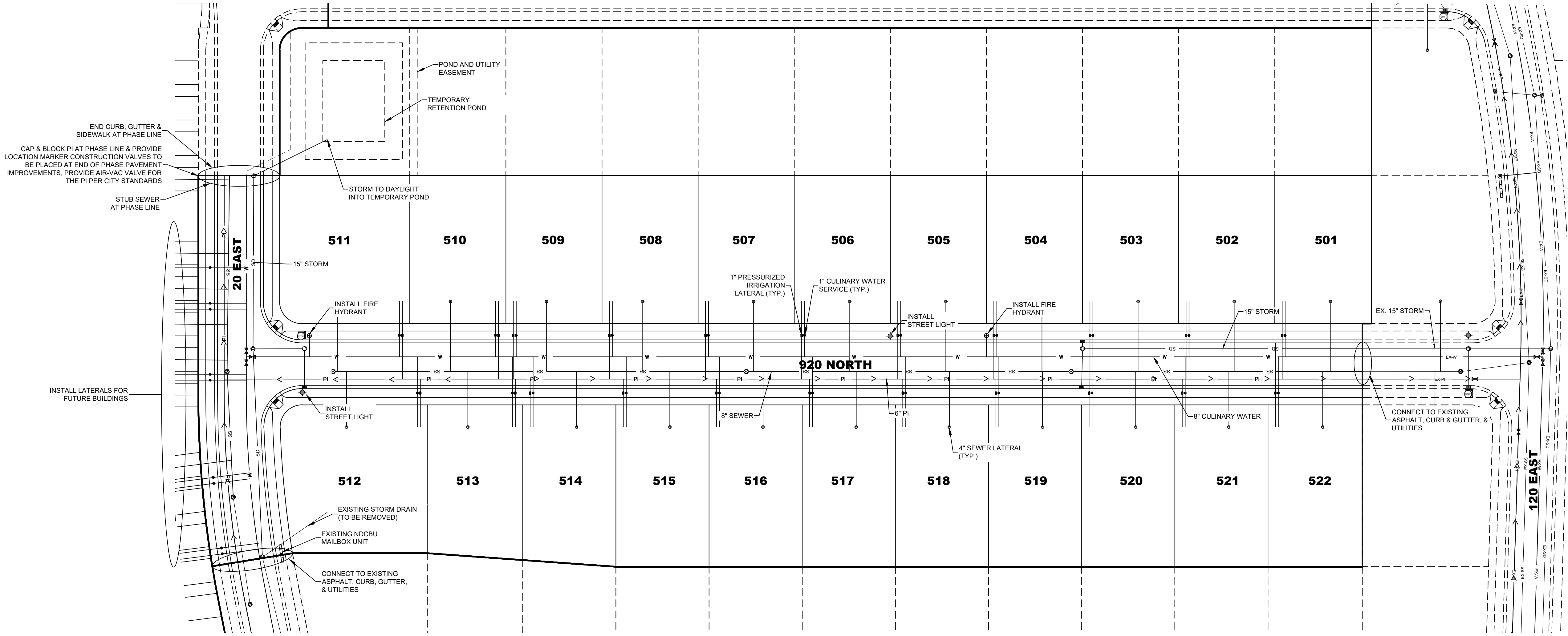
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SURVEYORS
PLANNERS

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Spanish Fork, UT 84660
Phone: 801.798.0555
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



THE ORCHARDS EAST
SANTAQUIN, UTAH

UTILITY PLAN



LEGEND	
EXISTING	
WATER METER	⊗
WATER	— EX-W —
WATER VALVE	⊗
FIRE HYDRANT	⊗
SEWER	— EX-SS —
SEWER MANHOLE	⊗
STORM DRAIN	— EX-SD —
STORM DRAIN MANHOLE	⊗
STORM DRAIN CURB INLET	⊗
PI	— EX-PI —
PI VALVE	⊗
FENCE	— X —
PROPOSED	
WATER	— W —
WATER VALVE	⊗
WATER METER	⊗
FIRE HYDRANT	⊗
SEWER	— SS —
SEWER MANHOLE	⊗
STORM DRAIN	— SD —
STORM DRAIN MANHOLE	⊗
STORM DRAIN CURB INLET	⊗
PI	— PI —
PI VALVE	⊗

REVISIONS	
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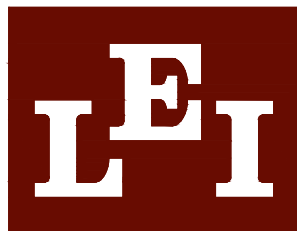
LEI PROJECT #:
2015-0106

DRAWN BY:
BAP

DESIGNED BY:
NKW

SCALE:
1" = 40'

DATE:
2/24/2020



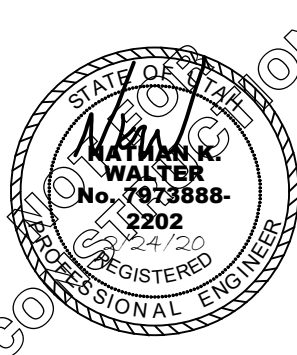
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SURVEYORS

PLANNERS

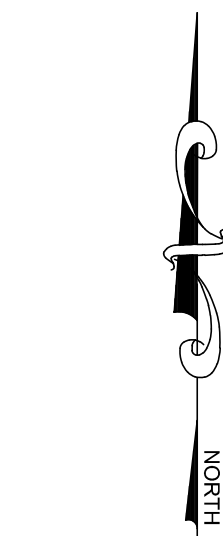
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THE ORCHARDS EAST

SANTAQUIN, UTAH

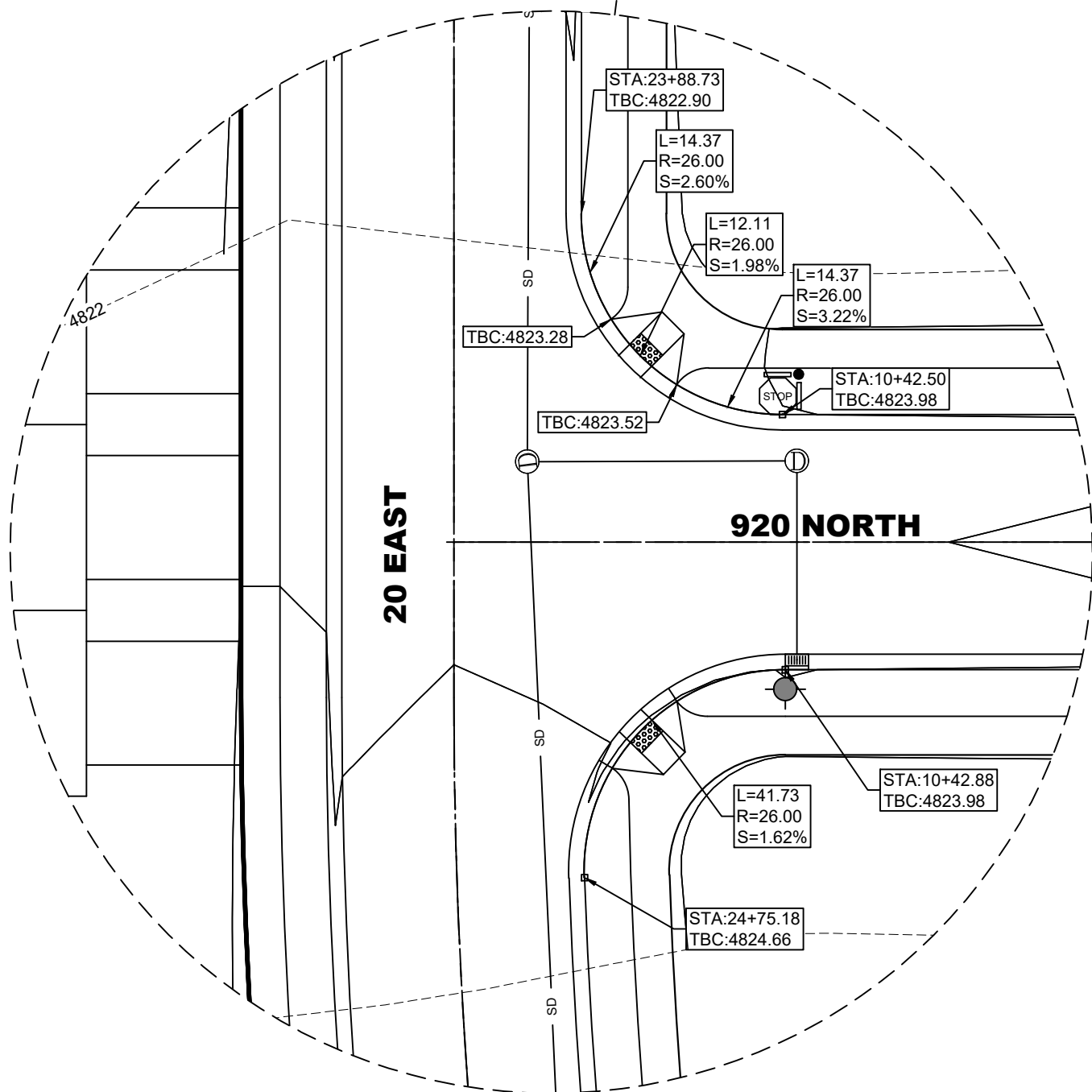
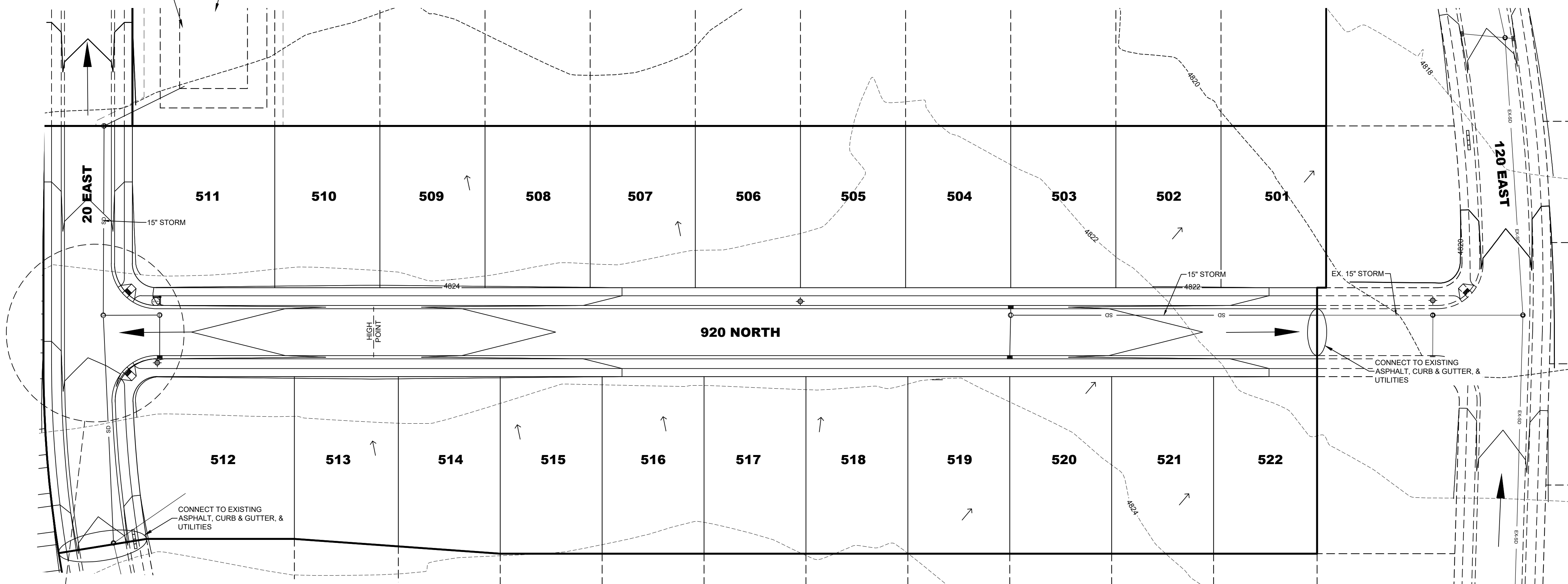
GRADING PLAN #1



SCALE: 1" = 40'

PROPOSED PRIVATE RETENTION
TOTAL REQUIRED VOLUME=7,631 C.F.
TOTAL PROVIDED VOLUME=9,835 C.F.
TOTAL DEPTH=4"
1" FREEBOARD
BOTTOM=4814.00
HIGHWATER 4817.00
FREEBOARD 4818.00

STORM DRAIN
EASEMENT IN FAVOR
OF SANTAQUIN CITY



CUT / FILL

CUT FILL VOLUME TO FINISHED GRADE

CUT - 256 CU YD
FILL - 1,383 CU YD
NET FILL - 1,127 CU YD

STREET SECTION FILL VOLUME - 2,077 CU YD
ROAD AREA LIP-LIP - 29,509 SQ FT x 1.9 FT (DEPTH) = 56,067 CU FT
3 IN ASPHALT
8 IN ROAD BASE
12 IN SUB-BASE (PER GEO-TECH REPORT)
DEPTH=23 IN OR 1.9 FT

SIDEWALK SECTION FILL VOLUME - 258 CU YD
SIDEWALK - 8,394 SQ FT x 0.83 FT (DEPTH) = 6,967 CU FT
4 IN CONCRETE
6 IN ROAD-BASE
DEPTH=10 IN OR 0.83 FT

CUT VOLUME TO SUB-GRADE = 1,014 CU YD

NOTES

- CURB, GUTTER & ASPHALT ON CENTER STREET TO BE INSTALLED BY CITY.
- NOTE TO DEVELOPERS AND GENERAL CONTRACTORS: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY STANDARDS.

REVISIONS

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LEI PROJECT #:

2015-0106

DRAWN BY:

BAP

DESIGNED BY:

NKW

SCALE:

1" = 40'

DATE:

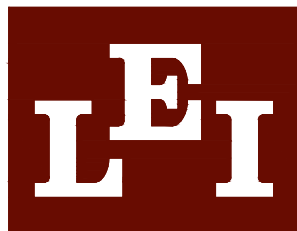
2/24/2020

SHEET

2

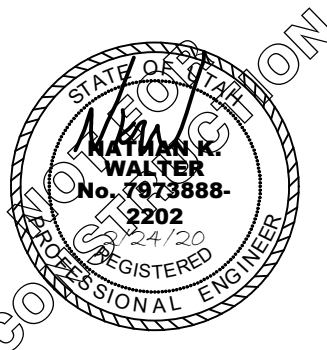
NOTES

1. NOTE TO DEVELOPERS AND GENERAL CONTRACTORS: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIQUIN CITY STANDARDS.



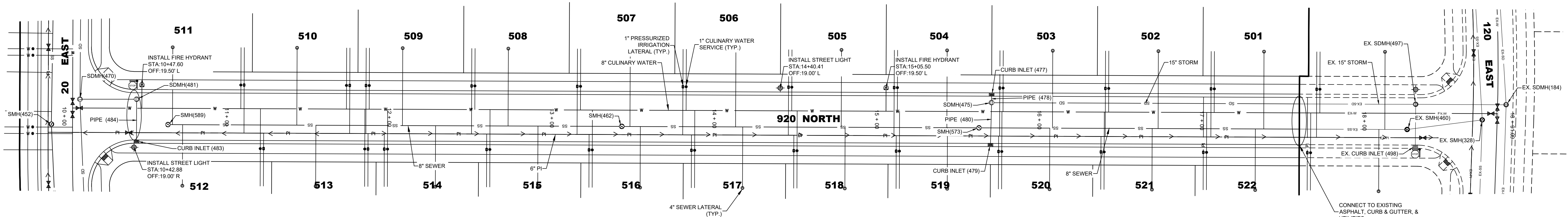
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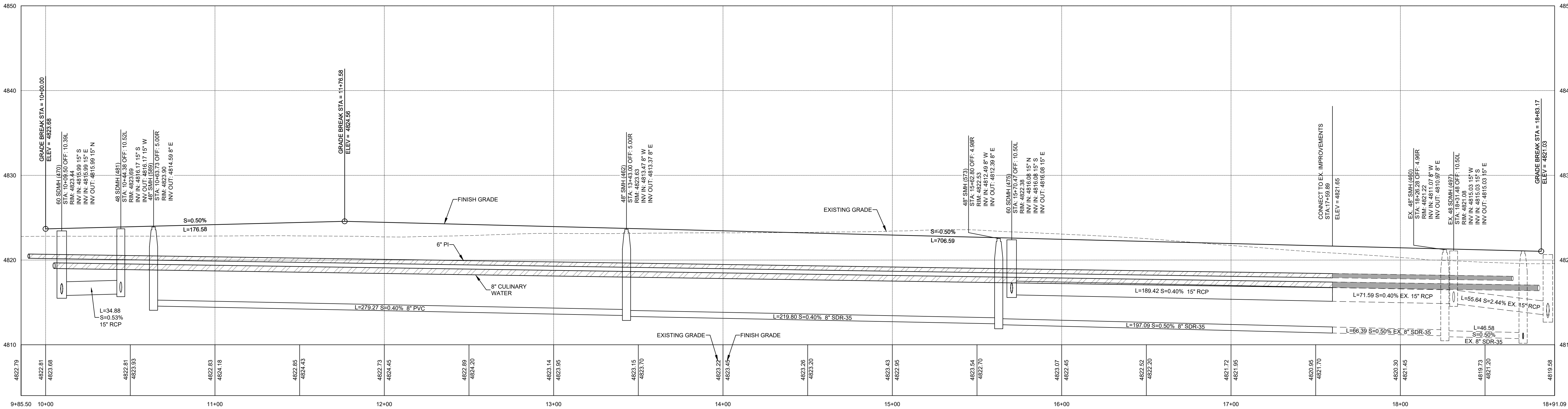
THE ORCHARDS EAST
SANTAQUIN, UTAH

920 NORTH PLAN & PROFILE



920 NORTH PLAN VIEW
CENTERLINE OMITTED FOR CLARITY

STRUCTURE TABLE			
STRUCTURE NAME:	DETAILS:	PIPES IN:	PIPES OUT
CURB INLET (477) STA:15+70.50	TBC = 4822.68 INV OUT = 4816.32		(478), 15" RCP L=4.75, S=5.00%, INV OUT =4816.32
CURB INLET (479) STA:15+69.89	TBC = 4822.68 INV OUT = 4817.37		(480), 15" RCP L=25.76, S=5.00%, INV OUT =4817.37
CURB INLET (483) STA:10+44.38	TBC = 4823.98 INV OUT = 4817.46		(484), 15" RCP L=25.77, S=5.00%, INV OUT =4817.46



920 NORTH PROFILE VIEW

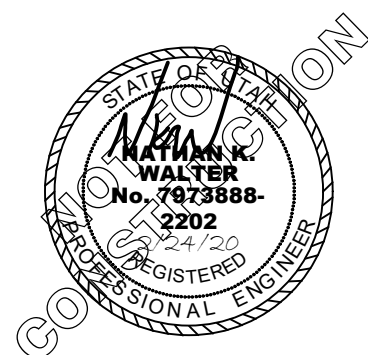
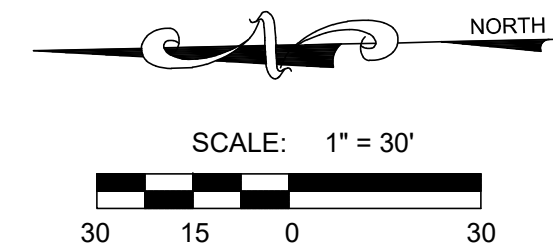
REVISIONS	
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LEI PROJECT #:
2015-0106
DRAWN BY:
BAP
DESIGNED BY:
NKW
SCALE:
1" = 30'
DATE:
2/24/2020

SHEET

3

1. NOTE TO DEVELOPERS AND GENERAL CONTRACTORS: IT IS IMPORTANT FOR THE DEVELOPER AND THE GENERAL CONTRACTOR TO UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THE DEVELOPMENT PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY STANDARDS.



THE ORCHARDS EAST

SANTAQUIN, UTAH

20 EAST PLAN & PROFILE

REVISIONS	
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LEI PROJECT #:
2015-0106

DRAWN BY:
BAP

DESIGNED BY:
NKW

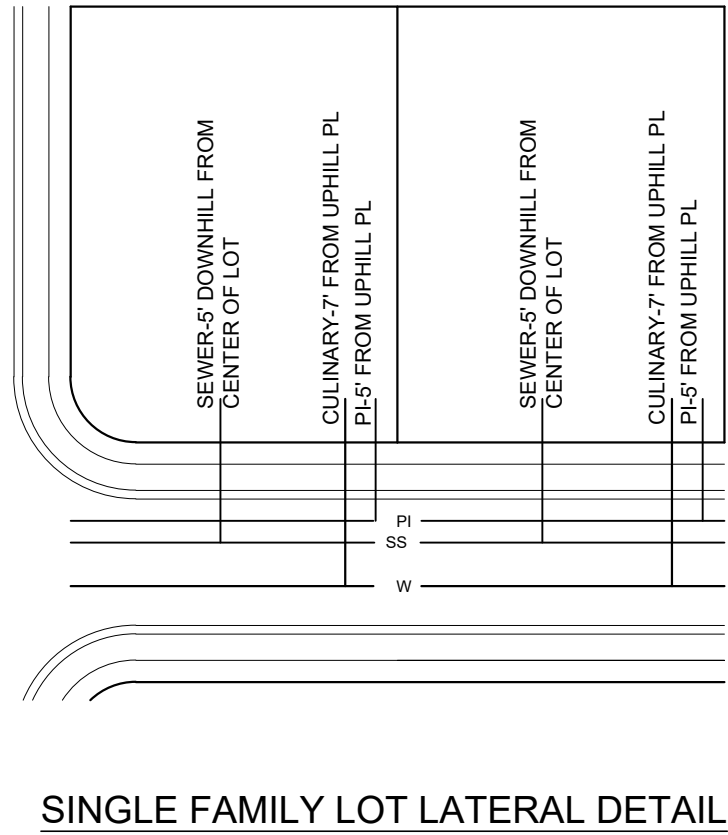
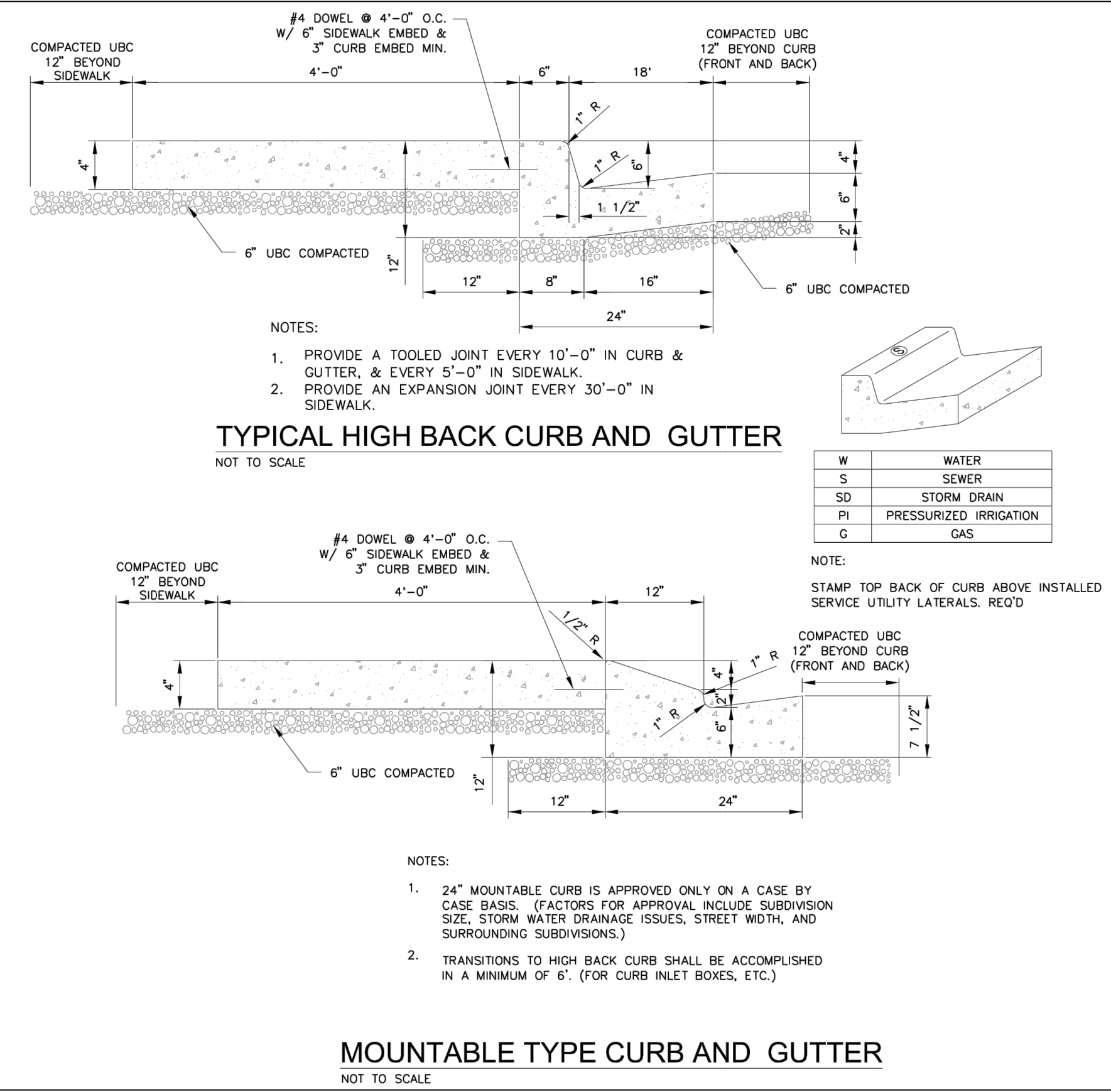
SCALE:
1" = 30'

DATE:
2/24/2020

SHEET

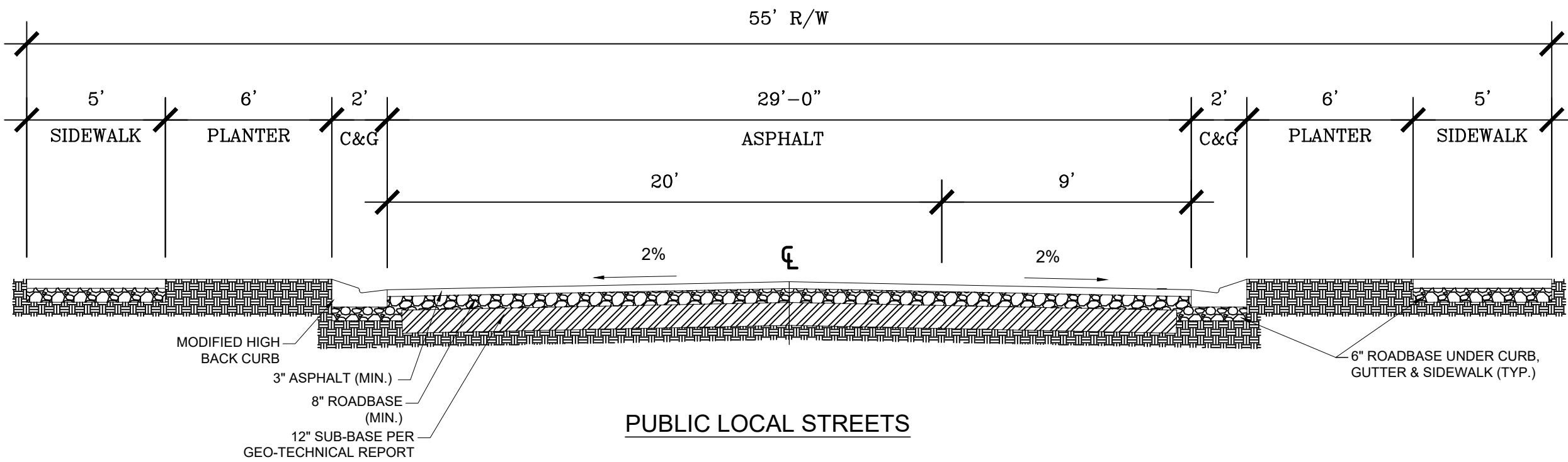
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SEE SANTAQUIN CONSTRUCTION SPECIFICATION AND STANDARDS FOR FURTHER DETAILS



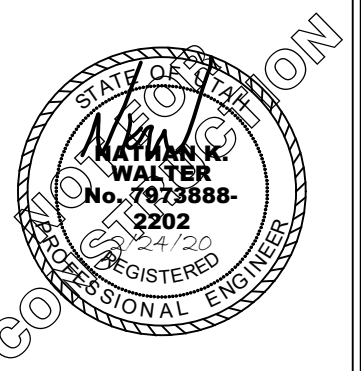
1 CURB & GUTTER DETAILS

2 LATERAL DETAIL



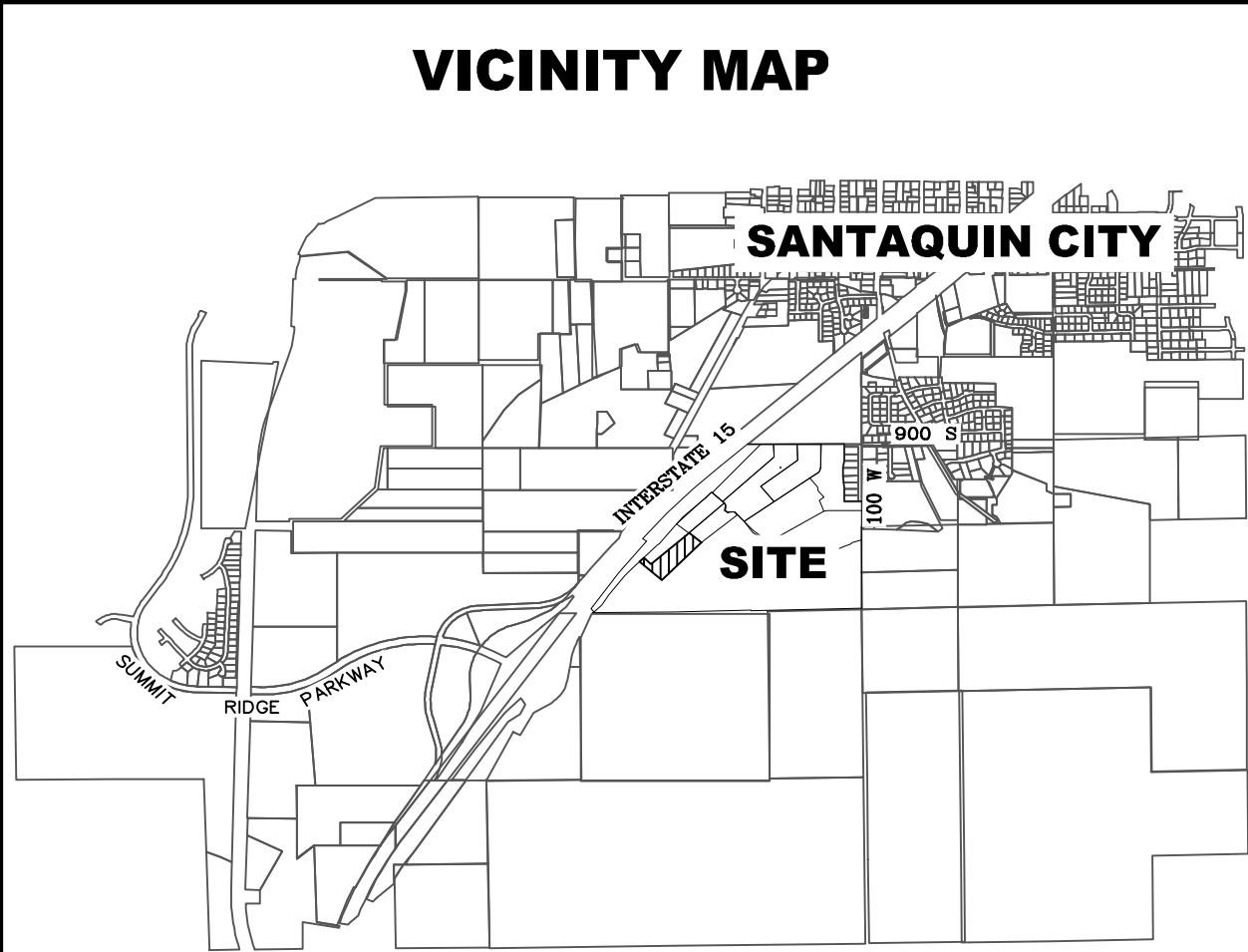
3 STREET CROSS SECTIONS

LEI
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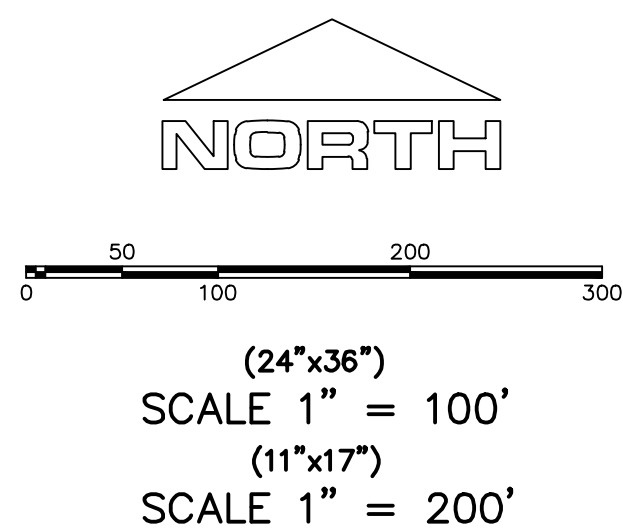
THE ORCHARDS EAST
SANTAQUIN, UTAH
DETAILS

REVISIONS	
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LEI PROJECT #: 2015-0106	
DRAWN BY: BAP	
DESIGNED BY: NKW	
SCALE: N.T.S.	
DATE: 2/24/2020	
SHEET 5	



ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

PHASES I & L TO BE BUILT CONCURRENTLY
PER SANTAQUIN CITY SECONDARY ACCESS
STANDARDS



NOTES:

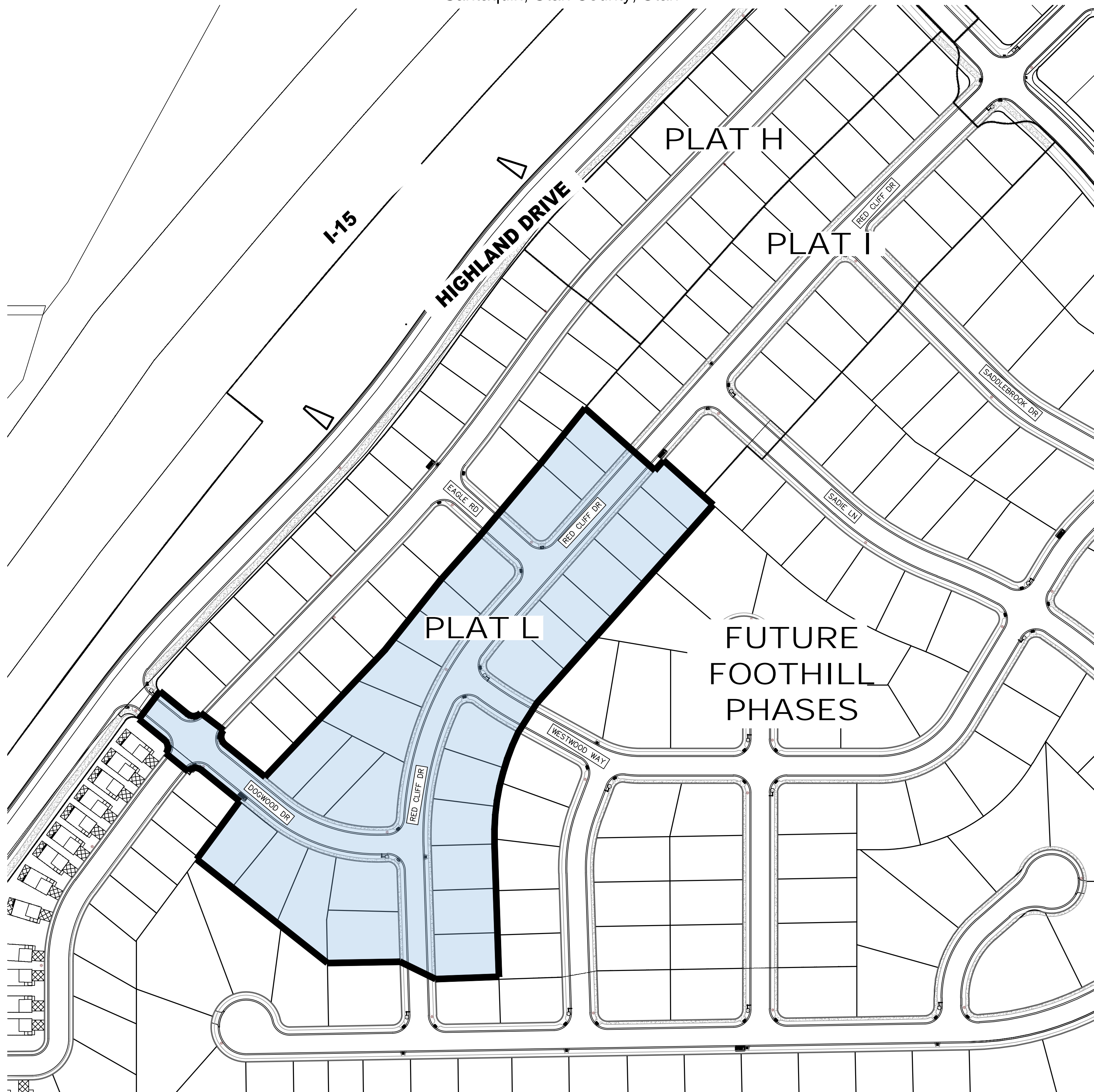
1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01, UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
5. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED.
6. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

ACCEPTANCE

SIGNATURE: DEVELOPER	DATE: _____
SIGNATURE: CITY ENGINEER	DATE: _____
SIGNATURE: COMMUNITY DEV. DIRECTOR	DATE: _____
SIGNATURE: PUBLIC WORKS	DATE: _____
SIGNATURE: BUILDING DEPARTMENT	DATE: _____
SIGNATURE: POLICE DEPARTMENT	DATE: _____
SIGNATURE: FIRE DEPARTMENT	DATE: _____

FOOTHILL VILLAGE SUBDIVISION PLAT 'L'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11,
TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
Santaquin, Utah County, Utah



PROJECT STATISTICS

LOTS 29 LOTS
TOTAL ACREAGE 6.80 ACRES
TOTAL ACREAGE IN LOTS 4.77 ACRES
TOTAL ACREAGE IN STREETS 2.03 ACRES
DENSITY 4.26 UNITS PER ACRE
ZONE R10 PUD

**PROJECT ENGINEER
& SURVEYOR**

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245

PROJECT DEVELOPER

DR HORTON
12351 So. Gateway Park Place
Suite D-100
Draper UT 84020
Office: (801) 571-7101
CKLeavitt1@horton.com

INDEX OF PLAN SHEETS

SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PLAT	FINAL PLAT
SP-01-02	SITE & UTILITY PLAN
GR-01-03	GRADING PLAN
PP-01-06	PLAN & PROFILE
EC-01	EROSION CONTROL PLAN
EC-02	EROSION CONTROL DETAILS
DT-01	TYPICAL DETAILS

Engineering
& Surveying

region

1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



**FOOTHILL VILLAGE SUBDIVISION
PLAT 'L'**

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 2.17.2020

PROJECT #

REVISIONS:

1	
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SHEET NAME:

COVER SHEET & NOTES

SHEET:

CS-01

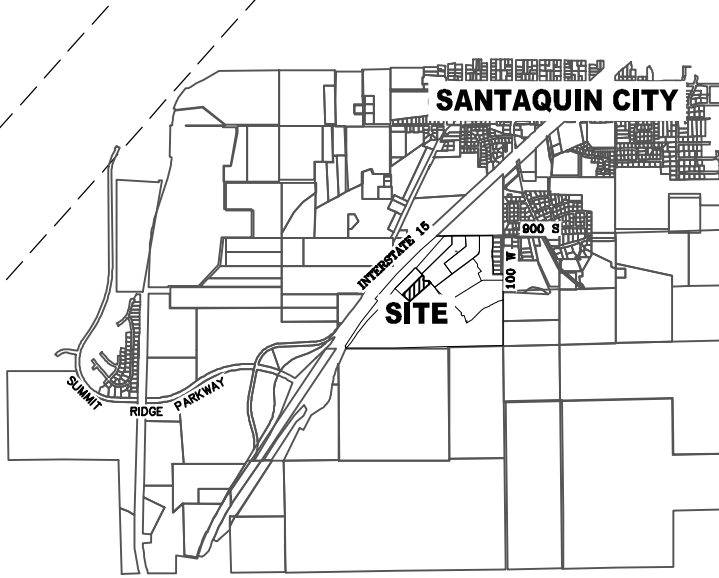
CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	181.65'	372.50'	179.85'	S12°04'28"W	27°56'22"
C2	23.52'	15.00'	21.18'	S84°12'26"W	89°50'21"
C3	23.60'	15.00'	21.24'	N5°47'48"W	90°09'11"
C4	22.69'	15.00'	20.59'	N85°47'08"E	86°41'01"
C5	24.47'	15.00'	21.85'	S4°07'48"E	93°29'11"
C6	112.11'	500.00'	111.87'	S54°46'46"E	12°50'47"
C7	88.76'	500.00'	88.65'	N36°33'29"E	10°10'17"
C8	287.09'	500.00'	283.16'	N15°01'25"E	32°53'52"
C9	4.11'	500.00'	4.11'	N1°39'38"W	0°28'14"
C10	176.94'	250.00'	173.27'	N71°08'57"W	40°33'08"
C11	60.75'	372.50'	60.69'	S21°22'17"W	9°20'41"
C12	62.10'	372.50'	62.03'	S11°55'23"W	9°33'09"
C13	58.79'	372.50'	58.73'	S2°37'32"W	9°02'33"
C14	81.46'	472.50'	81.36'	S12°05'09"W	9°52'41"
C15	68.29'	472.50'	68.23'	S21°09'54"W	8°16'50"
C16	26.52'	15.00'	23.20'	S75°57'18"W	10°17'58"
C17	71.89'	527.50'	71.82'	N57°17'56"W	7°48'26"
C18	73.52'	472.50'	73.45'	S56°44'42"E	8°54'54"
C19	23.12'	15.00'	20.90'	S8°07'36"E	88°19'18"
C20	46.26'	472.50'	46.24'	S38°50'20"W	5°36'35"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C21	23.56'	15.00'	21.21'	N86°38'38"E	90°00'00"
C22	23.56'	15.00'	21.21'	N3°21'22"W	90°00'00"
C23	51.90'	527.50'	51.87'	N38°49'32"E	5°38'12"
C24	52.04'	527.50'	52.02'	N33°10'51"E	5°39'09"
C25	70.96'	527.50'	70.91'	N26°30'02"E	7°42'29"
C26	91.87'	527.50'	91.75'	N17°39'27"E	9°58'42"
C27	88.39'	527.50'	88.28'	N7°52'05"E	9°36'01"
C28	22.39'	15.00'	20.37'	N45°49'17"E	85°30'24"
C29	92.69'	222.50'	92.02'	S79°29'29"E	23°52'05"
C30	56.57'	222.50'	56.42'	S60°16'24"E	14°34'04"
C31	8.22'	222.50'	8.22'	S51°55'52"E	2°06'58"
C32	22.92'	277.50'	22.91'	N53°14'21"W	4°43'56"
C33	55.24'	277.50'	55.15'	N61°18'28"W	11°24'18"
C34	46.30'	277.50'	46.24'	N71°47'24"W	9°33'33"
C35	71.95'	277.50'	71.75'	N83°59'51"W	14°51'21"
C36	23.44'	15.00'	21.13'	N46°39'38"W	89°31'46"
C37	74.57'	472.50'	74.49'	S2°37'32"W	9°02'33"

FOOTHILL VILLAGE SUBDIVISION PLAT 'L'

LOCATED IN THE SOUTHWEST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
Santaquin, Utah County, Utah

VICINITY MAP



Surveyor's Certificate

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

Boundary Description

BEGINNING AT A POINT THAT IS S.0°04'51"E. ALONG THE SECTION LINE 1691.17 FEET AND WEST 2280.41 FEET FROM THE EAST ¼ CORNER OF SECTION 11, TOWNSHIP 10 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN;

THENCE, S 41° 38' 38" W FOR A DISTANCE OF 418.34 FEET TO A POINT ON A LINE. THENCE, S 32° 32' 19" W FOR A DISTANCE OF 55.12 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 27° 56' 22", HAVING A RADIUS OF 372.50 FEET, AND WHOSE LONG CHORD BEARS S 12° 04' 26" W FOR A DISTANCE OF 179.85 FEET. THENCE, S 01° 53' 45" E FOR A DISTANCE OF 210.41 FEET TO A POINT ON A LINE. THENCE, S 88° 03' 11" W FOR A DISTANCE OF 99.96 FEET TO A POINT ON A LINE. THENCE, N 63° 56' 47" W FOR A DISTANCE OF 62.31 FEET TO A POINT ON A LINE. THENCE, S 88° 59' 33" W FOR A DISTANCE OF 114.71 FEET TO A POINT ON A LINE. THENCE, N 51° 53' 27" W FOR A DISTANCE OF 263.47 FEET TO A POINT ON A LINE. THENCE, N 36° 32' 02" E FOR A DISTANCE OF 114.05 FEET TO A POINT ON A LINE. THENCE, N 50° 52' 23" W FOR A DISTANCE OF 78.21 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 89° 50' 21", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS S 84° 12' 26" W FOR A DISTANCE OF 21.18 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE. THENCE, N 50° 58' 40" W FOR A DISTANCE OF 45.00 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 90° 09' 11", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS N 05° 47' 48" W FOR A DISTANCE OF 21.24 FEET. THENCE, N 50° 52' 23" W FOR A DISTANCE OF 52.08 FEET TO A POINT ON A LINE. THENCE, N 37° 10' 26" E FOR A DISTANCE OF 55.03 FEET TO A POINT ON A LINE. THENCE, S 50° 52' 23" E FOR A DISTANCE OF 56.53 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 86° 41' 01", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS N 85° 47' 06" E FOR A DISTANCE OF 20.59 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE. THENCE, S 53° 07' 44" E FOR A DISTANCE OF 21.24 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 93° 29' 11", HAVING A RADIUS OF 15.00 FEET, AND WHOSE LONG CHORD BEARS S 04° 07' 48" E FOR A DISTANCE OF 21.85 FEET. THENCE, S 50° 52' 23" E FOR A DISTANCE OF 82.28 FEET TO A POINT ON A LINE. THENCE, N 43° 21' 55" E FOR A DISTANCE OF 274.62 FEET TO A POINT ON A LINE. THENCE, N 38° 31' 24" E FOR A DISTANCE OF 144.95 FEET TO A POINT ON A LINE. THENCE, N 41° 38' 38" E FOR A DISTANCE OF 90.00 FEET TO A POINT ON A LINE. THENCE, N 40° 14' 51" E FOR A DISTANCE OF 55.02 FEET TO A POINT ON A LINE. THENCE, N 39° 53' 35" E FOR A DISTANCE OF 95.04 FEET TO A POINT ON A LINE. THENCE, N 38° 41' 14" E FOR A DISTANCE OF 110.15 FEET TO A POINT ON A LINE. THENCE, N 40° 37' 20" E FOR A DISTANCE OF 1.47 FEET TO A POINT ON A LINE. THENCE, S 48° 21' 22" E FOR A DISTANCE OF 147.82 FEET TO A POINT ON A LINE. THENCE, N 41° 38' 38" E FOR A DISTANCE OF 20.79 FEET TO A POINT ON A LINE. THENCE, S 48° 04' 44" E A DISTANCE OF 105.00 FEET TO THE POINT OF BEGINNING

CONTAINS: ±6.80 ACRES AND 29 TOTAL LOTS

DATE

SURVEYOR

(See Seal Below)

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREBY AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREOF FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HERETO SET OUR HANDS THIS

DAY OF _____, A.D. 20____

LIMITED COMPANY ACKNOWLEDGEMENT

STATE OF UTAH

S.S.

COUNTY OF UTAH

ON THIS _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME _____ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE _____ OF _____ A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS

PRINTED FULL NAME OF NOTARY

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

APPROVED MAYOR OF SANTAQUIN

ENGINEER
(See Seal Below)

ATTEND
CLERK-RECORDER
(See Seal Below)

FOOTHILL VILLAGE SUBDIVISION PLAT 'L'

UTAH COUNTY, UTAH

SCALE: 1" = 50 FEET



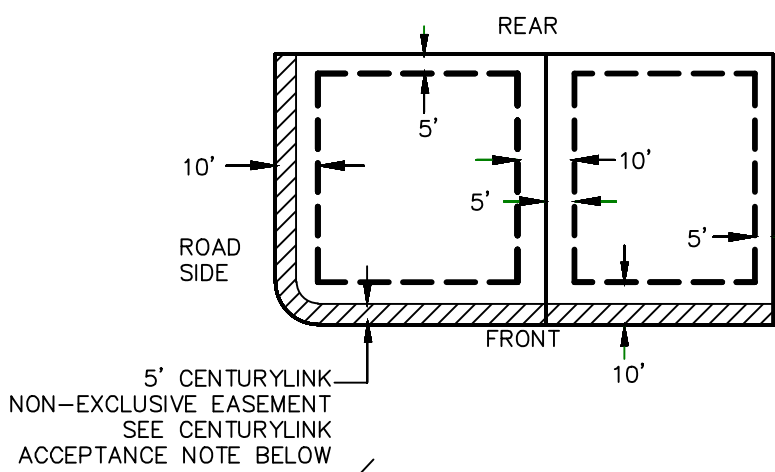
NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAL

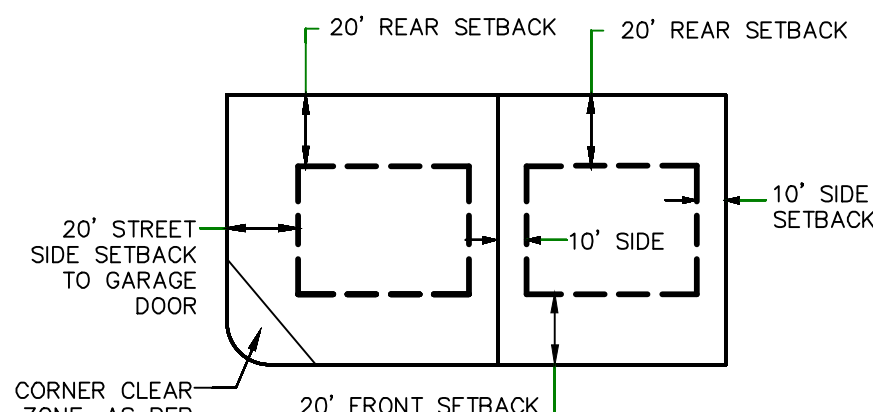
COUNTY-RECORDER SEAL

This form approved by Utah County and the municipalities therein.

PUBLIC UTILITY EASEMENTS



BUILDING SETBACKS (MINIMUM)



FOOTHILL
VILLAGES
FUTURE PHASES

BASIS OF BEARING

THE BASIS OF BEARING FOR THE FOOTHILL VILLAGES PLAT 'L' IS ON THE SECTION LINE BETWEEN THE EAST 1/4 CORNER AND THE SOUTHEAST CORNER OF SECTION 11, T10S, R1E, S1B&M WITH THE BEARING BEING S0°04'51"E ALONG SAID LINE.

NOTES:

1. © ... TYPE II MONUMENT (ALUMINUM CAP AND REBAR) TO BE SET. #5 REBAR & CAP TO BE SET AT ALL LOT CORNERS. NAIL AND BRASS WASHER TO BE SET IN TOP OF CURB @ PROJECTION OF SIDE LOT LINES.
2. XXXX - PROPOSED RESIDENTIAL ADDRESS
3. (XXXX S.F.) AREA IN PARENTHESIS DENOTES BUILDABLE AREA

☒ NDCBU (8x4 POSTAL BOX EASEMENT)

UTILITIES APPROVAL

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOT OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE OWNER'S EXPENSE, OR THE UTILITY MAY REMOVE SUCH STRUCTURES AT THE OWNER'S EXPENSE. AT NO TIME ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTIONS WITH INTERFERES WITH THE USE OF THE PUE WITH OUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

ROCKY MTN POWER _____

CENTRACOM _____

PROJECT STATISTICS

LOTS 29 LOTS
TOTAL ACREAGE 6.80 ACRES
TOTAL ACREAGE IN LOTS 4.77 ACRES
TOTAL ACREAGE IN STREETS 2.03 ACRES
DENSITY 4.26 UNITS PER ACRE
ZONE R10 PUD

PROJECT DEVELOPER

DR HORTON
12351 So. Gateway Park Place
Suite D-100
Draper UT 84020
Office: (801) 571-7101
CKLeavitt1@drhorton.com

PROJECT ENGINEER & SURVEYOR

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801-376.2245

CENTURYLINK ACCEPTANCE

CENTURYLINK SHALL HAVE THE RIGHT TO A FIVE FOOT NON-EXCLUSIVE UTILITY EASEMENT TO INSTALL, MAINTAIN AND OPERATE ITS EQUIPMENT ABOVE AND BELOW GROUND AS IDENTIFIED ON THE PLAT MAP AND AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HEREIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES, UPON RECORDING OF THE PLAT MAP. CENTURYLINK VACATES, TERMINATES, RELEASES AND DISCLAIMS ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, AND ANY OTHER PROPERTY RIGHTS AND INTERESTS CENTURYLINK MAY OWN, HOLD, BENEFIT FROM, OR POSSESS IN RELATION TO THAT CERTAIN RIGHT OF WAY EASEMENT IN FAVOR OF THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY DATED JANUARY 8, 1929, AND RECORDED ON JANUARY 9, 1929, AS ENTRY NO. 215, IN BOOK 269, AT PAGE 468, TO THE EXTENT THAT SUCH RIGHT OF WAY EASEMENT PERTAINS TO OR EFFECTS ANY OF THE REAL PROPERTY THAT IS DESCRIBED ON AND IS SUBJECT TO THIS PLAT.

CENTURY LINK _____

LEGEND

- FOUND SECTION COR. AS NOTED SET 5/8" IRON PIN TO BE SET AT ALL LOT CORNERS FOUND CLASS I STREET MONUMENT SET STREET MONUMENT
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- PUBLIC UTILITY EASEMENT
- CALCULATED POINT (NOT SET)
- NDCBU (4'x8' POSTAL EASEMENT)

NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED.
7. ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

- ① SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ② CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ③ PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- ④ PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
- ⑤ ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- ⑥ RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- ⑦ STOP/STREET SIGN
- ⑧ STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- ⑨ NDCBU (8x4 POSTAL BOX EASEMENT)
- ⑩ SANITARY SEWER SERVICE LATERAL (EXISTING & TO REMAIN)
- ⑪ SANITARY SEWER SERVICE LATERAL (REMOVE EXISTING)

LEGEND

- EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
EXISTING DEED LINE
EXISTING STORM MAIN
EXISTING SEWER MAIN
EXISTING WATER MAIN
EXISTING PI MAIN
EXISTING CONCRETE
PI/WAT/SEWER LATERAL
PROPOSED ASPHALT
PROPOSED CONCRETE
PROPOSED CURB & GUTTER
PROPOSED LOT LINE
BOUNDARY LINE
RIGHT OF WAY LINE
PROPOSED STORM MAIN
PROPOSED CUL MAIN
PROPOSED PI MAIN
PROPOSED SEWER MAIN
PROPOSED WAT/PI/SEWER SERVICE LATERALS
RESIDENTIAL STREET LIGHT
PROPOSED VALVE (WAT/PI)
PROPOSED SEWER MANHOLE
PROPOSED STORM INLET/MANHOLE
PROPOSED ADA RAMP
PROPOSED STOP/STREET SIGN
PROPOSED FIRE HYDRANT

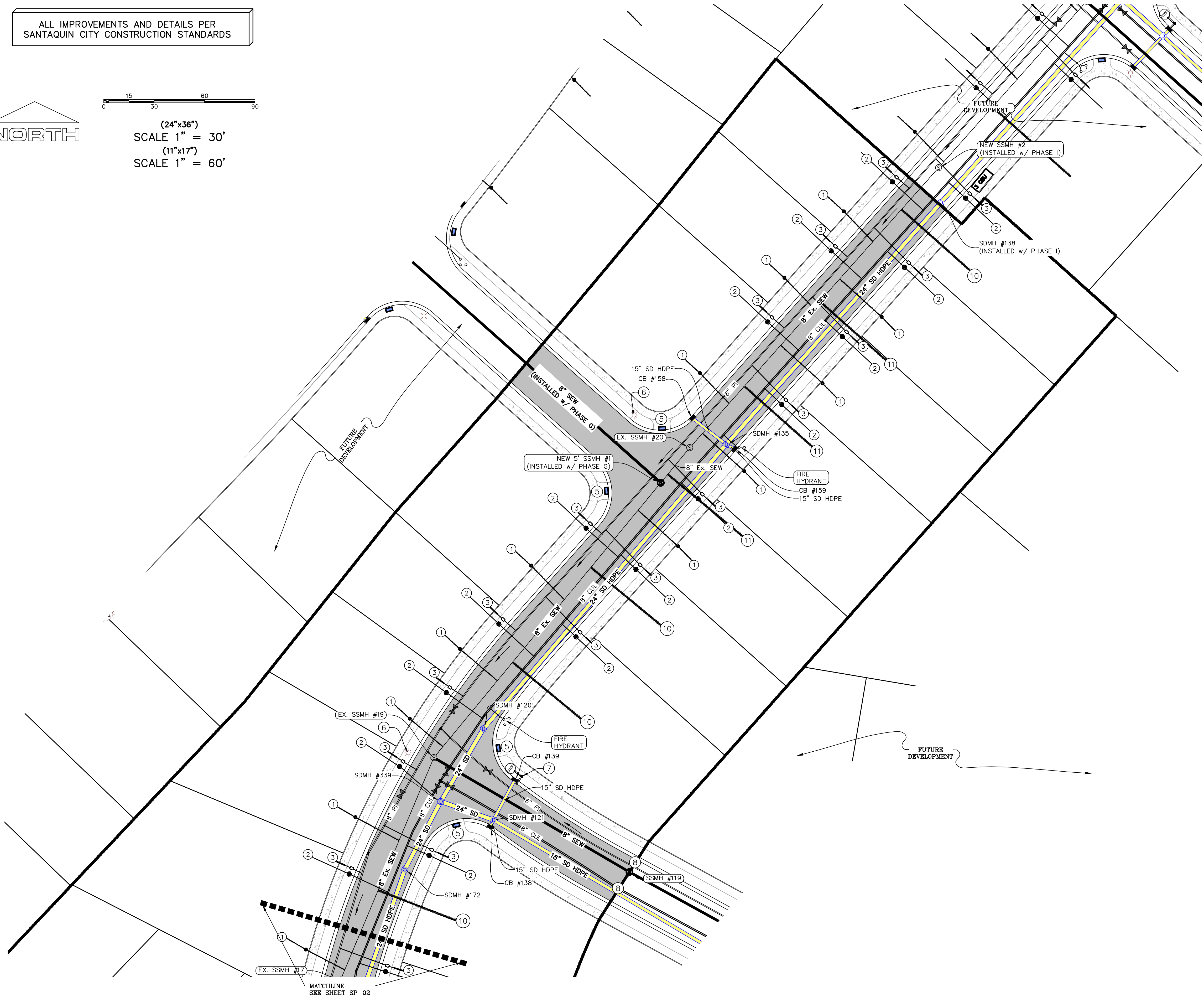
ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

NORTH

0 15 30 60 90

(24"x36")
SCALE 1" = 30'

(11"x17")
SCALE 1" = 60'



Engineering
& Surveying

region
187025
Donald L.
Lynette
P. 801.376.2245
regiondesignllc.com



FOOTHILL VILLAGE SUBDIVISION
PLAT 'L'

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE:2.17.2020

PROJECT #

REVISIONS:

1
2
3

SHEET NAME:
SITE/UTILITY PLAN

SHEET:
SP-01

NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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2. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
3. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01 UNLESS OTHERWISE NOTED.
4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4" MIN. COVER AS PER CITY STANDARD.
5. A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN CULINARY WATER AND SANITARY SEWER IS REQUIRED PER CITY STANDARD.
6. SHALLOW SEWER MAY EXIST THROUGHOUT THIS PHASE. INJECTOR PUMPS MAY BE NEEDED IF BASEMENTS ARE INSTALLED.
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- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 2 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 3 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
- 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 7 STOP/STREET SIGN
- 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (8x4 POSTAL BOX EASEMENT)
- 10 SANITARY SEWER SERVICE LATERAL (EXISTING & TO REMAIN)
- 11 SANITARY SEWER SERVICE LATERAL (REMOVE EXISTING)

LEGEND

- EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
EXISTING DEED LINE
EXISTING STORM MAIN
EXISTING SEWER MAIN
EXISTING WATER MAIN
EXISTING PI MAIN
EXISTING CONCRETE
PI/WAT/SEWER LATERAL
PROPOSED ASPHALT
PROPOSED CONCRETE
PROPOSED CURB & GUTTER
PROPOSED LOT LINE
BOUNDARY LINE
RIGHT OF WAY LINE
PROPOSED STORM MAIN
PROPOSED CUL MAIN
PROPOSED PI MAIN
PROPOSED SEWER MAIN
PROPOSED WAT/PI/SEWER SERVICE LATERALS
RESIDENTIAL STREET LIGHT
PROPOSED VALVE (WAT/PI)
PROPOSED SEWER MANHOLE
PROPOSED STORM INLET/MANHOLE
PROPOSED ADA RAMP
PROPOSED STOP/STREET SIGN
PROPOSED FIRE HYDRANT



NOTES:

1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTIQUIN CITY CODES, ORDINANCES AND STANDARDS.
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4. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PL. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.

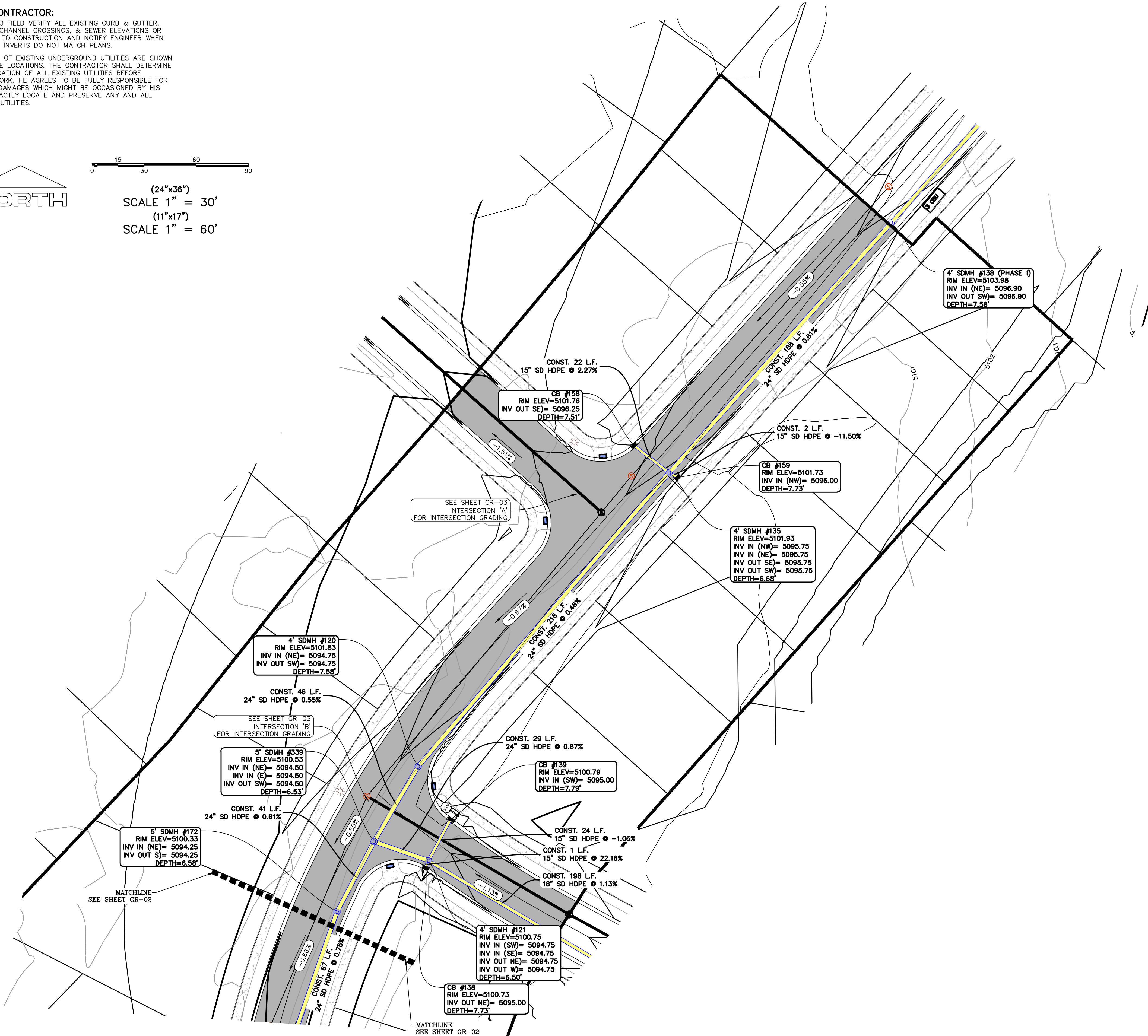
NOTES TO CONTRACTOR:

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0 15 30 60 90
SCALE 1" = 30'
(24"x36")
SCALE 1" = 60'
(11"x17")




Engineering
& Surveying

region

1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com





FOOTHILL VILLAGE SUBDIVISION
PLAT 'L'

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE:2.17.2020

PROJECT #

REVISIONS:

1	
2	
3	

SHEET NAME:
GRADING PLAN

SHEET:
GR-02

NOTES:

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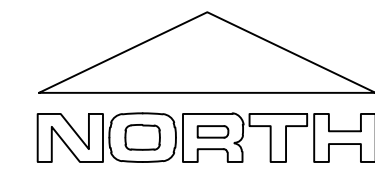
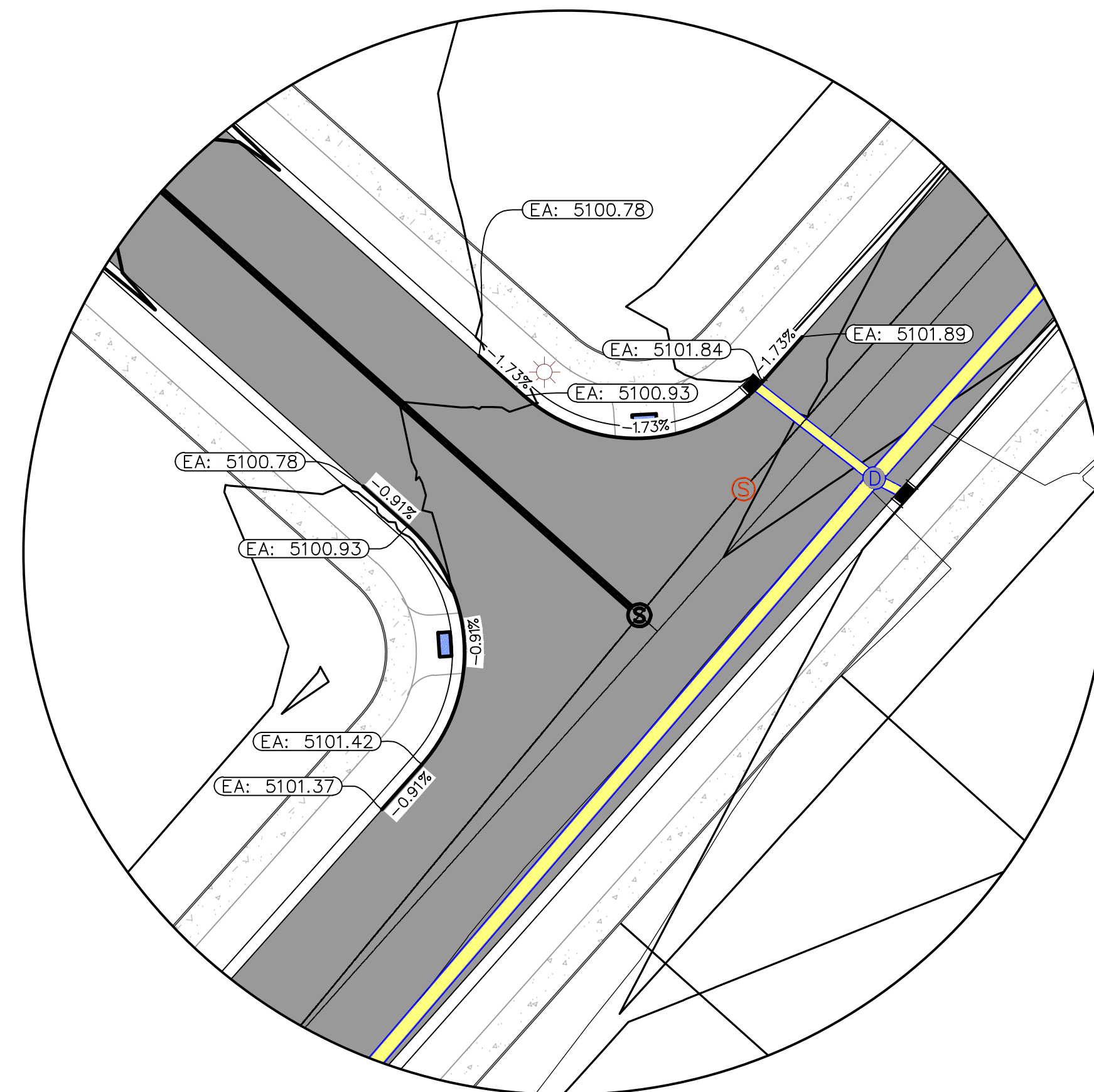
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(24"x36")
SCALE 1" = 30'
(11"x17")
SCALE 1" = 60'

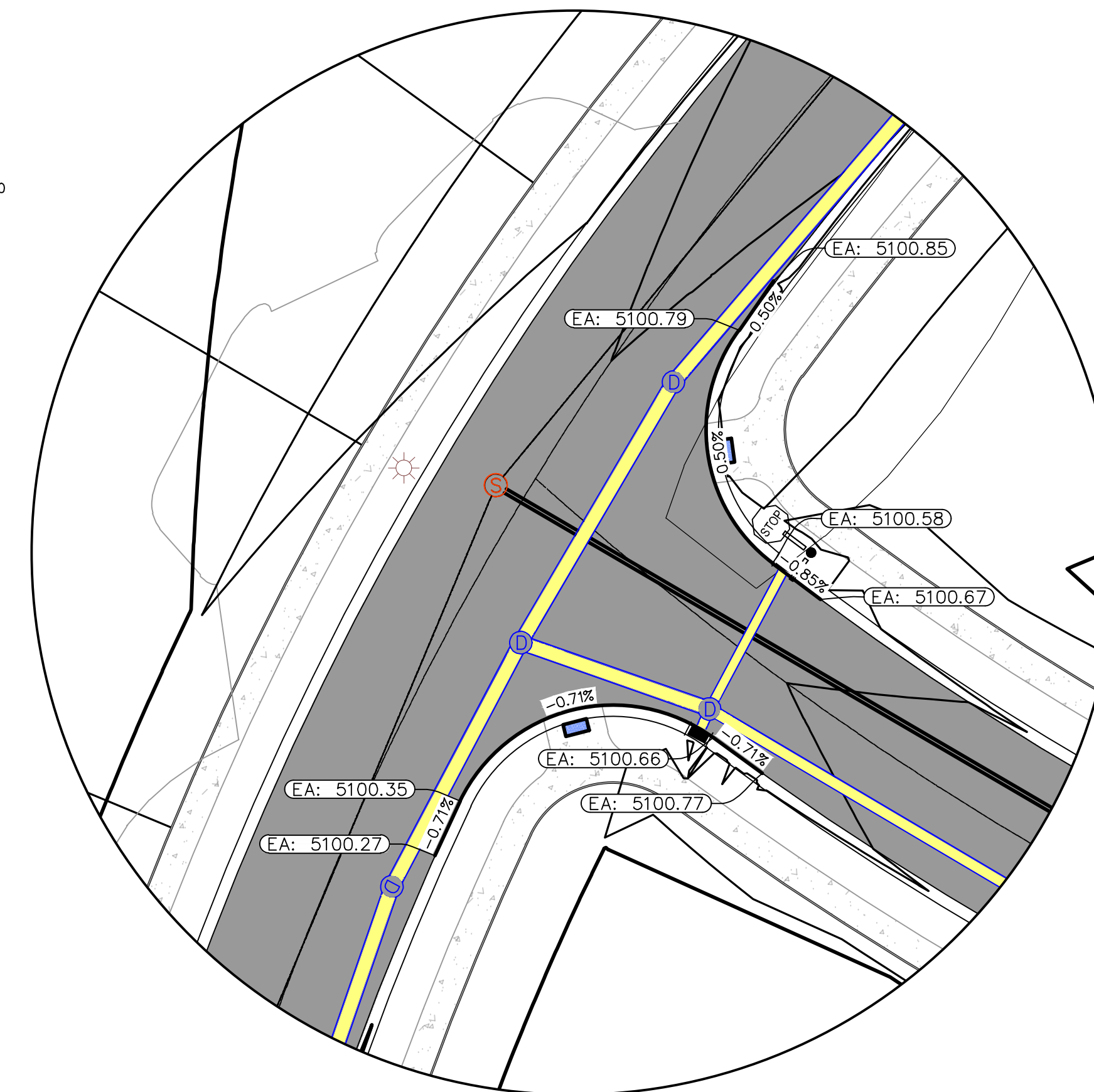


(24"x36")
SCALE 1" = 20'

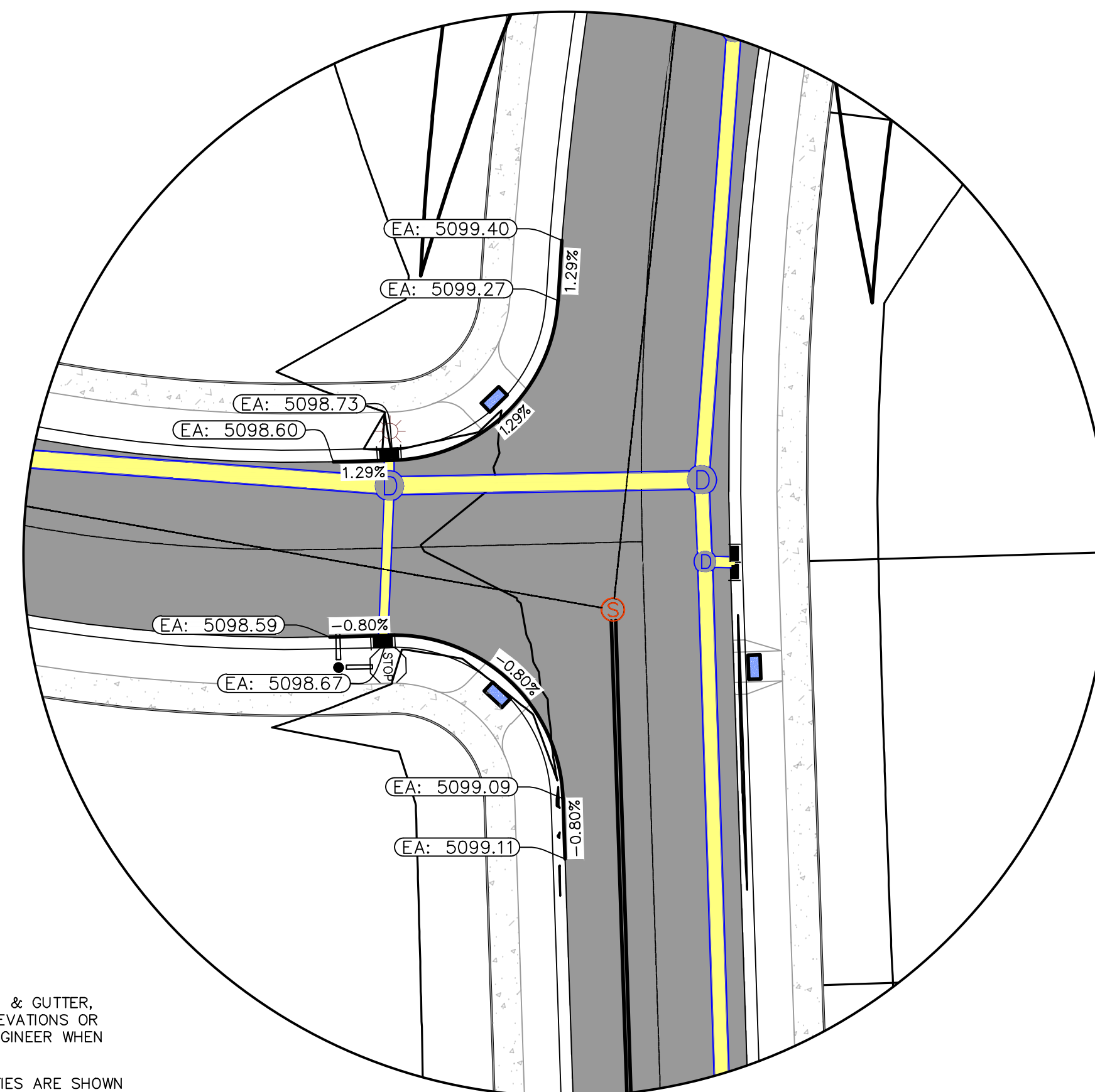
(11"x17")
SCALE 1" = 40'

NOTES:

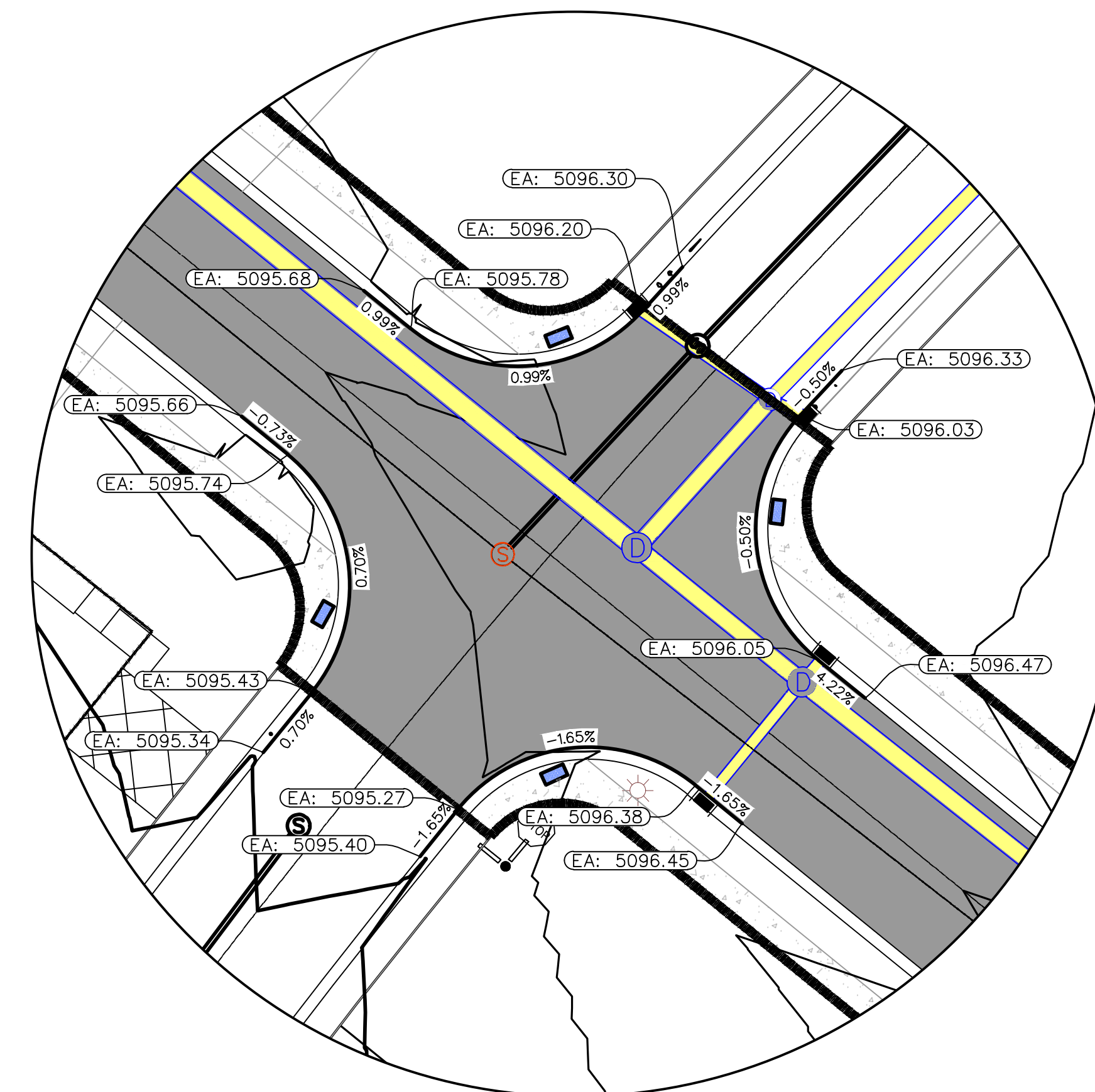
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4. ALL MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PL. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.



INTERSECTION 'B'



INTERSECTION 'C'



INTERSECTION 'D'

NOTES TO CONTRACTOR:

CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



region
Engineering
& Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



**FOOTHILL VILLAGE SUBDIVISION
PLAT 'L'**

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE:2.17.2020

PROJECT #

REVISIONS:

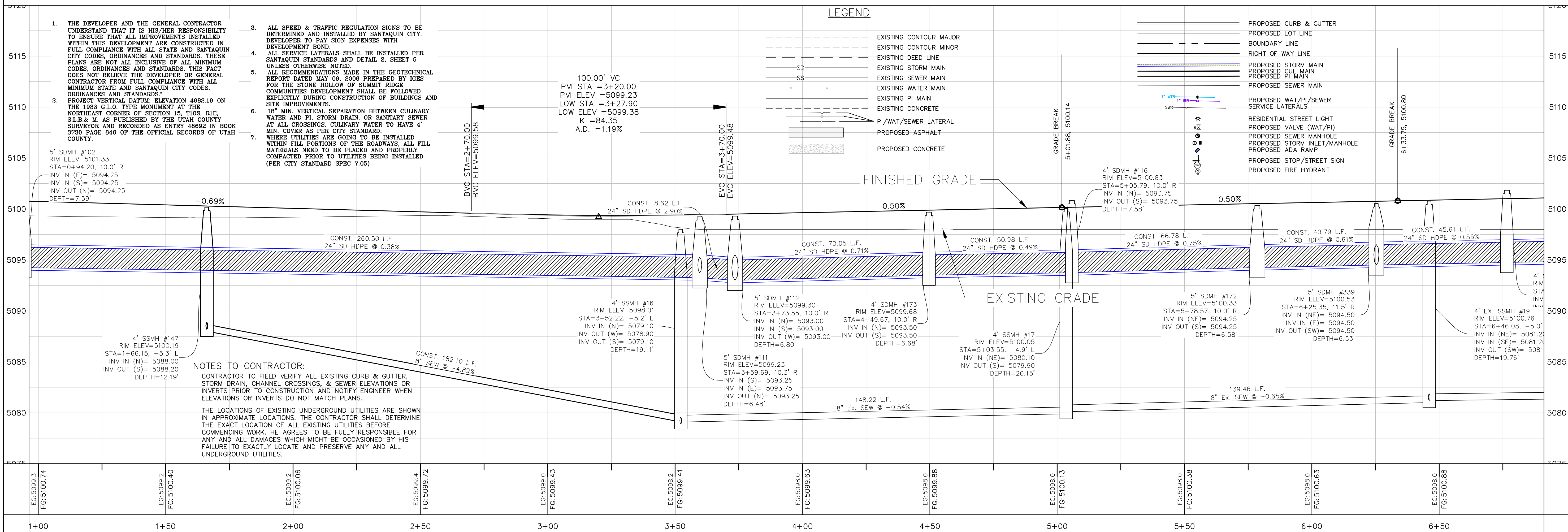
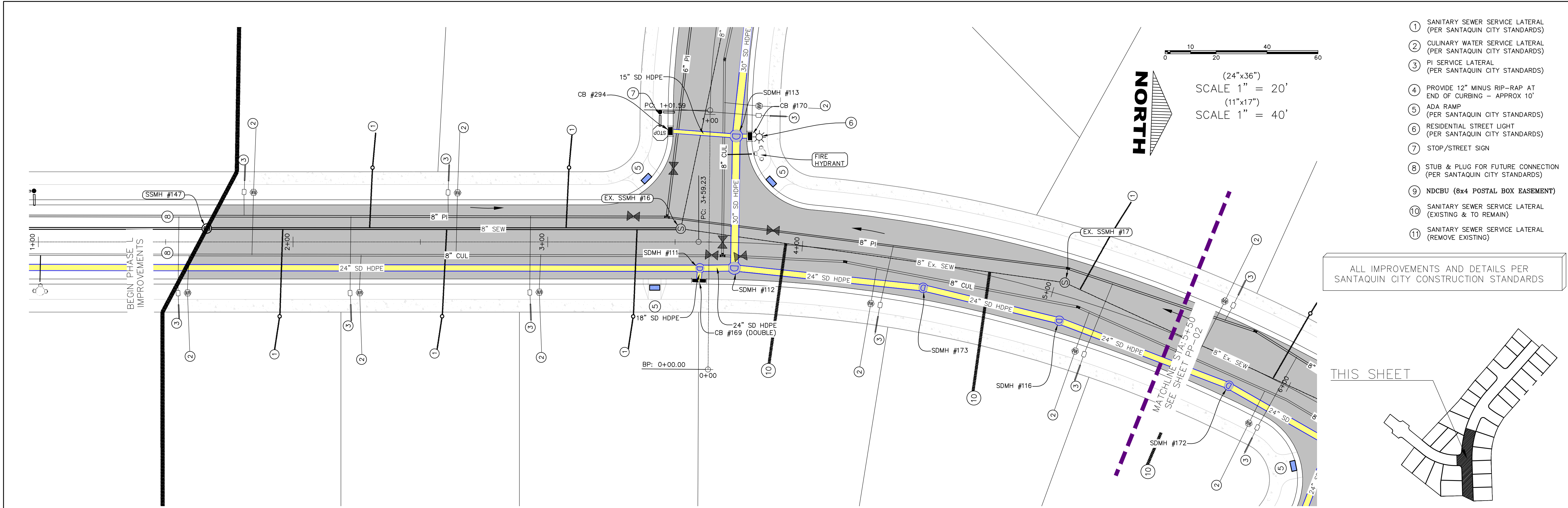
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SHEET NAME:

GRADING PLAN

SHEET:

GR-03

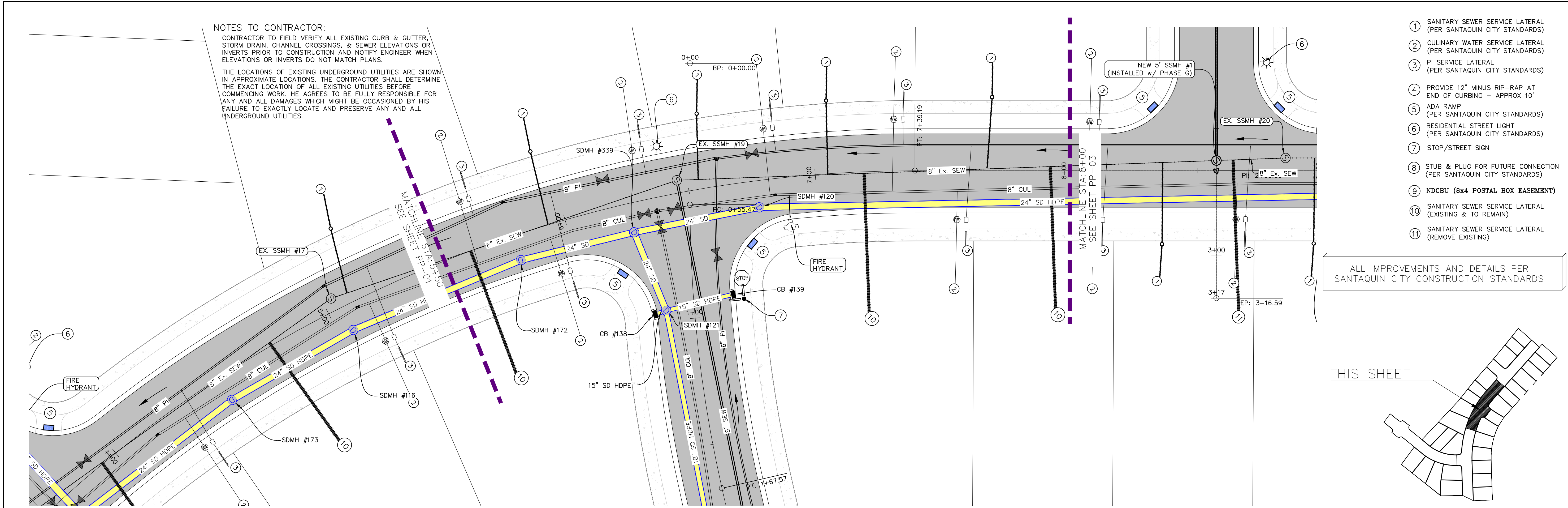


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FOOTHILL VILLAGE SUBDIVISION
PLAT 'L'
LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

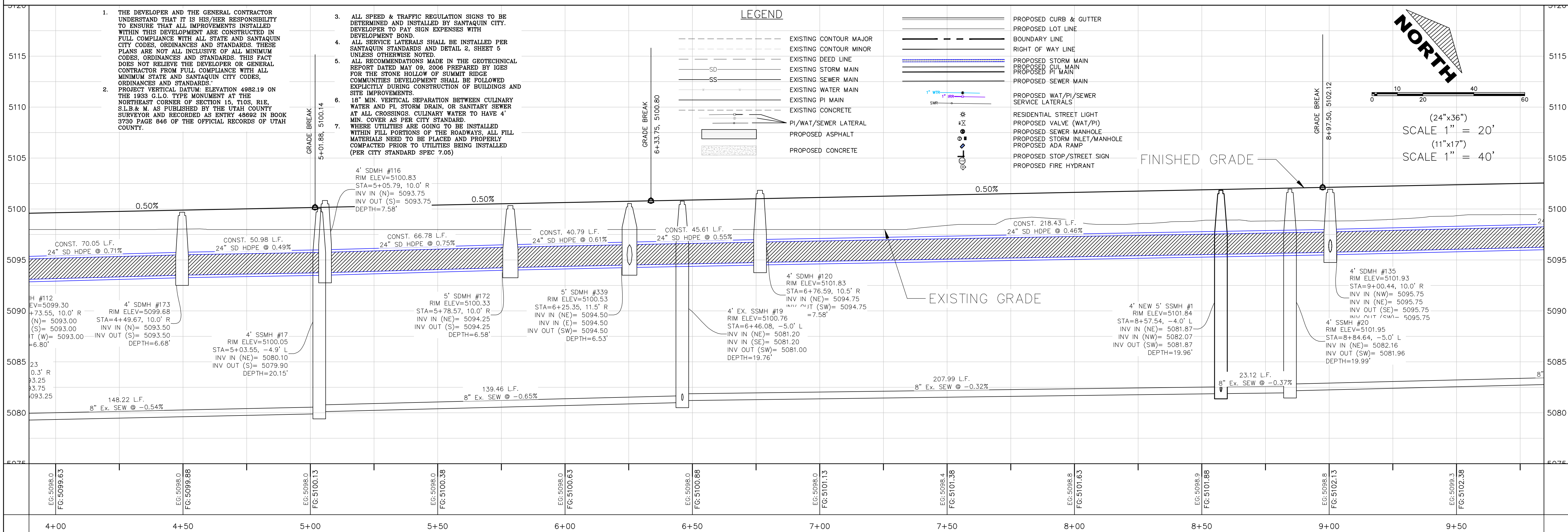
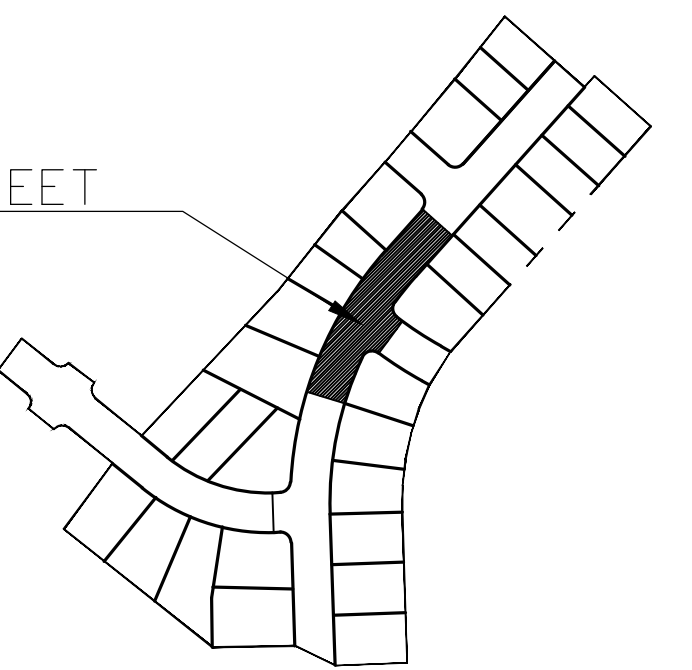
DATE: 2.17.2020
PROJECT #
REVISIONS:
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SHEET NAME:
PLAN & PROFILE
SHEET:
PP-01



- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 2 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 3 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
- 4 PROVIDE 12" MINUS RIP-RAP AT END OF CURBING - APPROX 10'
- 5 ADA RAMP (PER SANTAQUIN CITY STANDARDS)
- 6 RESIDENTIAL STREET LIGHT (PER SANTAQUIN CITY STANDARDS)
- 7 STOP/STREET SIGN
- 8 STUB & PLUG FOR FUTURE CONNECTION (PER SANTAQUIN CITY STANDARDS)
- 9 NDCBU (8x4 POSTAL BOX EASEMENT)
- 10 SANITARY SEWER SERVICE LATERAL (EXISTING & TO REMAIN)
- 11 SANITARY SEWER SERVICE LATERAL (REMOVE EXISTING)

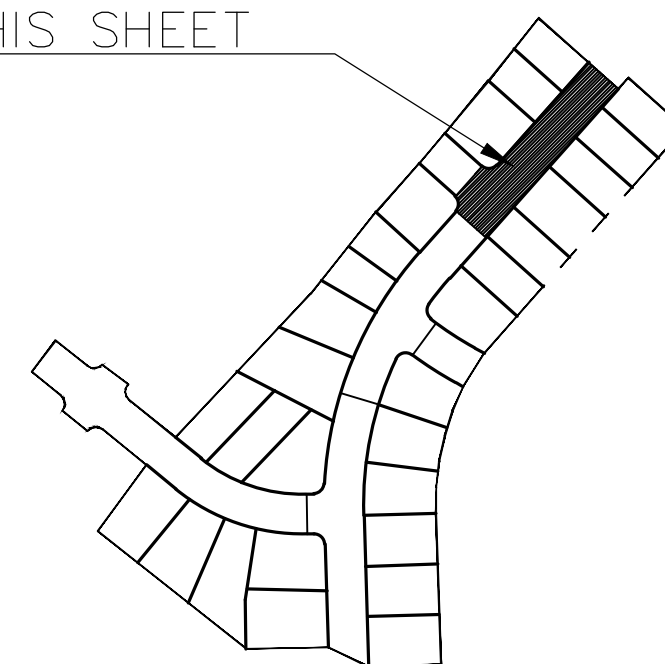
ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

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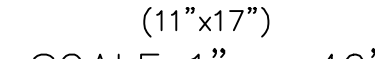
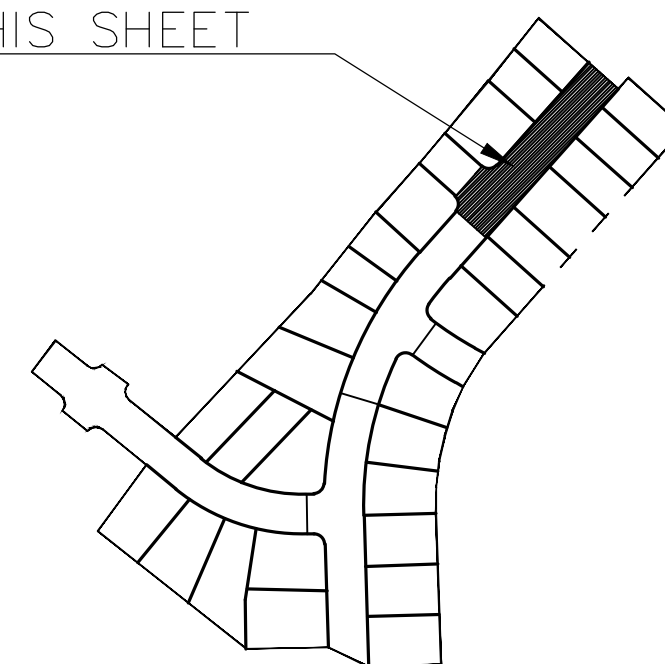


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FOOTHILL VILLAGE SUBDIVISION
PLAT 'L'
LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, "SALT LAKE BASE AND MERIDIAN"



- ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



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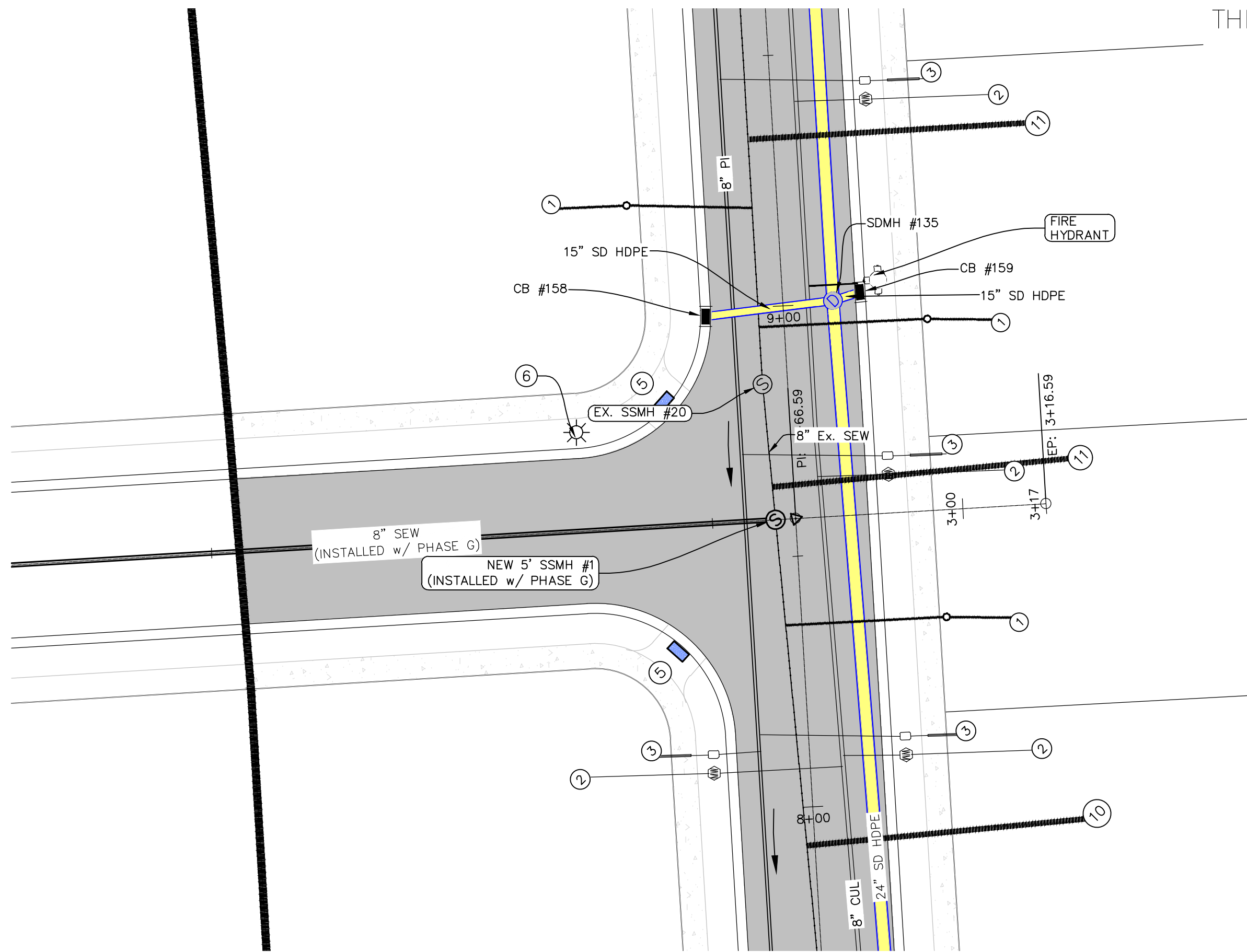
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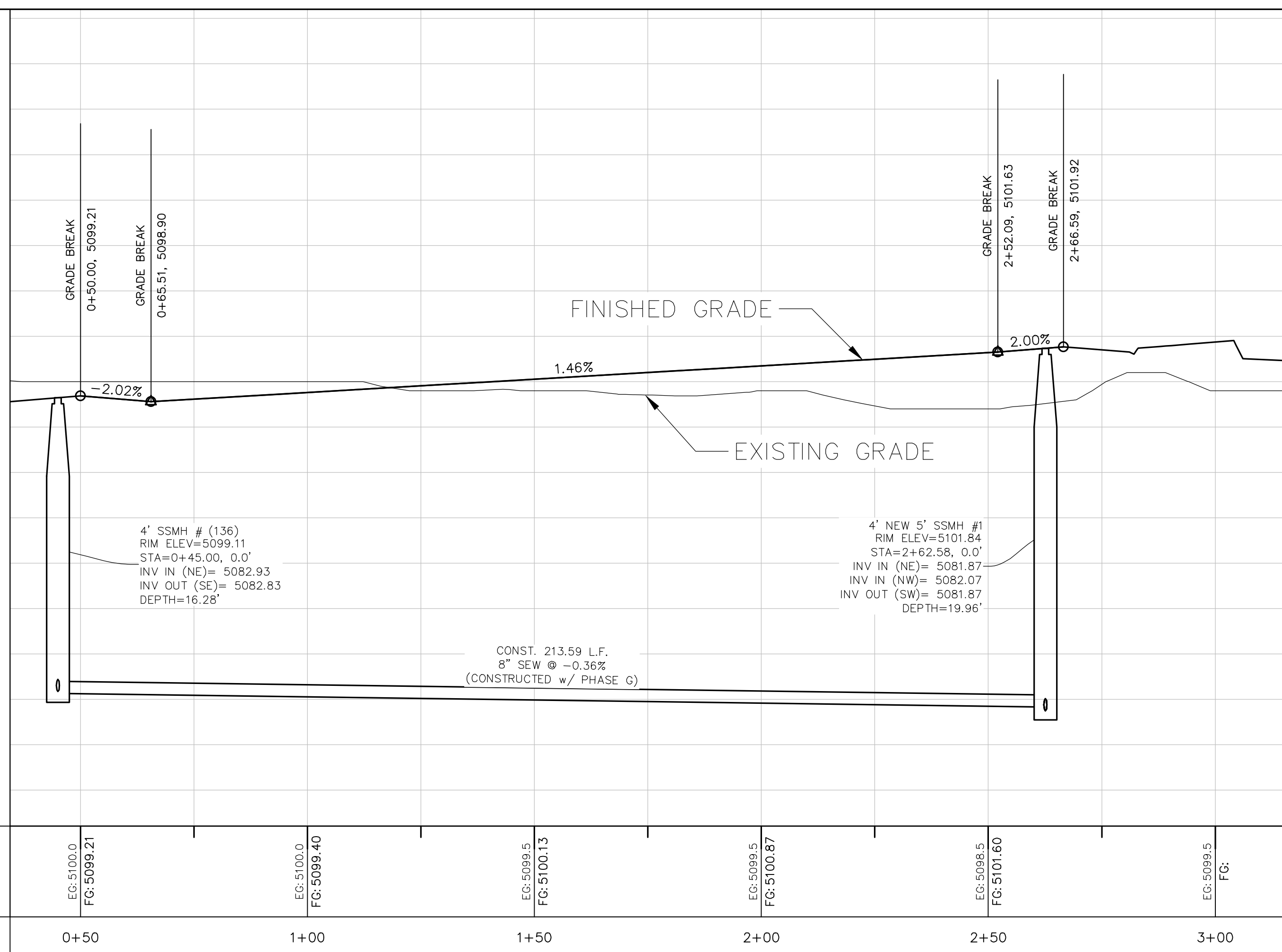
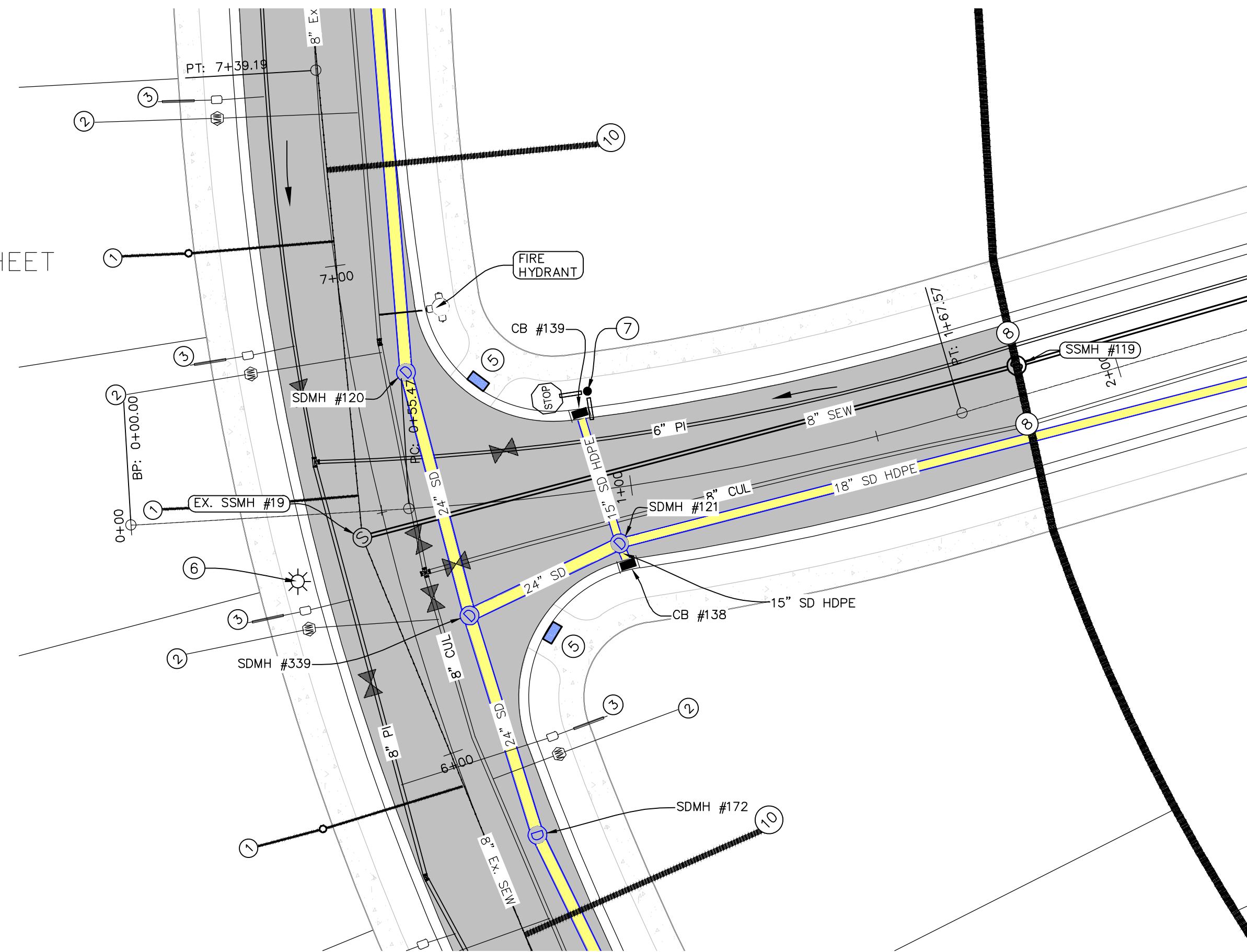
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

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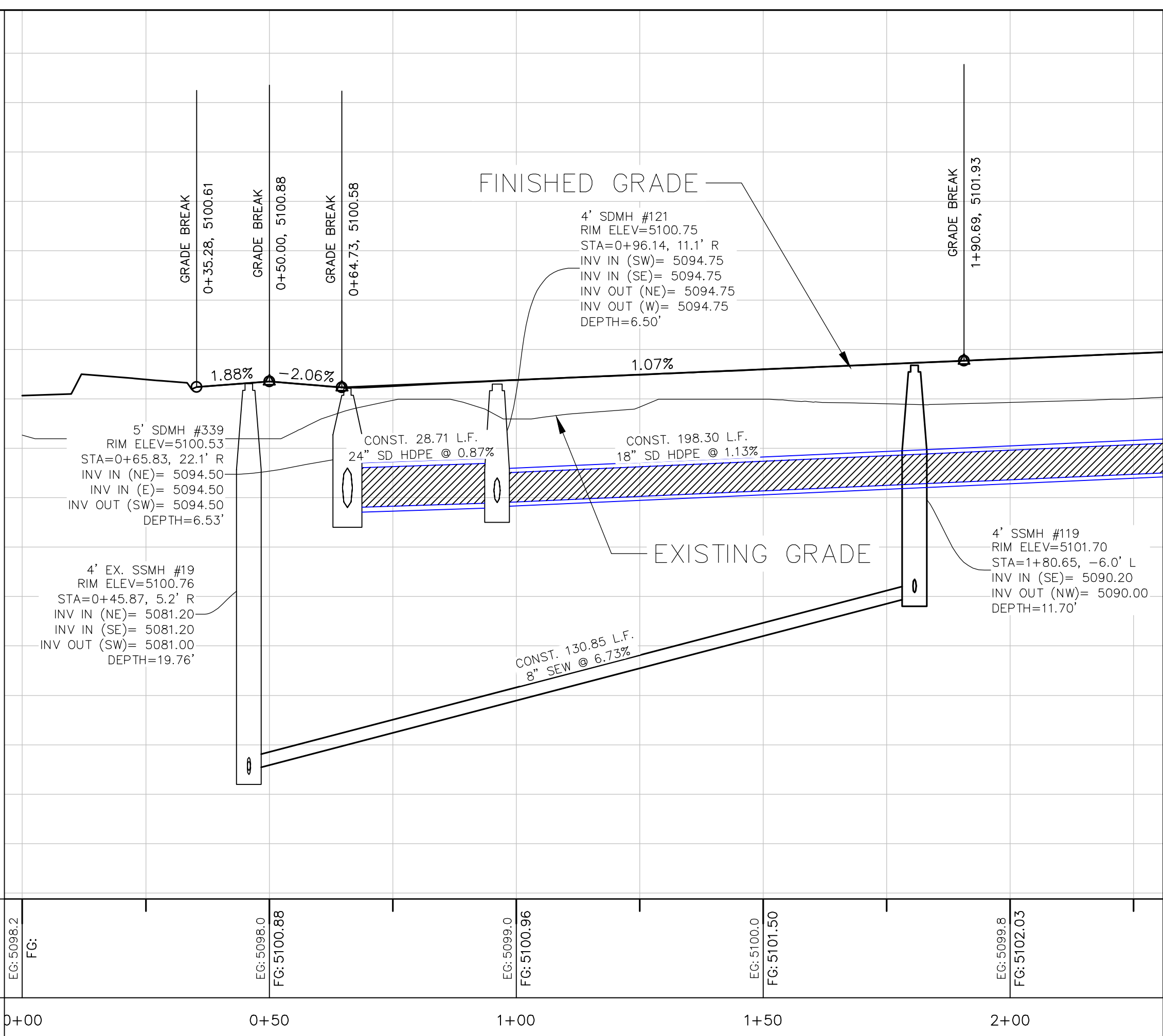
PP-03



- THIS SHEET (LEFT)
- THIS SHEET (RIGHT)
- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
 - 2 CULINARY WATER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
 - 3 PI SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
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- ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



- NORTH**
- 0 10 20 40 60
- (24"x36")
SCALE 1" = 20'
- (11"x17")
SCALE 1" = 40'
1. THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
 2. PROJECT VERTICAL DATUM: ELEVATION 4982.19 ON THE 1933 C.I.O. TYPE MONUMENT AT THE NORTHEAST CORNER OF SECTION 15, T10S, R1E, S1B & M. AS PUBLISHED BY THE UTAH COUNTY SURVEYOR AND RECORDED AS ENTRY 46692 IN BOOK 3730 PAGE 846 OF THE OFFICIAL RECORDS OF UTAH COUNTY.
 3. ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
 4. ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL 2, SHEET 5 UNLESS OTHERWISE NOTED.
 5. ALL RECOMMENDATIONS MADE IN THE GEOTECHNICAL REPORT DATED MAY 09, 2006 PREPARED BY JGS FOR THE STONE HOLLOW OF SUMMIT RIDGE COMMUNITIES DEVELOPMENT SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDINGS AND SITE IMPROVEMENTS.
 6. 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI. STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
 7. WHERE UTILITIES ARE GOING TO BE INSTALLED WITHIN FILL PORTIONS OF THE ROADWAYS, ALL FILL MATERIALS NEED TO BE PLACED AND PROPERLY COMPACTED PRIOR TO UTILITIES BEING INSTALLED (PER CITY STANDARD SPEC 7.05)



FOOTHILL VILLAGE SUBDIVISION
PLAT 'L'

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

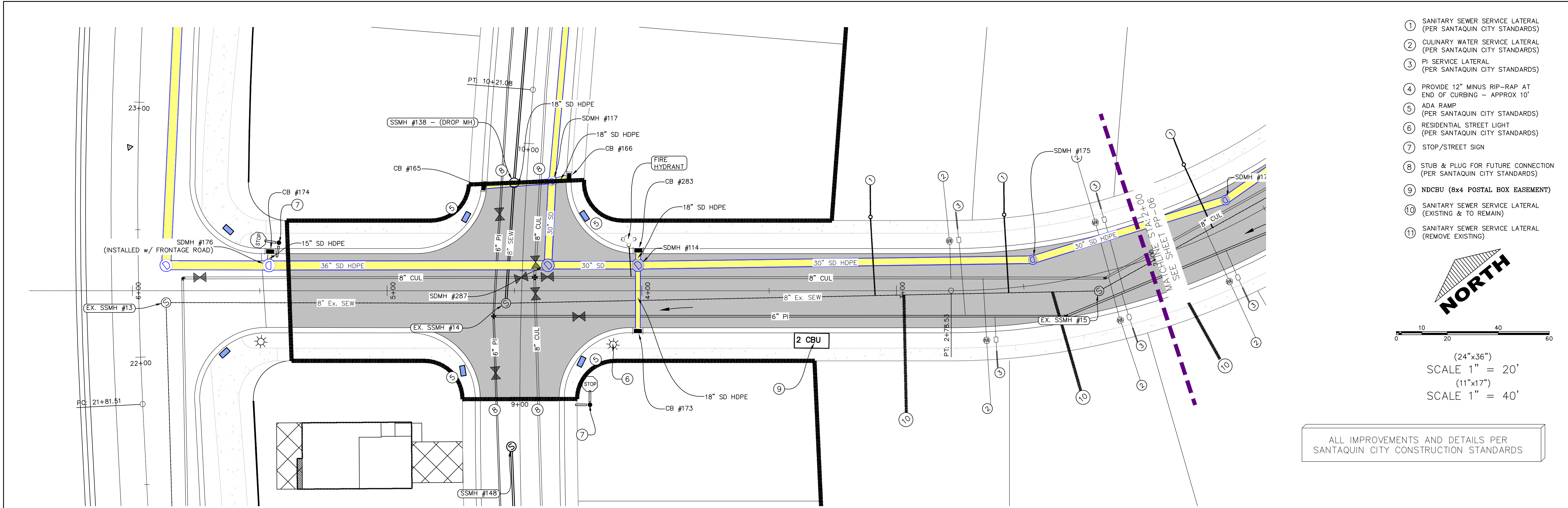
DATE: 2.17.2020
PROJECT #

REVISIONS:

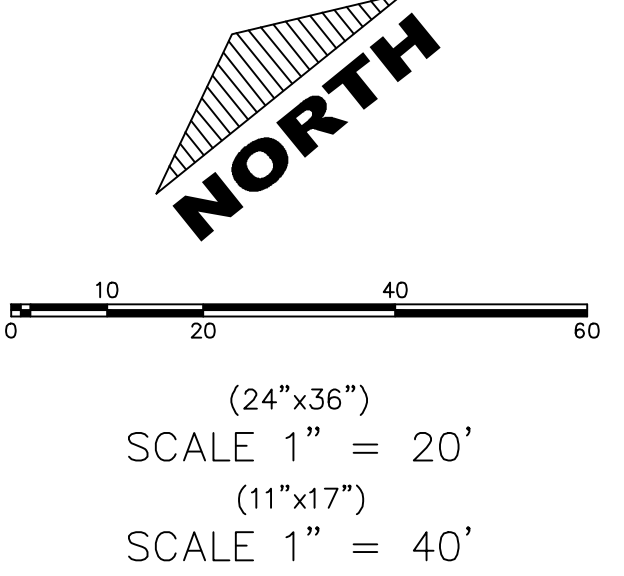
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SHEET NAME:
PLAN & PROFILE

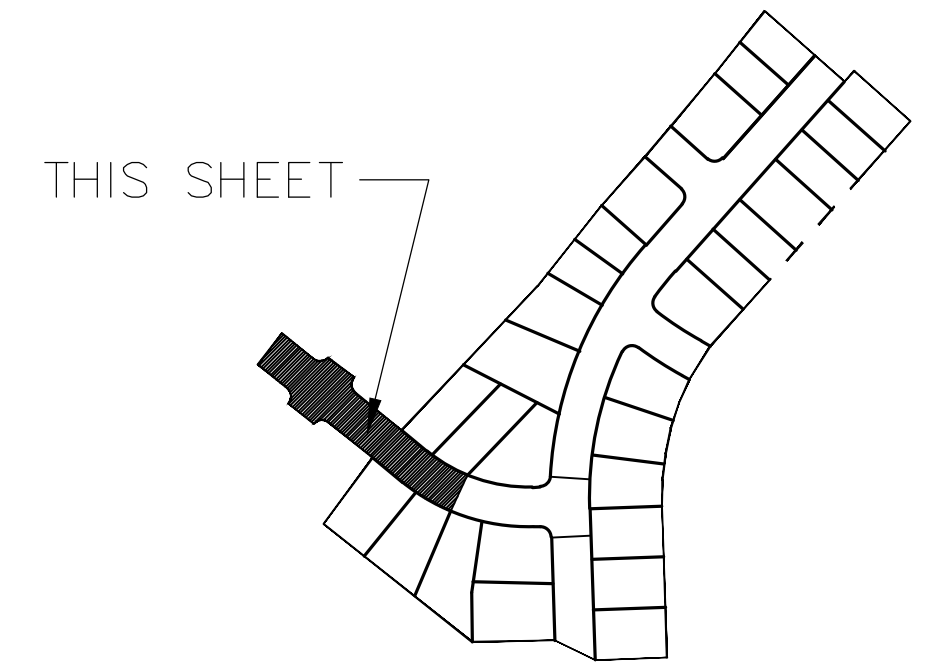
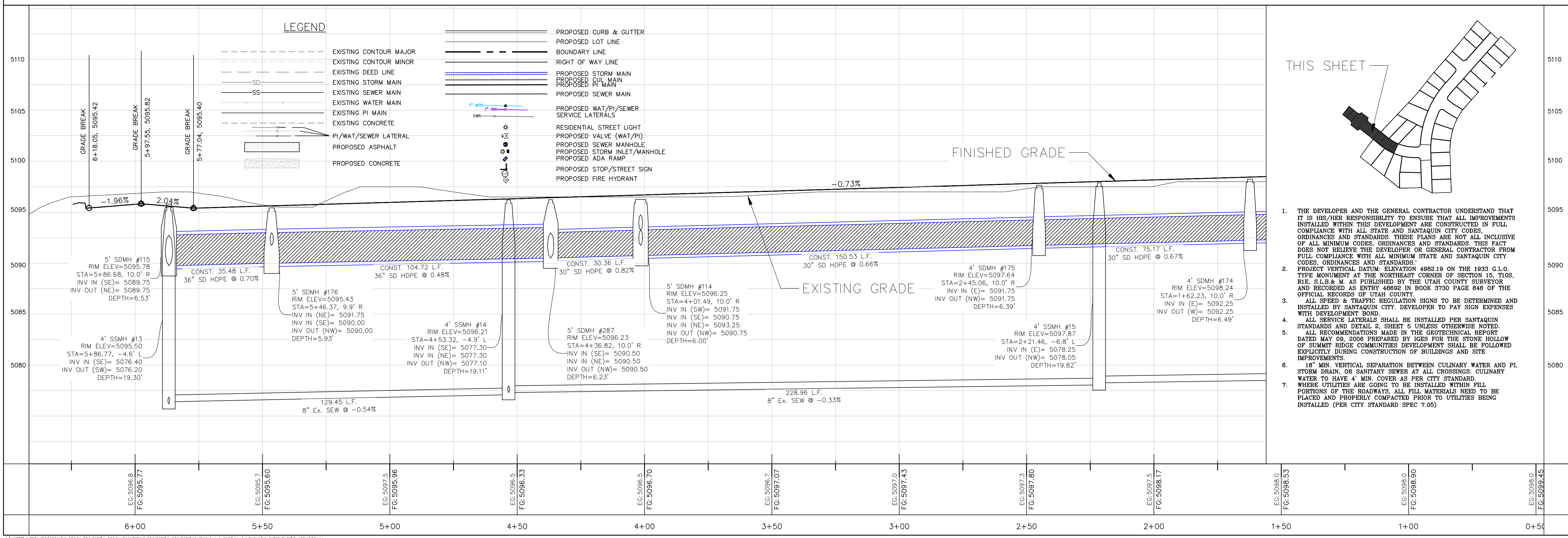
SHEET:
PP-04



- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
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ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS



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2. PROJECT VERTICAL DATUM: ELEVATION 4982.15 ON THE 1933 G.L.O. TYPE MONUMENT AT THE NORTHEAST CORNER OF SECTION 15, T10S, R1E, S1B& M. AS PUBLISHED BY THE UTAH COUNTY SURVEYOR AND RECORDED AS ENTRY 48692 IN BOOK 3730 PAGE 846 OF THE OFFICIAL RECORDS OF UTAH COUNTY.
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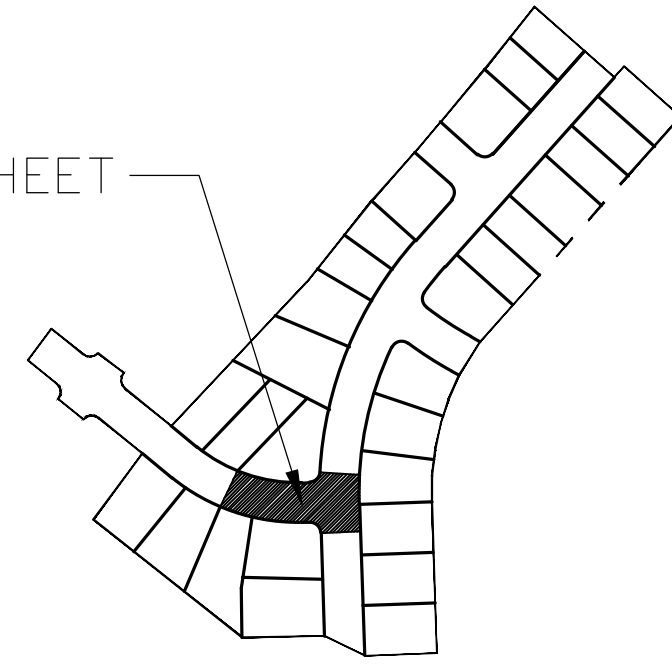
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FOOTHILL VILLAGE SUBDIVISION
PLAT 'L'
LOCATED IN THE SOUTHEAST CORNER OF SECTION 15, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

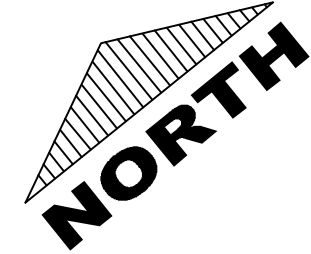
DATE: 2.17.2020
PROJECT #
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SHEET NAME:
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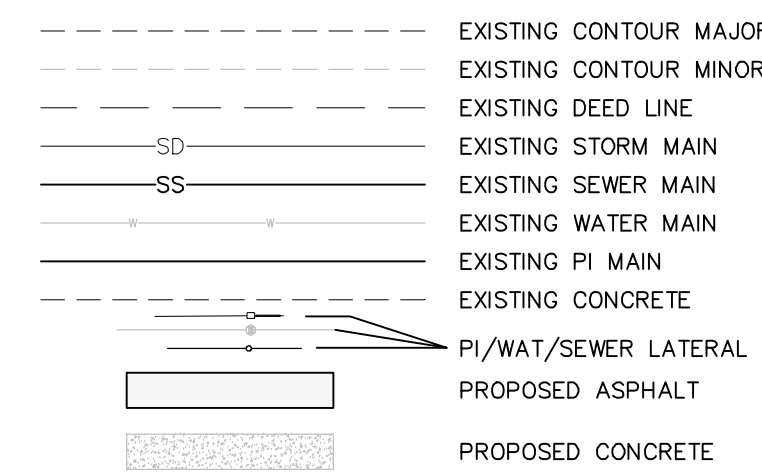
- ① SANITARY SEWER SERVICE LATERAL
(PER SANTAUQUIN CITY STANDARDS)
- ② CULINARY WATER SERVICE LATERAL
(PER SANTAUQUIN CITY STANDARDS)
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(PER SANTAUQUIN CITY STANDARDS)
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(PER SANTAUQUIN CITY STANDARDS)
- ⑨ NDCBU (6x4 POSTAL BOX EASEMENT)
- ⑩ SANITARY SEWER SERVICE LATERAL
(EXISTING & TO REMAIN)
- ⑪ SANITARY SEWER SERVICE LATERAL
(REMOVE EXISTING)



(24"x36")

SCALE 1" = 40'

ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



PROPOSED CURB & GUTTER
 PROPOSED LOT LINE
 BOUNDARY LINE
 RIGHT OF WAY LINE
 PROPOSED STORM MAIN
 PROPOSED CUL MAIN
 PROPOSED FIRE MAIN
 PROPOSED SEWER MAIN
 PROPOSED WAT./PI/SEWER SERVICE LATERALS
 RESIDENTIAL STREET LIGHT
 PROPOSED VALVE (WAT./PI)
 PROPOSED SEWER MANHOLE
 PROPOSED STORM INLET/MANHOLE
 PROPOSED ADA RAMP
 PROPOSED STOP/STREET SIGN
 PROPOSED FIRE HYDRANT

FOOTHILL VILLAGE SUBDIVISION
PLAT 'L'

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

(DATE:2.17.2020

PROJECT #

REVISIONS:

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SHEET NAME:
PLAN & PROFILE

SHEET:

PP-06

- LEGEND:
- X — X — PROPOSED SILT FENCE
(SEE SHEET EC-02)
- FLOW ARROW
- 105 220 PROPOSED VEHICLE TRACKING CONTROL
(SEE SHEET EC-02)
- 220 PT PROPOSED CURB INLET PROTECTION
(SEE SHEET EC-02)
- PT PORTABLE TOILETS

NOTES:

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER IS TO BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
7. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSED INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
8. THE CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
9. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE ENGINEERING DEPARTMENT. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

PROJECT INFORMATION SIGN

ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS/ EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANGLE CLEARANCES.
3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY.
4. THE SIGN SHALL BE A MINIMUM OF 48" x 48" AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE.

DEVELOPERS NAME
(4" Uppercase Bold Letters)

PROJECT NAME
(4" Uppercase Bold Letters)
PERMIT NUMBER
(4" Bold Numbers)

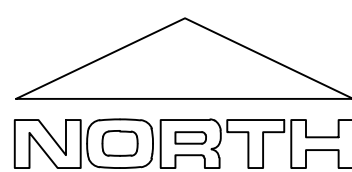
FOR PROJECT SITE CONCERNS CONTACT

Office Phone Contact ###-###-####
(4" Bold Numbers)

Cell Phone Contact ###-###-####
(4" Bold Numbers)

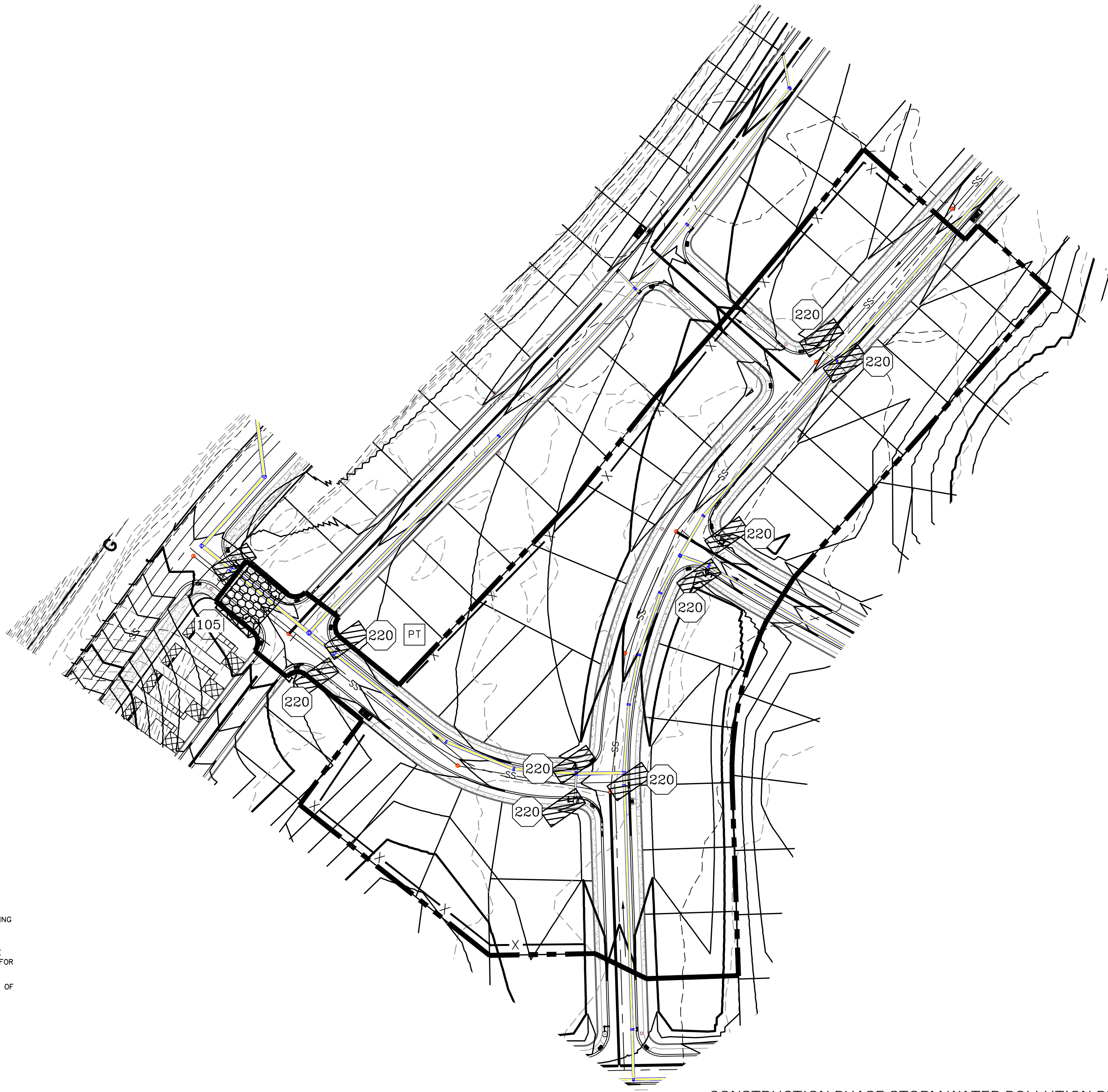
IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT
505.555.0000
(3" Uppercase Bold Letters and 3" Bold Numbers)

5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER IF IT MEETS THESE REQUIREMENTS..



30 120 180
0 60

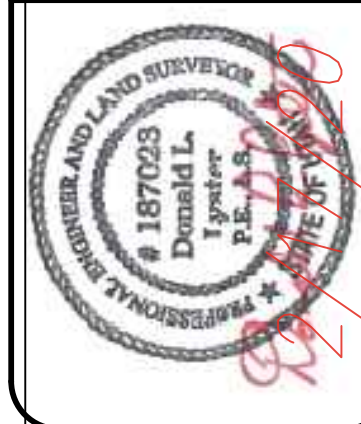
(24"x36")
SCALE 1" = 60'
(11"x17")
SCALE 1" = 120'



CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)

BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN	AS NECESSARY
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	POTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	240	SEDIMENT TRAP	AS SHOWN	BEGINING OF CONSTRUCTION TO PLACEMENT OF ASPHALT

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DATE:2.17.2020

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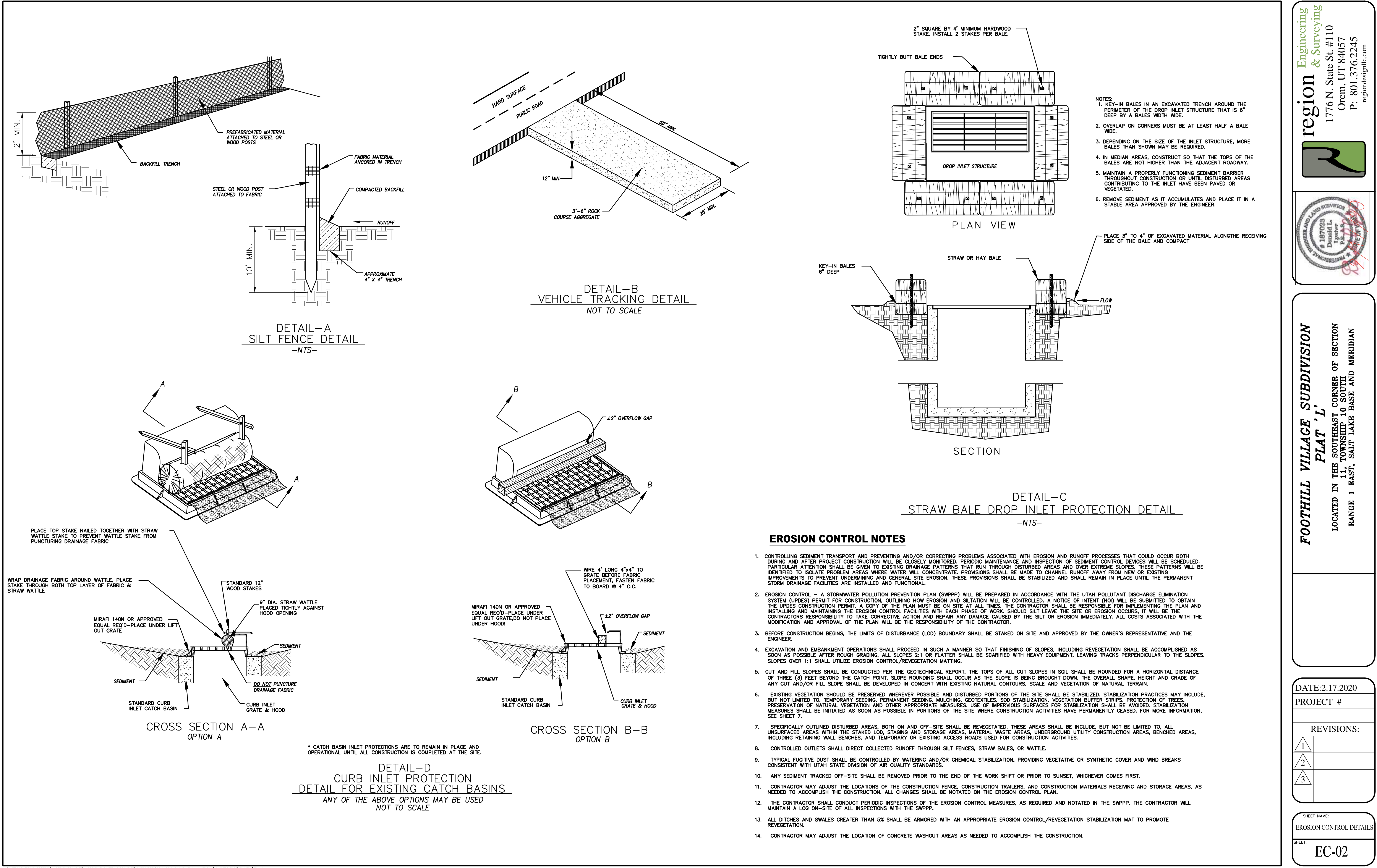
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SHEET NAME:
EROSION CONTROL PLAN

SHEET:

EC-01



Engineering
& Surveying

region

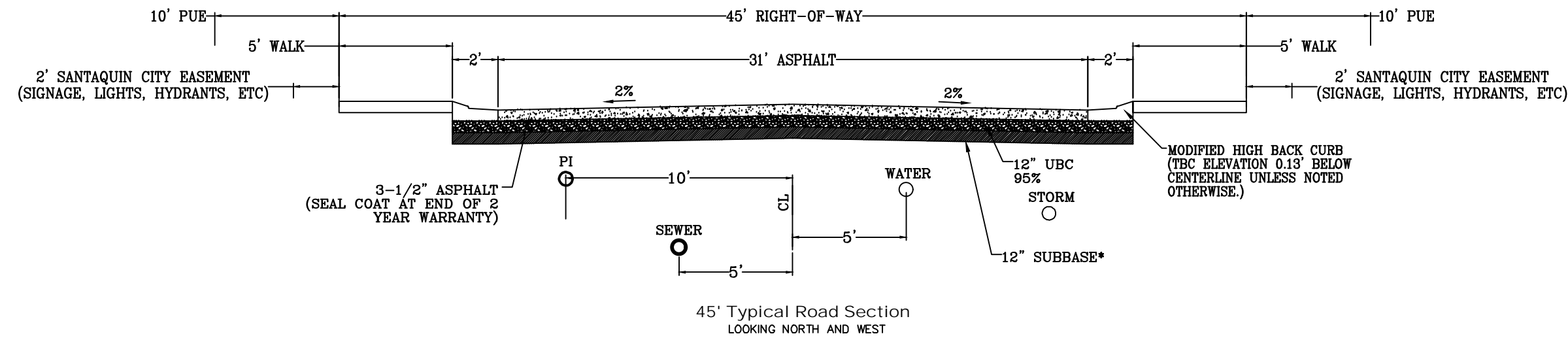
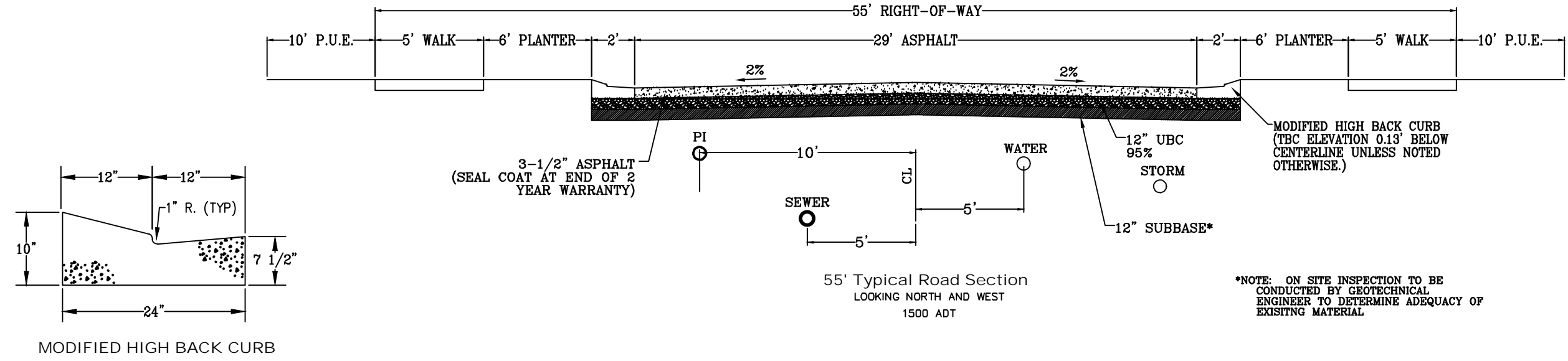
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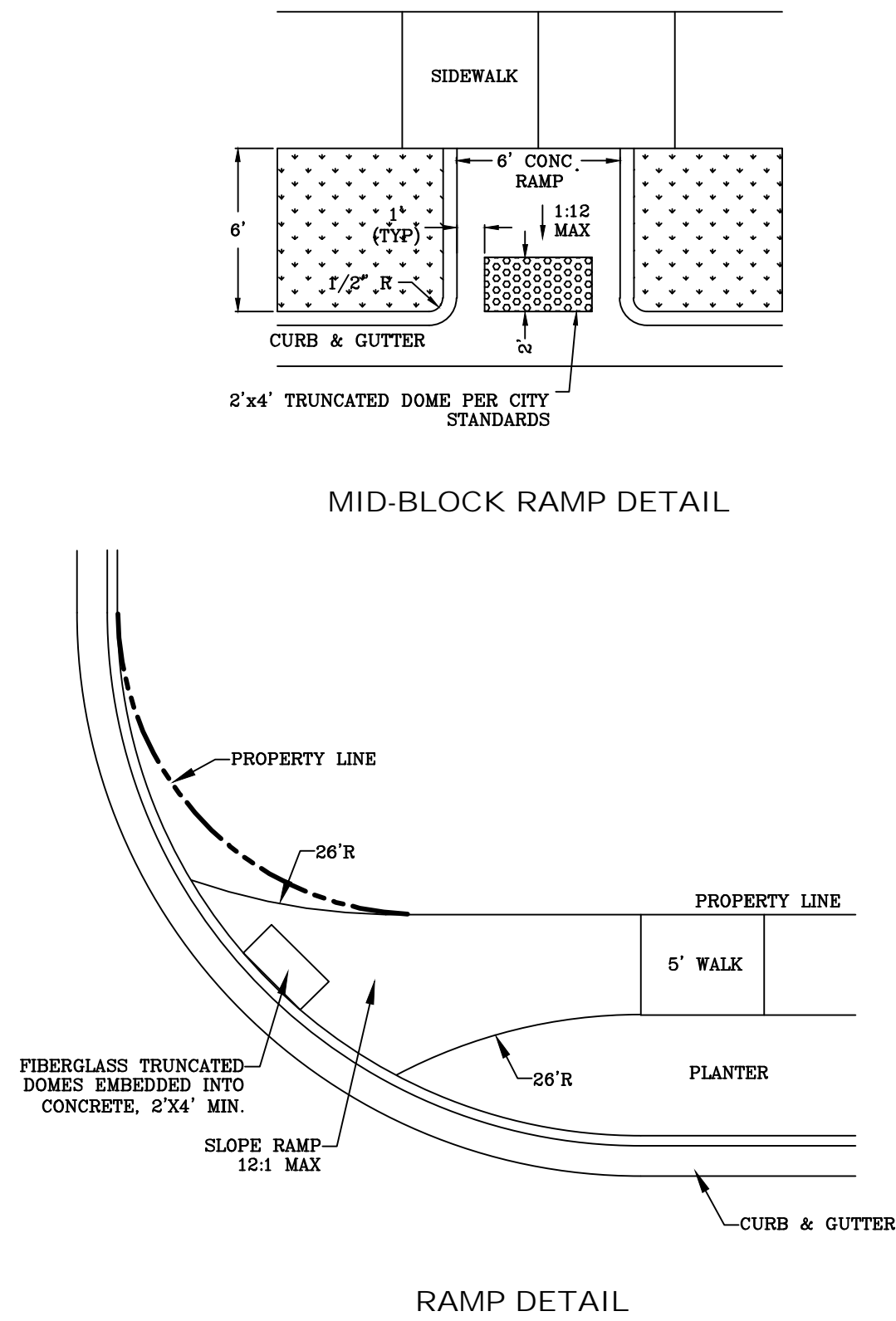
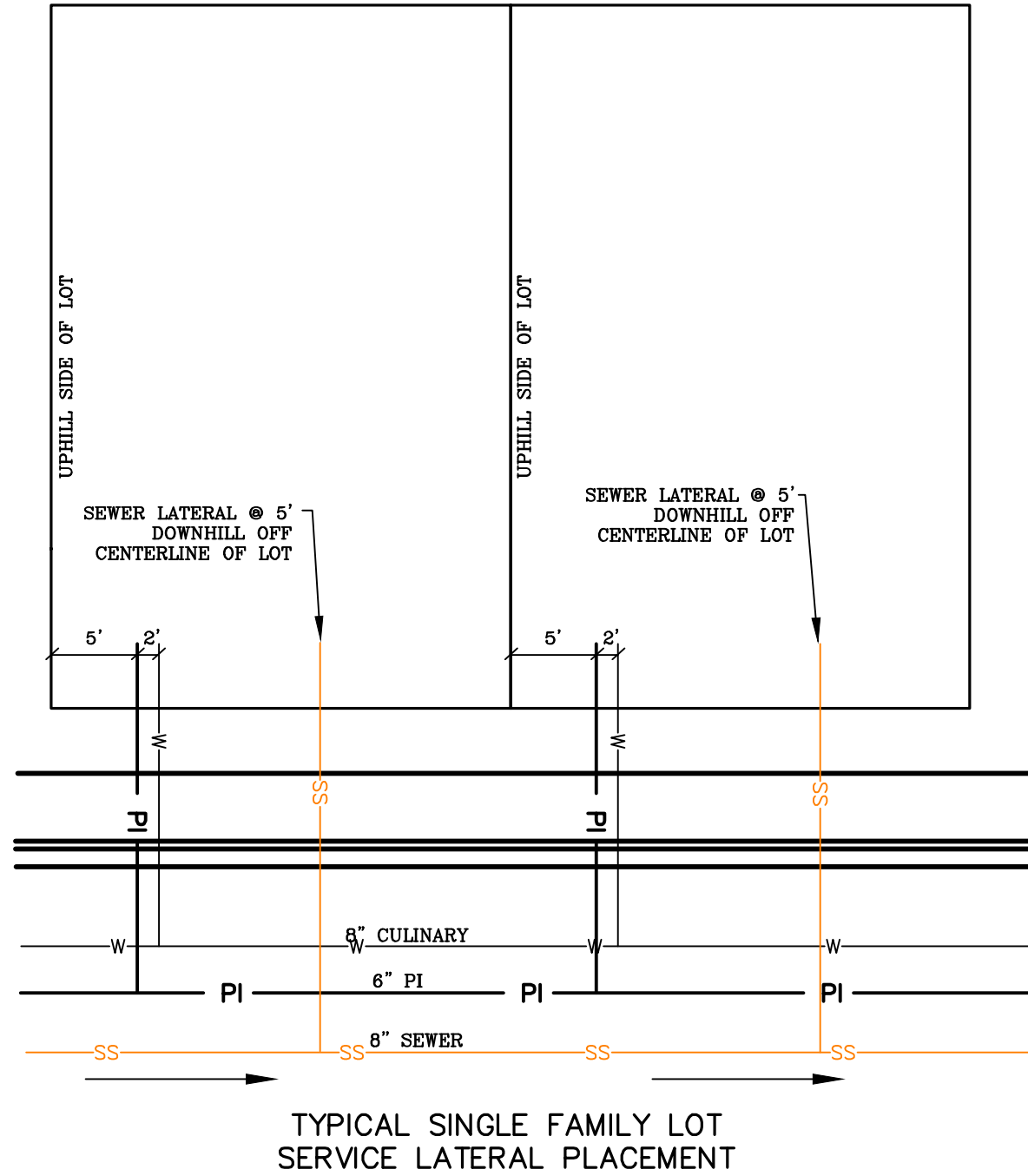
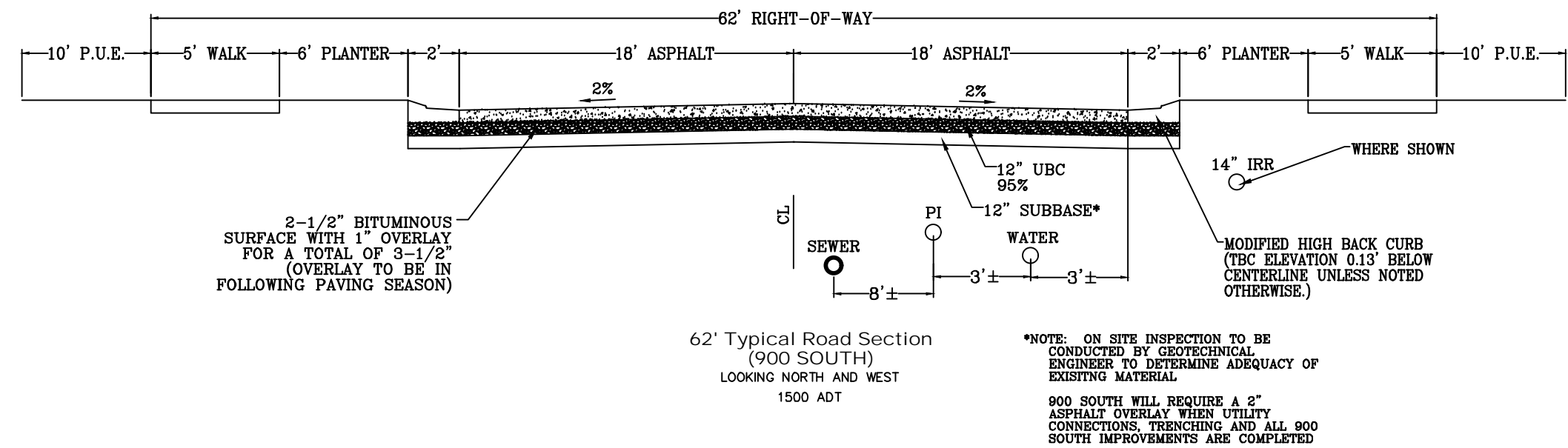
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3	

SHEET NAME:
EROSION CONTROL DETAILS
SHEET:
EC-02



ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



region
Engineering
& Surveying

1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com

REGISTERED PROFESSIONAL ENGINEER AND LAND SURVEYOR
#187023
Donald L. Lyster
STATE OF UTAH

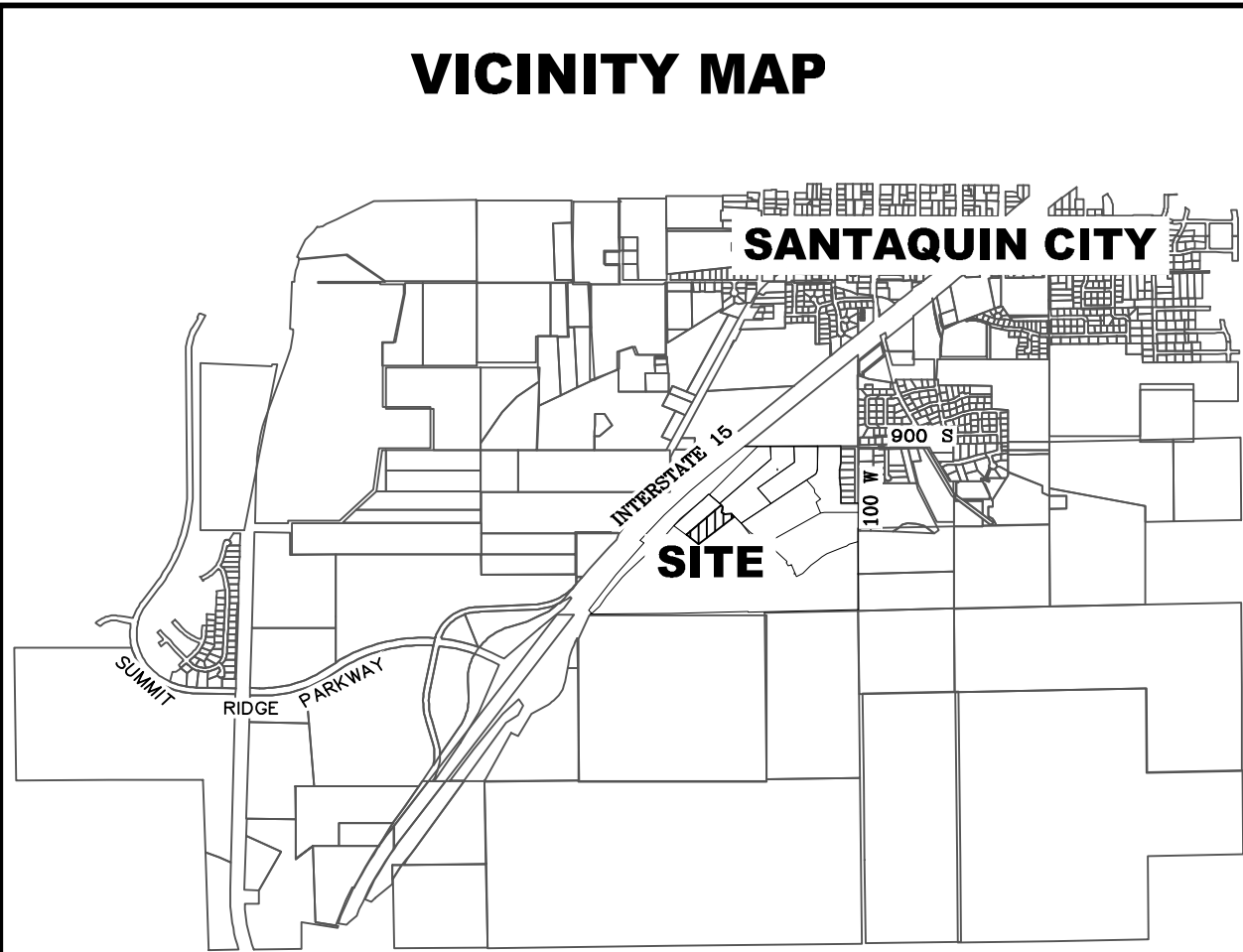
FOOTHILL VILLAGE SUBDIVISION
PLAT 'L'

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 2.17.2020
PROJECT #
REVISIONS:
1
2
3

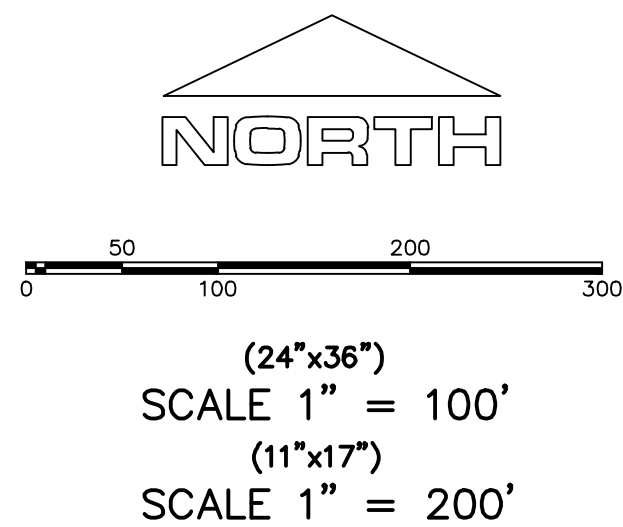
SHEET NAME:
TYPICAL DETAILS

SHEET:
DT-01



ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

PHASES I & L TO BE BUILT CONCURRENTLY
PER SANTAQUIN CITY SECONDARY ACCESS
STANDARDS



NOTES:

- THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.
- ALL SPEED & TRAFFIC REGULATION SIGNS TO BE DETERMINED AND INSTALLED BY SANTAQUIN CITY. DEVELOPER TO PAY SIGN EXPENSES WITH DEVELOPMENT BOND.
- ALL SERVICE LATERALS SHALL BE INSTALLED PER SANTAQUIN STANDARDS AND DETAIL ON SHEET DT-01, UNLESS OTHERWISE NOTED.
- 18" MIN. VERTICAL SEPARATION BETWEEN CULINARY WATER AND PI, STORM DRAIN, OR SANITARY SEWER AT ALL CROSSINGS. CULINARY WATER TO HAVE 4' MIN. COVER AS PER CITY STANDARD.
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- ALL RECOMMENDATIONS MADE IN A PERTINENT GEOTECHNICAL REPORT/STUDY SHALL BE FOLLOWED EXPLICITLY DURING CONSTRUCTION OF BUILDING AND SITE IMPROVEMENTS.

ACCEPTANCE

SIGNATURE: DEVELOPER DATE: _____

SIGNATURE: CITY ENGINEER DATE: _____

SIGNATURE: COMMUNITY DEV. DIRECTOR DATE: _____

SIGNATURE: PUBLIC WORKS DATE: _____

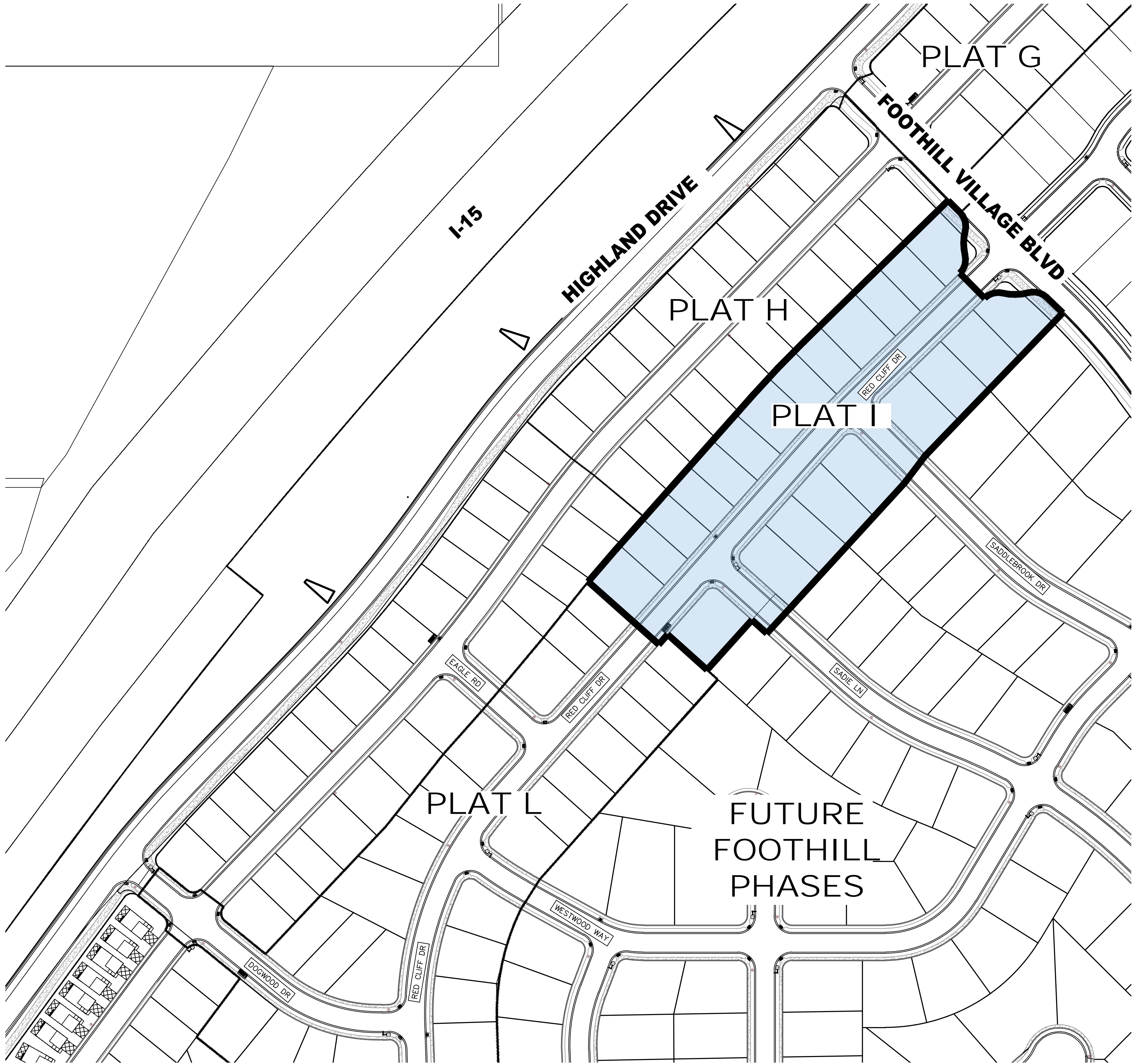
SIGNATURE: BUILDING DEPARTMENT DATE: _____

SIGNATURE: POLICE DEPARTMENT DATE: _____

SIGNATURE: FIRE DEPARTMENT DATE: _____

FOOTHILL VILLAGE SUBDIVISION PLAT 'I'

LOCATED IN THE SOUTHEAST CORNER OF SECTION 11,
TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
Santaquin, Utah County, Utah



PROJECT STATISTICS

LOTS 22 LOTS
TOTAL ACREAGE 4.59 ACRES
TOTAL ACREAGE IN LOTS 3.35 ACRES
TOTAL ACREAGE IN STREETS 1.24 ACRES
DENSITY 4.79 UNITS PER ACRE
ZONE R10 PUD

**PROJECT ENGINEER
& SURVEYOR**

REGION ENGINEERING & SURVEYING
1776 NORTH STATE STREET #110
OREM, UTAH 84057
PH - 801.376.2245

PROJECT DEVELOPER

DR HORTON
12351 So. Gateway Park Place
Suite D-100
Draper UT 84020
Office: (801) 571-7101
CKLeavitt1@horton.com

INDEX OF PLAN SHEETS

SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PLAT	FINAL PLAT
SP-01-02	SITE & UTILITY PLAN
GR-01-02	GRADING PLAN
PP-01-03	PLAN & PROFILE
EC-01	EROSION CONTROL PLAN
EC-02	EROSION CONTROL DETAILS
DT-01	TYPICAL DETAILS

Engineering
& Surveying

region

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**FOOTHILL VILLAGE SUBDIVISION
PLAT 'I'**

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 2.17.2020

PROJECT #

REVISIONS:

1
2
3

SHEET NAME:

COVER SHEET & NOTES

SHEET:

CS-01

NOTES TO CONTRACTOR:

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LEGEND

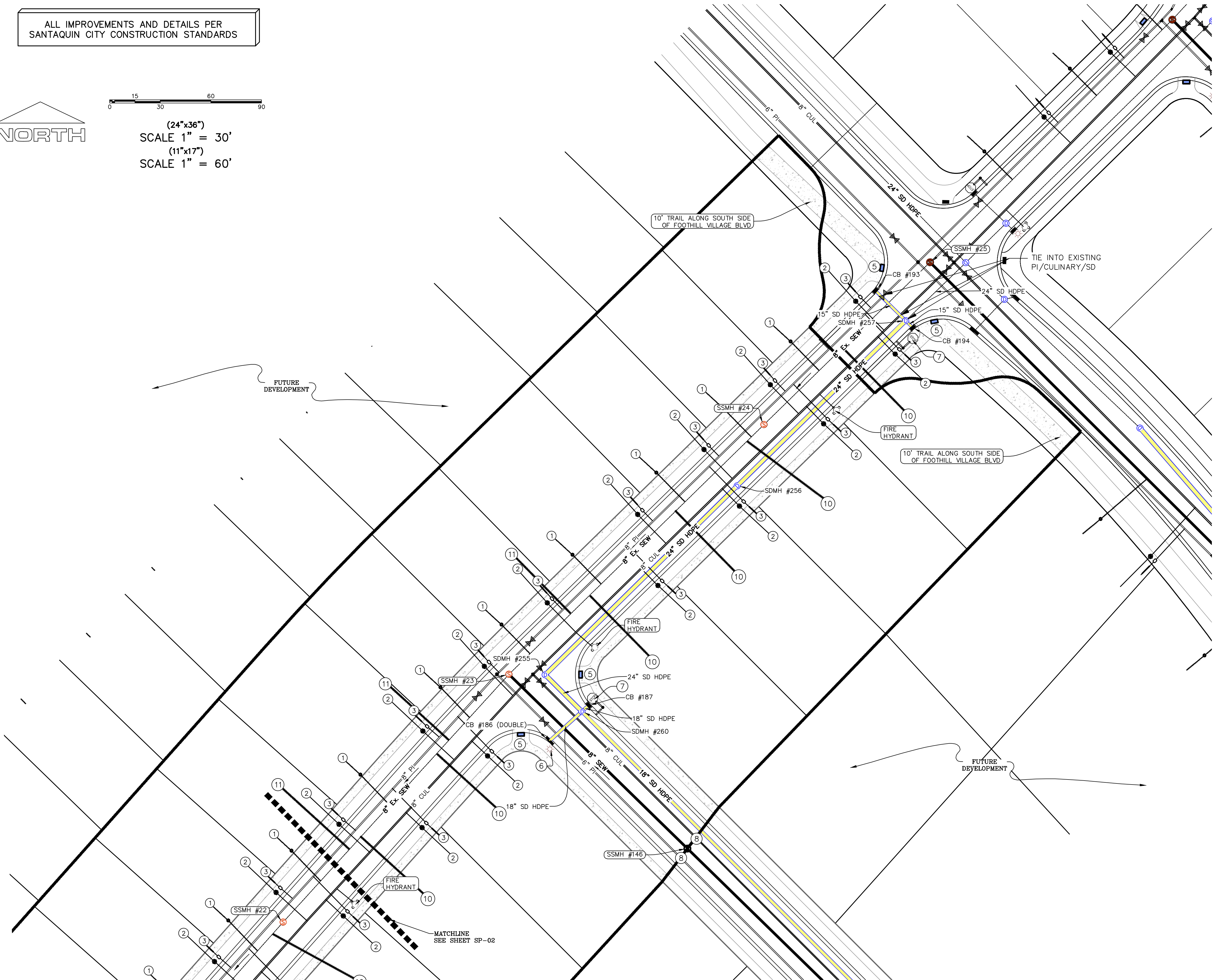
- EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
EXISTING DEED LINE
EXISTING STORM MAIN
EXISTING SEWER MAIN
EXISTING WATER MAIN
EXISTING PI MAIN
EXISTING CONCRETE
PI/WAT/SEWER LATERAL
PROPOSED ASPHALT
PROPOSED CONCRETE
PROPOSED CURB & GUTTER
PROPOSED LOT LINE
BOUNDARY LINE
RIGHT OF WAY LINE
PROPOSED STORM MAIN
PROPOSED CUL MAIN
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ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

NORTH

0 15 30 60 90

(24"x36")
SCALE 1" = 30'
(11"x17")
SCALE 1" = 60'



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FOOTHILL VILLAGE SUBDIVISION
PLAT 'I'
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RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 2.17.2020

PROJECT #

REVISIONS:

1
2
3

SHEET NAME:
SITE/UTILITY PLAN

SHEET:
SP-01

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ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS

NORTH

0 15 30 60 90

(24"x36")
SCALE 1" = 30'
(11"x17")
SCALE 1" = 60'



Engineering
& Surveying
region



FOOTHILL VILLAGE SUBDIVISION
PLAT 'I'

LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 2.17.2020

PROJECT #

REVISIONS:

1
2
3

SHEET NAME:
SITE/UTILITY PLAN

SHEET:

SP-02

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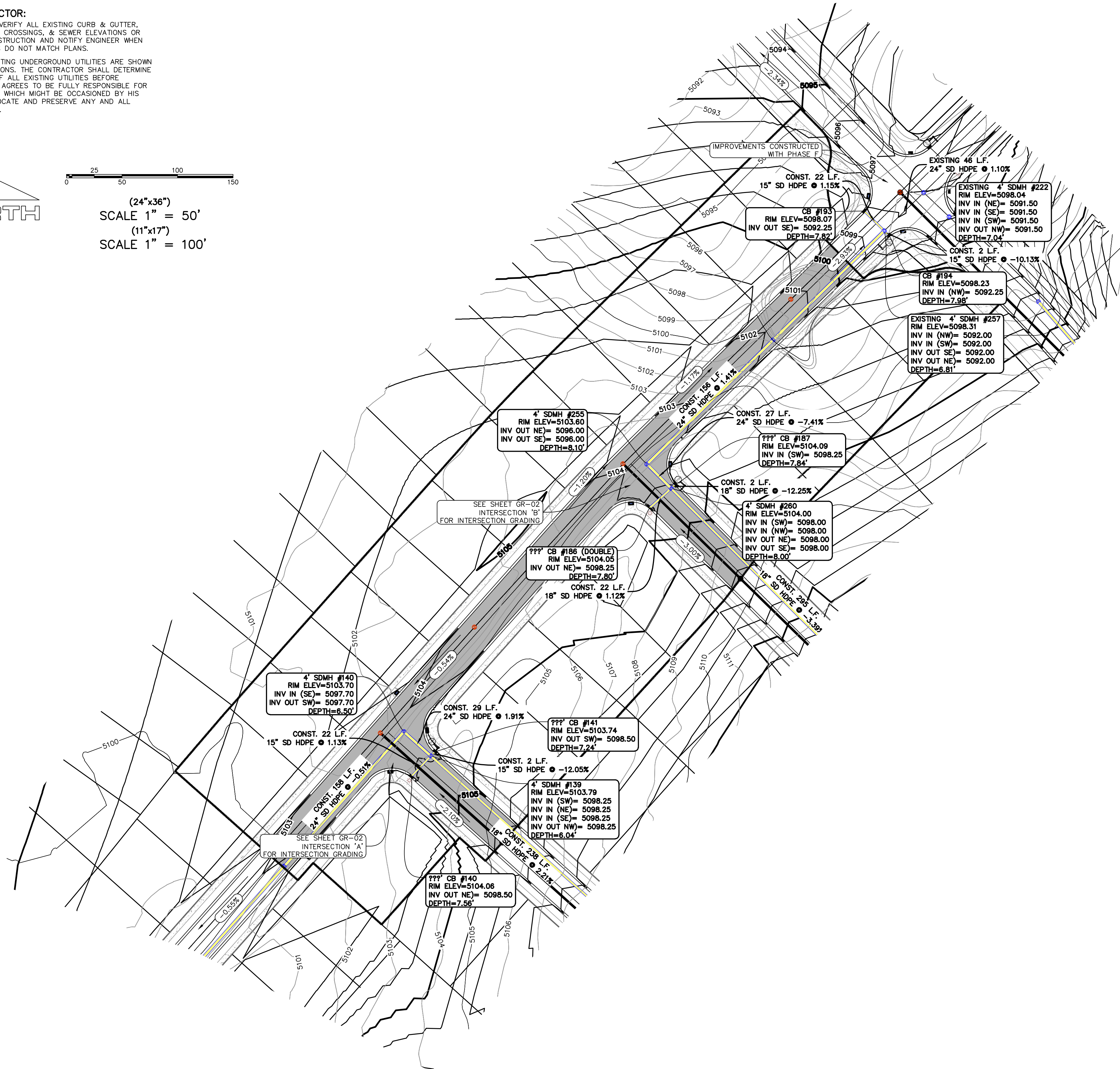
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0 25 50 100 150

(24"x36")
SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'



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(24"x36")
SCALE 1" = 10'
(11"x17")
SCALE 1" = 20'



**FOOTHILL VILLAGE SUBDIVISION
PLAT 'I'**

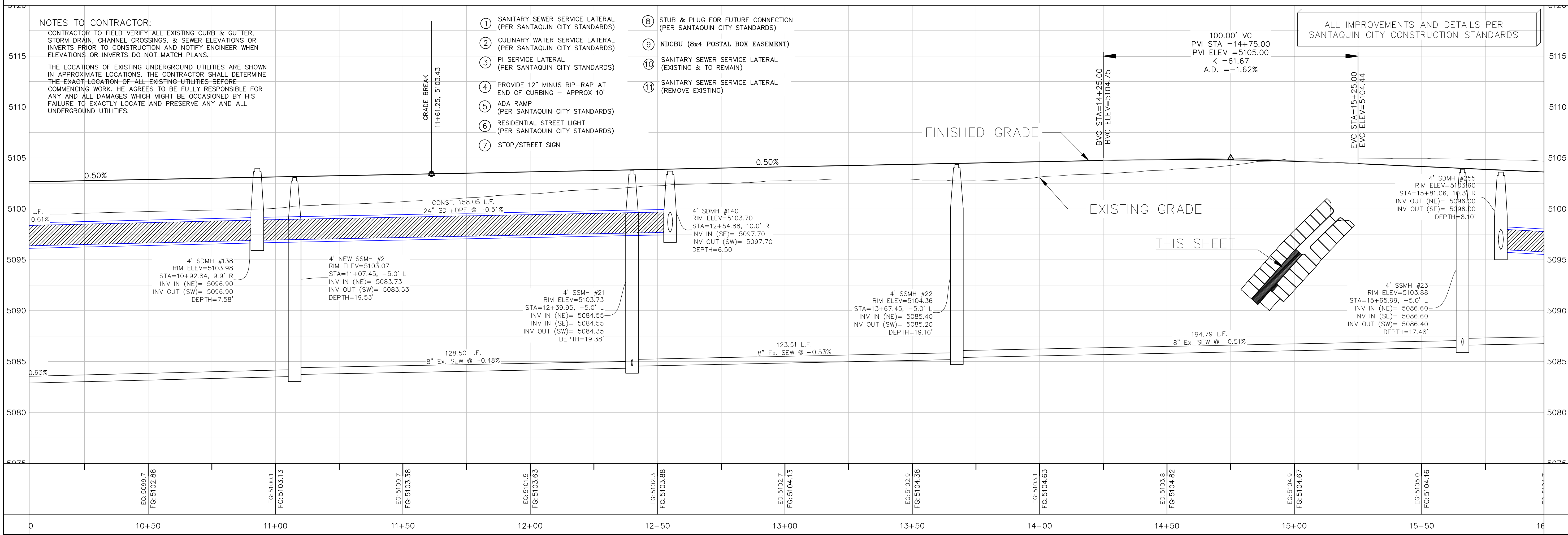
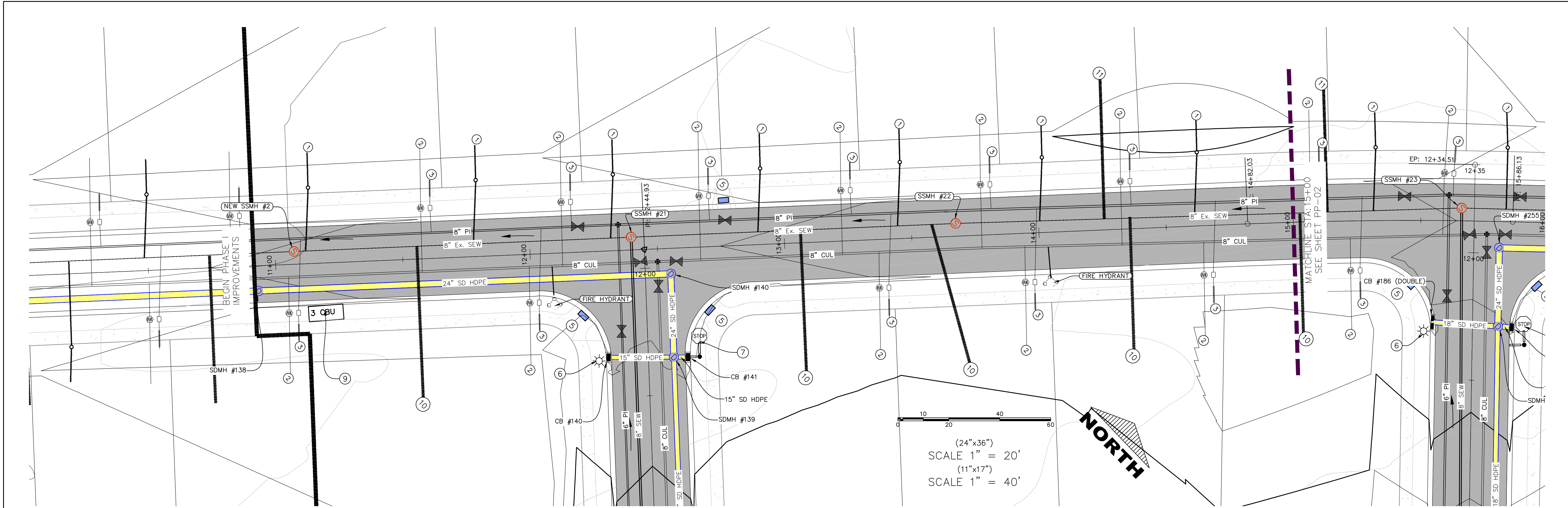
MOOTHILL VILLAGE SUBDIVISION
PLAT 'I'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

PROJECT #

REVISIONS:

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SHEET: GR-03



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FOOTHILL VILLAGE SUBDIVISION
PLAN 'I'
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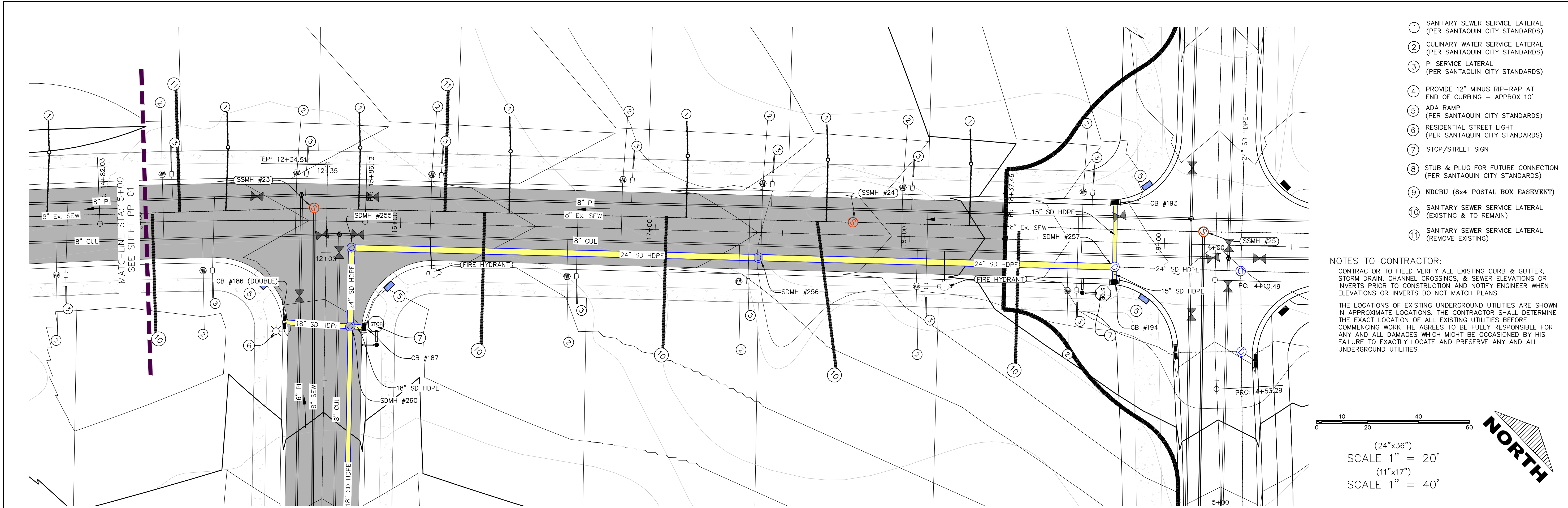
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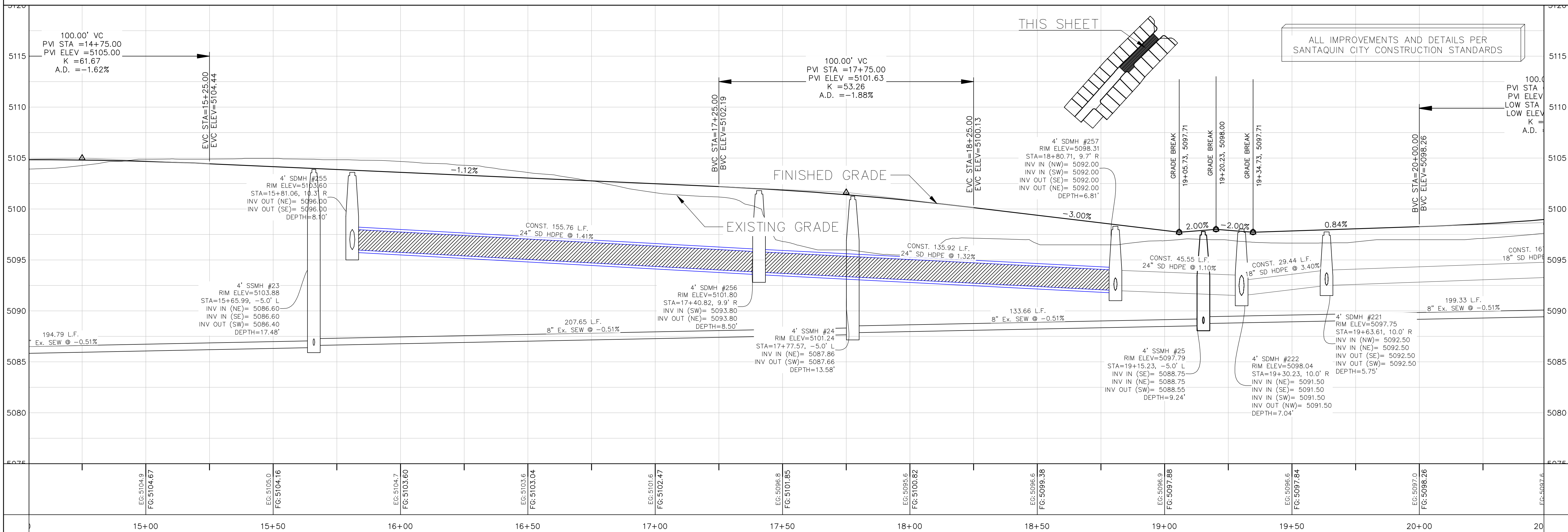
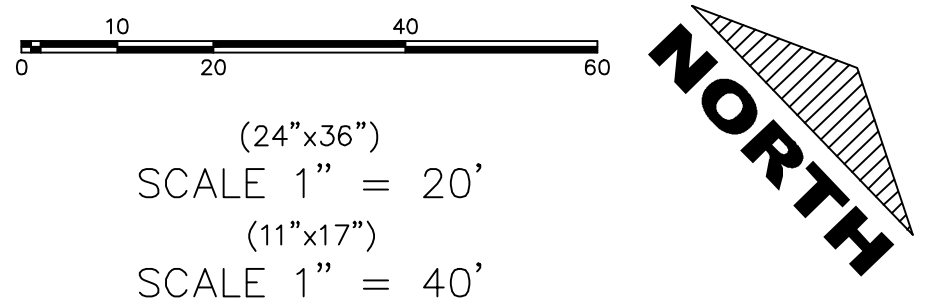
SHEET NAME:
PLAN & PROFILE

SHEET:
PP-01



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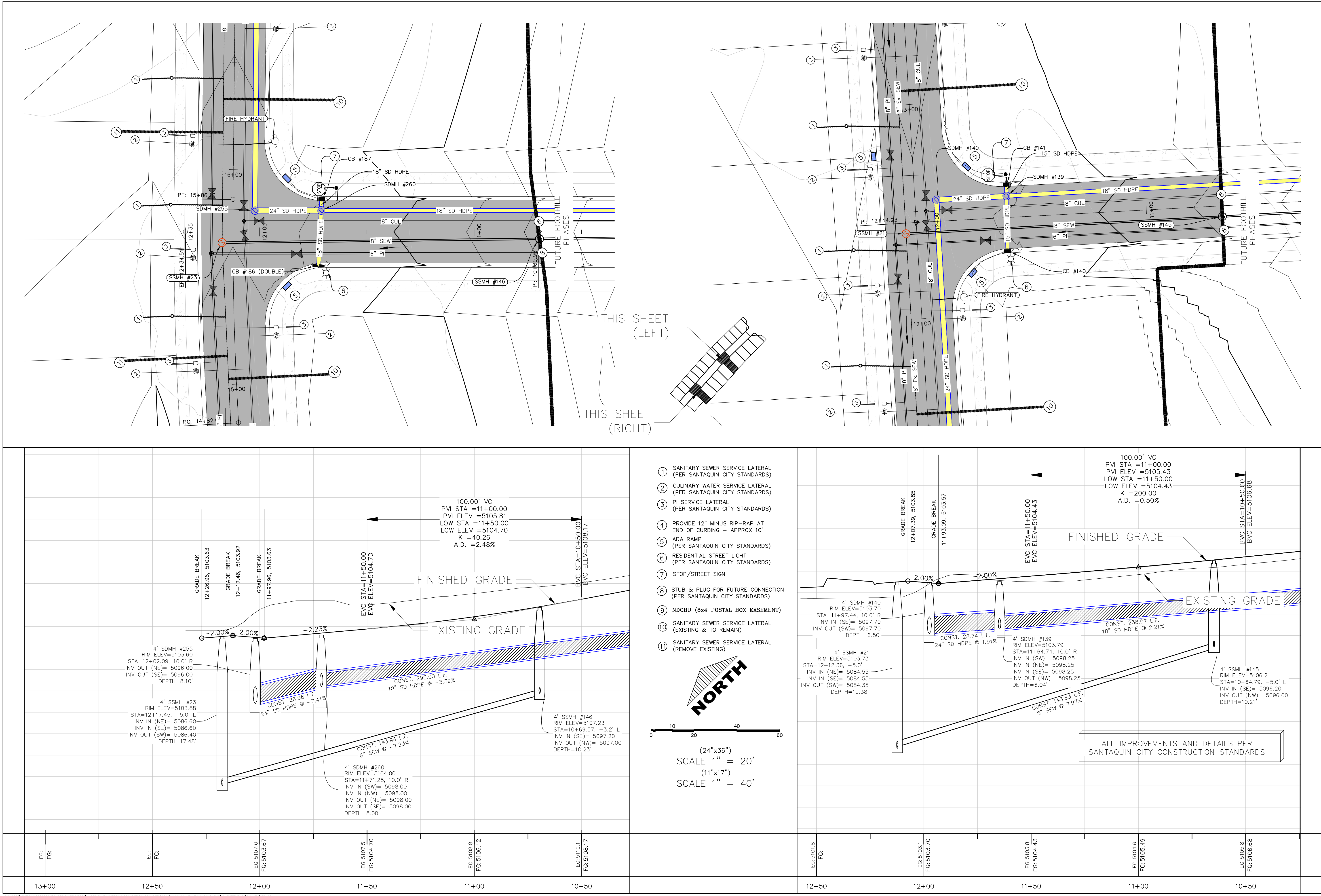
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PLAT 'I'
LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 2.17.2020
PROJECT #
REVISIONS:
1
2
3
SHEET NAME: PLAN & PROFILE
SHEET: PP-02



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- 1 SANITARY SEWER SERVICE LATERAL (PER SANTAQUIN CITY STANDARDS)
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(24"x36")
SCALE 1" = 20'
(11"x17")
SCALE 1" = 40'

ALL IMPROVEMENTS AND DETAILS PER SANTAQUIN CITY CONSTRUCTION STANDARDS

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SHEET NAME:
PLAN & PROFILE
SHEET:
PP-03

- LEGEND:
- X — X — PROPOSED SILT FENCE
(SEE SHEET EC-02)
- FLOW ARROW
- 105 PROPOSED VEHICLE TRACKING CONTROL
(SEE SHEET EC-02)
- 220 PROPOSED CURB INLET PROTECTION
(SEE SHEET EC-02)
- PT PORTABLE TOILETS

NOTES:

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER IS TO BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
7. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSED INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
8. THE CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
9. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE ENGINEERING DEPARTMENT. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

PROJECT INFORMATION SIGN

- ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
1. THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH-MOVING OPERATIONS.
 2. THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS/ EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR PROPER SIGHT TRIANGLE CLEARANCES.
 3. THE SIGN MAY BE REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY THE CITY.
 4. THE SIGN SHALL BE A MINIMUM OF 48" x 48" AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE.

DEVELOPERS NAME
(4" Uppercase Bold Letters)

PROJECT NAME
(4" Uppercase Bold Letters)
PERMIT NUMBER
(4" Bold Numbers)

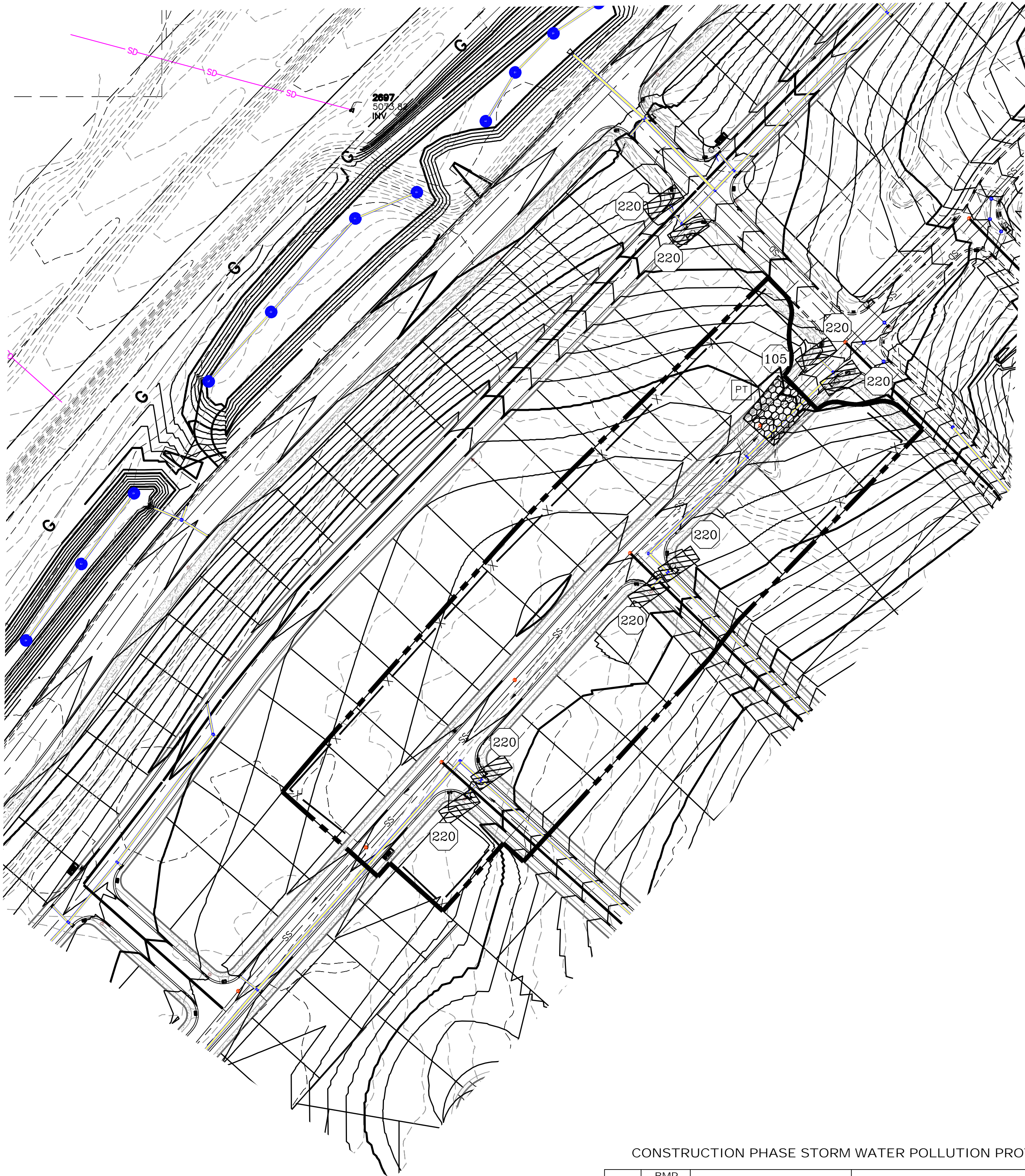
FOR PROJECT SITE CONCERNS CONTACT

Office Phone Contact ###-###-####
(4" Bold Numbers)

Cell Phone Contact ###-###-####
(4" Bold Numbers)

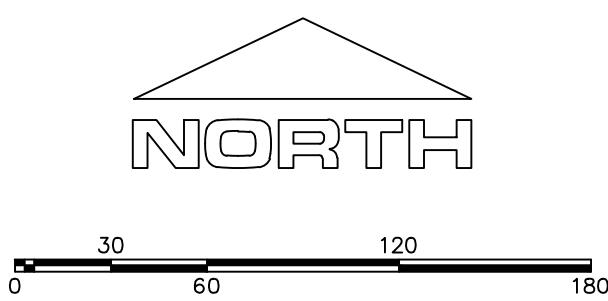
IF NO RESPONSE PLEASE CONTACT CITY OFFICE AT
(3" Uppercase Bold Letters and 3" Bold Numbers)

5. THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE, AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
6. THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER IF IT MEETS THESE REQUIREMENTS..



CONSTRUCTION PHASE STORM WATER POLLUTION PROTECTION PLAN BEST MANAGEMENT PRACTICES (BMP)

BMP#	BMP SYMBOL	TITLE	LOCATION	DURATION
C101	101	PRESERVING NATURAL VEGETATION	PER CONTRACTOR	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C105	105	STABILIZED CONSTRUCTION ENTRANCE	AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF ASPHALT IMPROVEMENTS
C106	106	WHEEL WASH	AS SHOWN	AS NECESSARY
C151	151	CONCRETE WASTE MANAGEMENT	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C190	190	POTABLE TOILETS	PER CONTRACTOR/ AS SHOWN	BEGINNING OF CONSTRUCTION THROUGH COMPLETION OF SITE IMPROVEMENTS
C220	220	STORM DRAIN INLET PROTECTION	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	233	SILT FENCE	AS SHOWN	COMMENCEMENT OF GRADING THROUGH COMPLETION OF SITE IMPROVEMENTS
C233	240	SEDIMENT TRAP	AS SHOWN	BEGINING OF CONSTRUCTION TO PLACEMENT OF ASPHALT



(24"x36")
SCALE 1" = 60'
(11"x17")
SCALE 1" = 120'

Engineering & Surveying
region
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



FOOTHILL VILLAGE SUBDIVISION
PLAT 'I'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

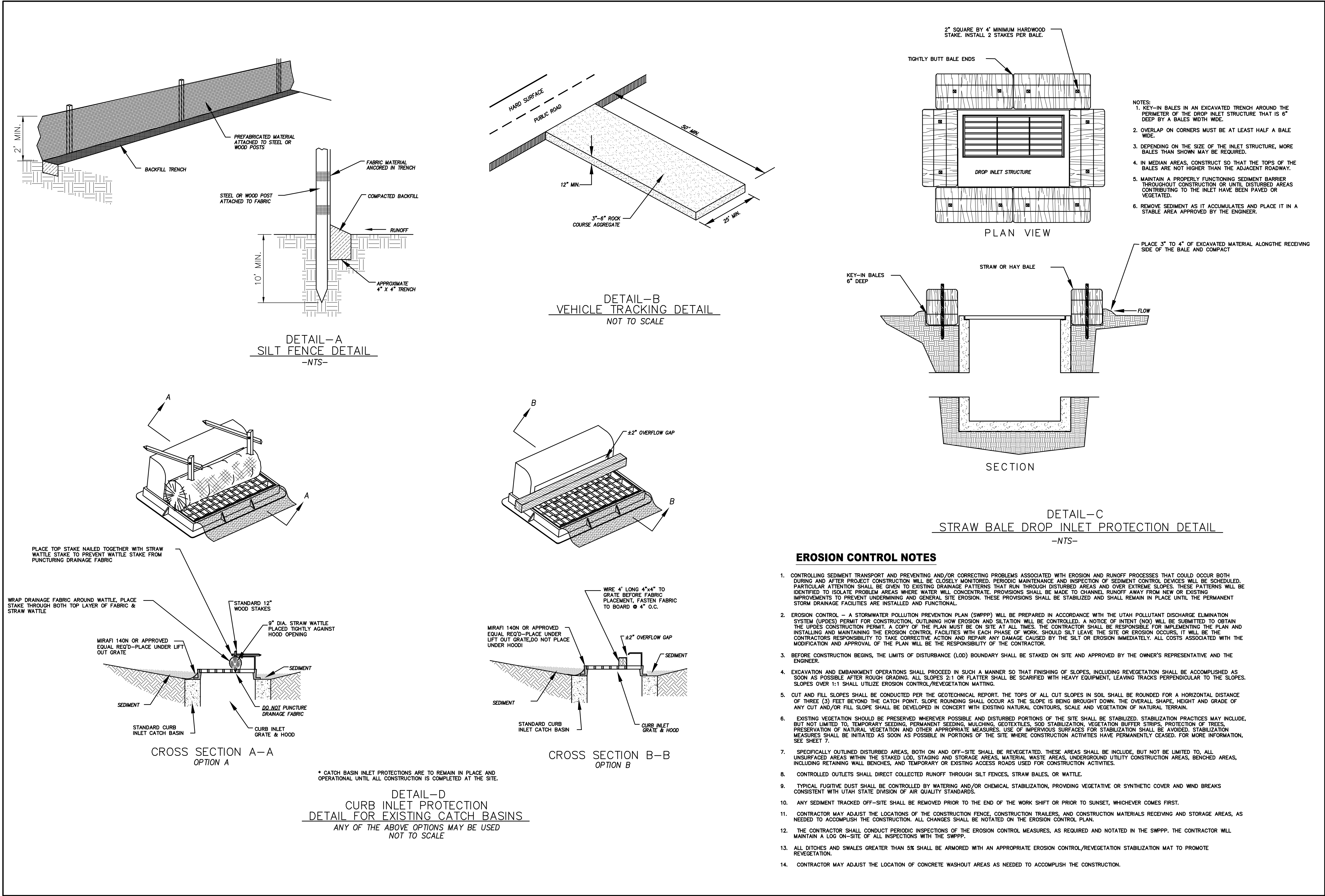
DATE:2.17.2020

PROJECT #

REVISIONS:

- 1
- 2
- 3

SHEET NAME:
EROSION CONTROL PLAN
SHEET:
EC-01



Engineering & Surveying
region
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com

R

PROFESSIONAL ENGINEER AND LAND SURVEYOR
#187023
Donald L. Syner
EXPIRES 12/31/2024

FOOTHILL VILLAGE SUBDIVISION
PLAT 'I'
LOCATED IN THE SOUTHEAST CORNER OF SECTION 11, TOWNSHIP 10 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

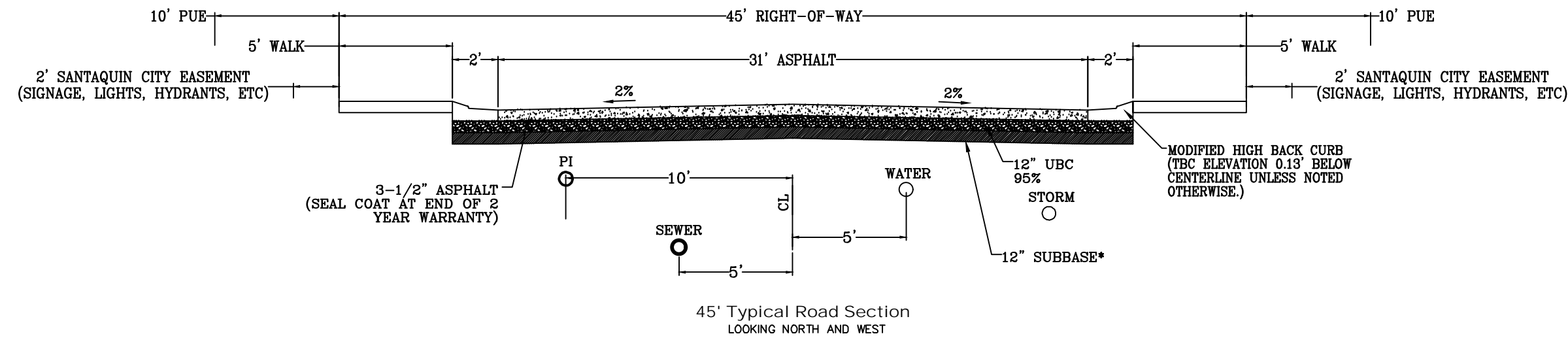
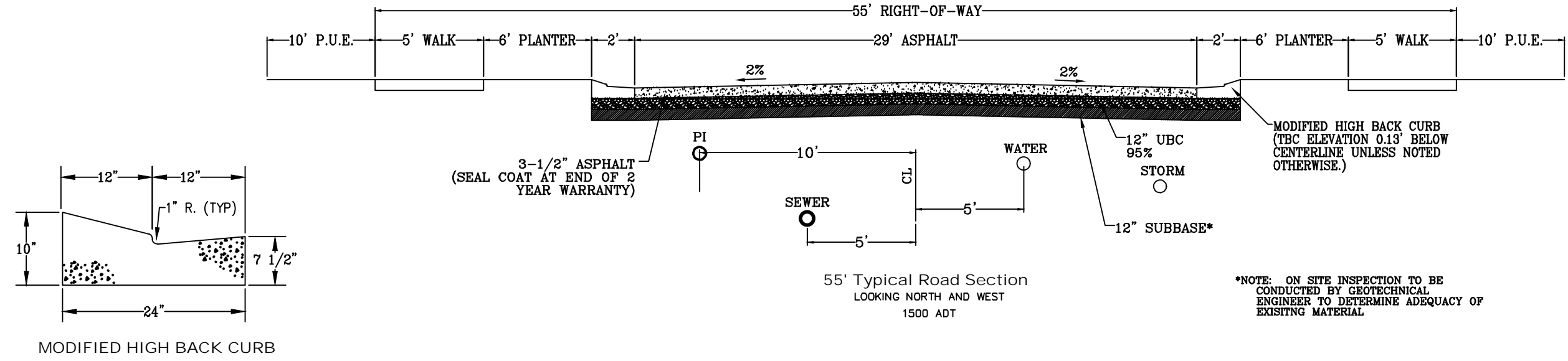
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PROJECT #

REVISIONS:

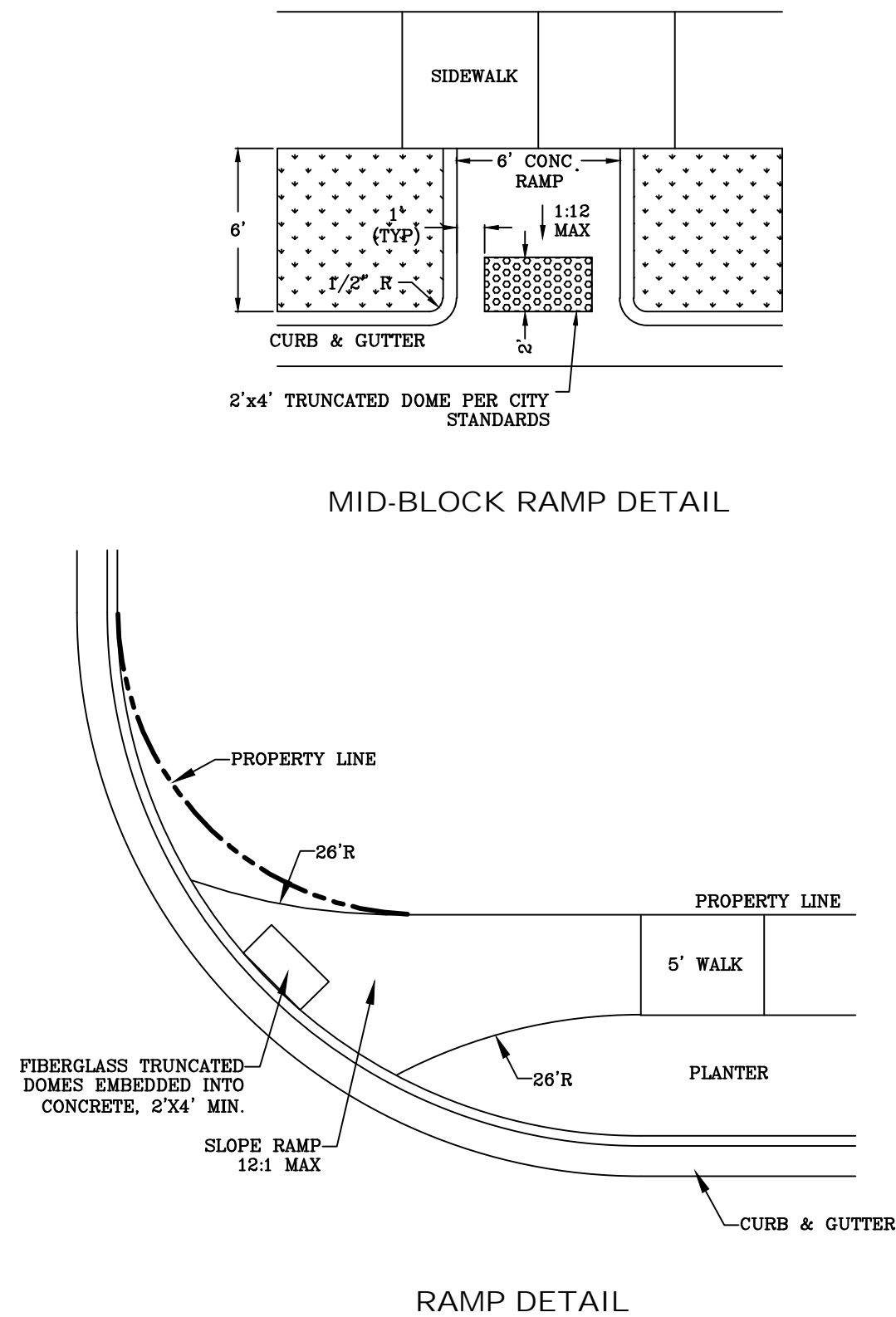
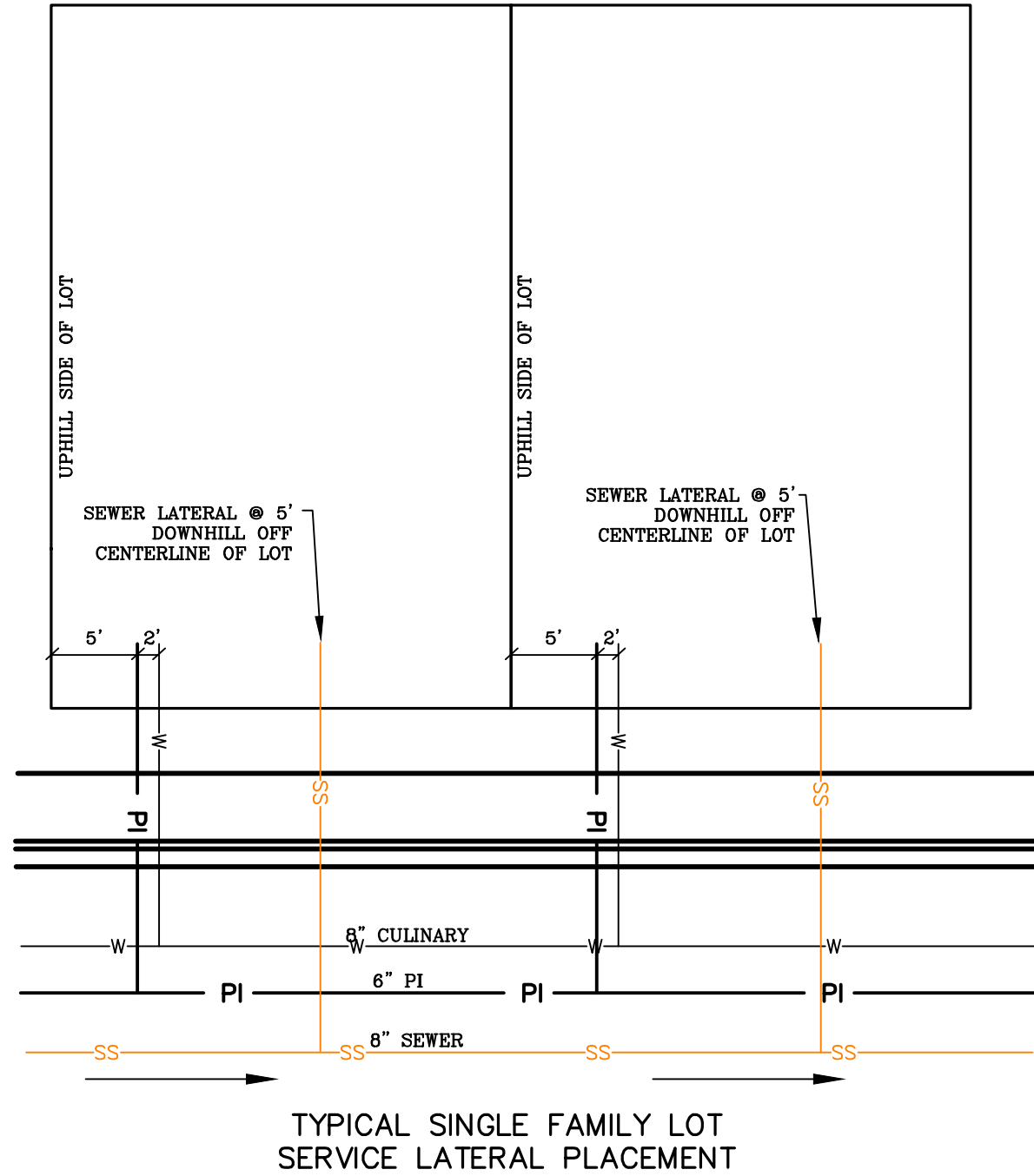
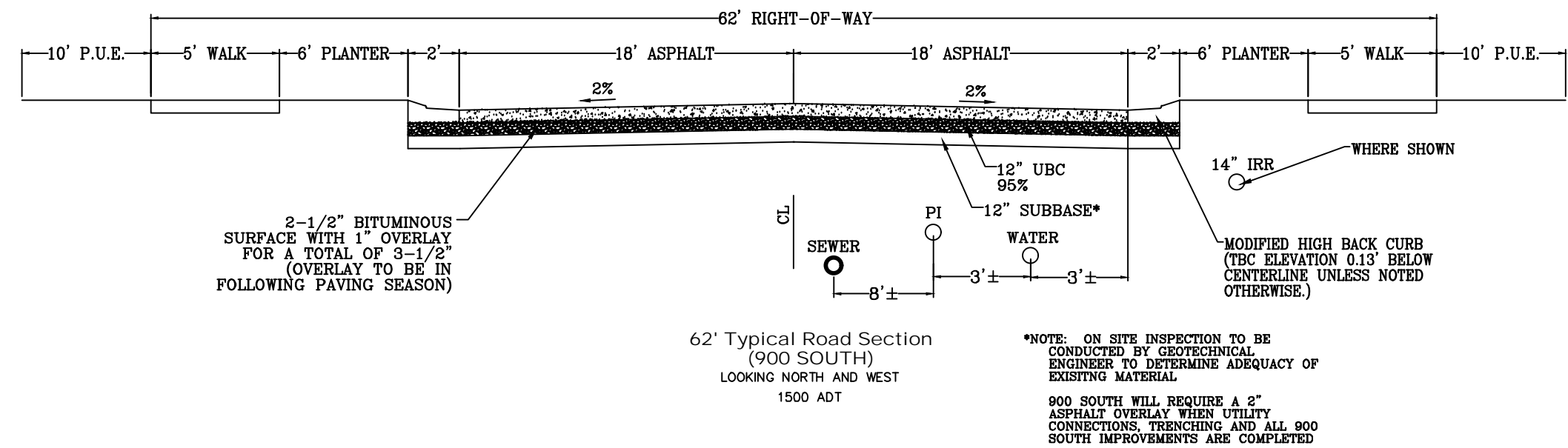
1	
2	
3	

SHEET NAME:
EROSION CONTROL DETAILS



SHEET:
EC-02



ALL IMPROVEMENTS AND DETAILS PER
SANTAQUIN CITY CONSTRUCTION STANDARDS



region
Engineering & Surveying
1776 N. State St. #110
Orem, UT 84057
P: 801.376.2245
regiondesignllc.com



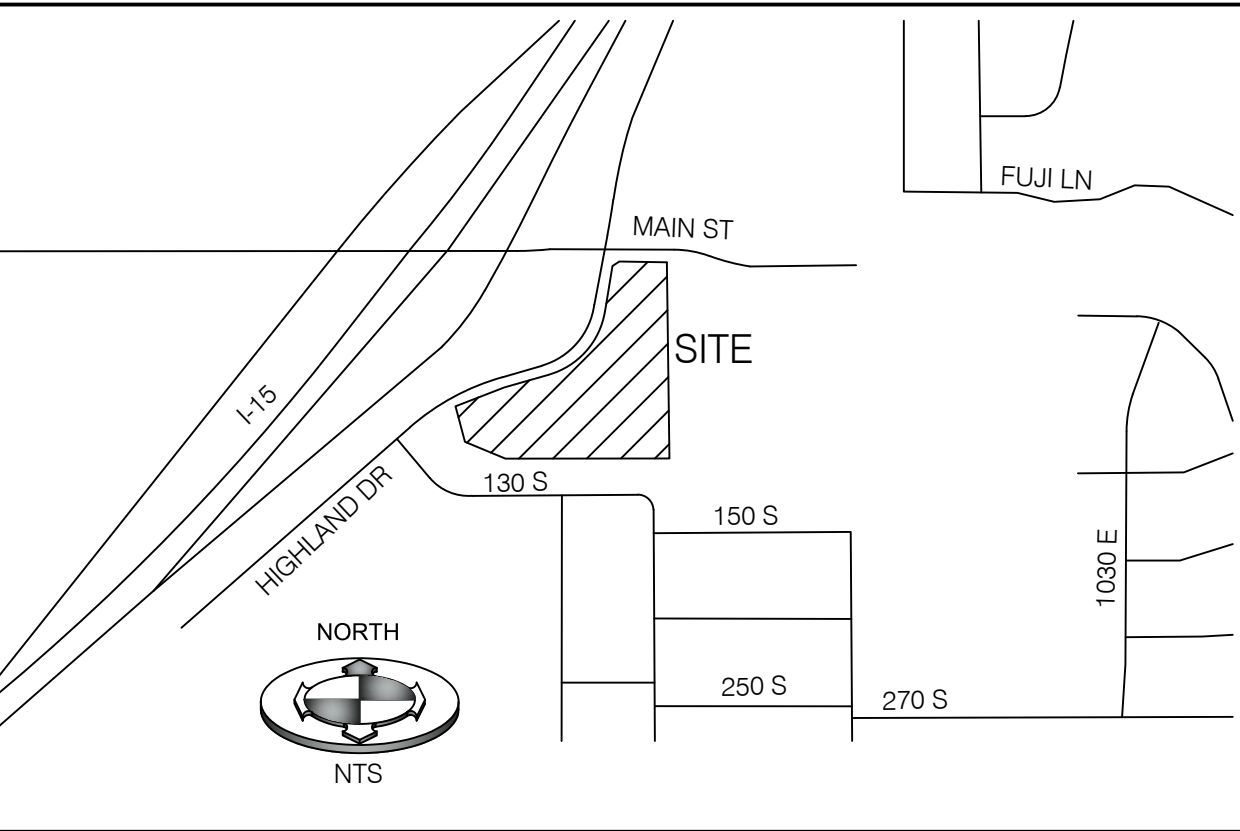
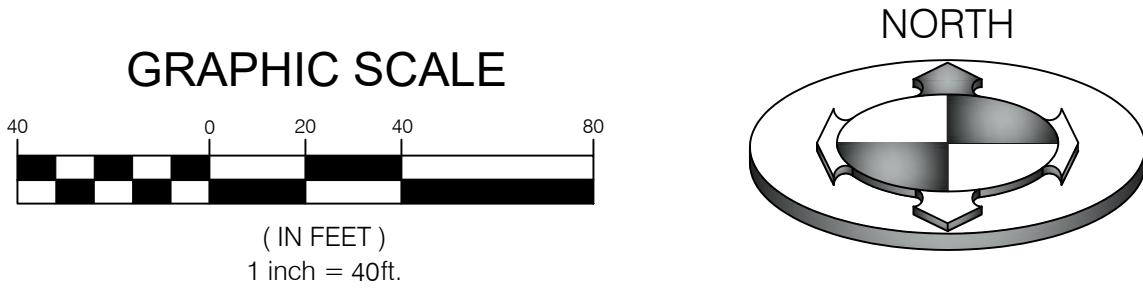
FOOTHILL VILLAGE SUBDIVISION
PLAT 'I'
LOCATED IN THE SOUTHEAST CORNER OF SECTION
11, TOWNSHIP 10 SOUTH
RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

DATE: 2.17.2020	
PROJECT #	
REVISIONS:	
1	
2	
3	

SHEET NAME:
TYPICAL DETAILS
SHEET:
DT-01

PARKER VIEW SUBDIVISION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 10 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH



VICINITY MAP
N.T.S

OWNER/DEVELOPER:
COLTON PETERSEN
(775) 388-1831
coltonbigotires@gmail.com

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES

NOTE:
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CIVIL CONSTRUCTION PLANS

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SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

PARKER HEIGHTS SUBDIVISION 55 S HIGHLAND DR SANTAQUIN, UT		DRAFT CDB DATE: 2/3/2020	DESIGN AGA DATE: 2/3/2020	CHECK MCP DATE: XX/XX/2020	PROJECT NO: 1909242
No.	DATE	DESCRIPTION			COVER
					1 OF 7


[illegible]


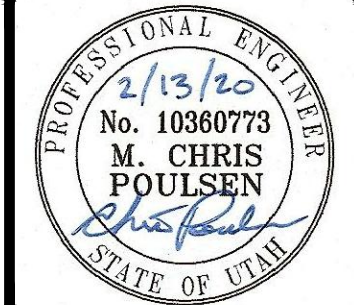
NEW	EXISTING	REMOVE IF WE DON'T DO SURVEY
		SECTION CORNER (FOUND)
		SECTION CORNER (NOT FOUND)
		STREET MONUMENT (FOUND)
		STREET MONUMENT (NOT FOUND)
		BRASS CAP MONUMENT
		POWER POLE & OVERHEAD POWER
		LIGHT POLE
		GUY WIRE
		TELEPHONE MANHOLE
		SANITARY SEWER MANHOLE
		STORM DRAIN MANHOLE
		CATCH BASIN
		DIRECTION OF DRAINAGE
		WATER MANHOLE
		WATER VALVE
		WATER METER
		FIRE HYDRANT
		IRRIGATION VALVE
		GAS MANHOLE
		TREE

BAR & CAP	PUE	PUBLIC UTILITY EASEMENT
BOW	R	RADIUS OF CURVE
COR. BOTTOM OF VISIBLE WALL	RR	RAILROAD
CF	RW	RIGHT-OF-WAY
CB	SMH	SEWER MANHOLE
D	SD	STORM DRAIN
EG	SF	SQUARE FEET
EOC	TB	TOP BACK OF CURB
EX	TMH	TELEPHONE MANHOLE
FFE	TOA	TOP OF ANTHOLE
FG	TOC	TOP OF CONCREE
FH	TOF	TOP OF FOOTING
FL	TOE	TOE OF SLOPE
GB	TOG	TOP OF GRATE
GW	TOP	TOP OF SLOPE
HW	TOW	TOP OF WALL
I.E.	TR	TELEPHONE RISER
IN	UGP	UNDERGROUND POWER
L	VPC	VERTICAL POINT OF CURVATURE
LP	VPI	VERTICAL POINT OF INTERSECTION
M-M	VPT	VERTICAL POINT OF TANGENCY
MH	WM	WATER METER
MON.	WW	WATER VALVE
OH-P		
PC		
PI		
PP		
PT		

59. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OR CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSE SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS, THE CONTRACTOR SHALL SUBMIT THE SLOPE AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURS WITHOUT THE APPROVAL OF THE ENGINEER.

82. IT IS THE INTENT ON THESE PLANS THAT ALL PAVEMENT SLOPE TO A CATCH BASIN, INLET BOX OR OUT INTO A STREET. CONTRACTOR TO VERIFY FINISH SPOT ELEVATIONS AND NOTIFY ENGINEER IF THERE ARE DISCREPANCIES THAT WOULD CAUSE PUDDLING ON THE SITE.

OWNER	DZB	No.	DATE	DESCRIPTION
CHECKED BY	AEA			
FIELD DESK	CAUJKD			
DATE	XXXX/XX/2020			
DWG. FILE	1306942_SITE			
		0	0.5	
				
SCALE MEASURES WHICH ON FULL SIZE SHEETS				
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS				



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55 S HIGHLAND DR
SANTAQUIN, UT

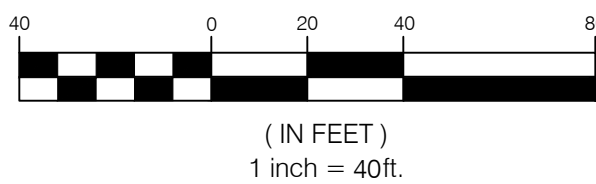
PROJECT NO. 1909242

GEN. NOTES
LEGEND &
ABBREV.

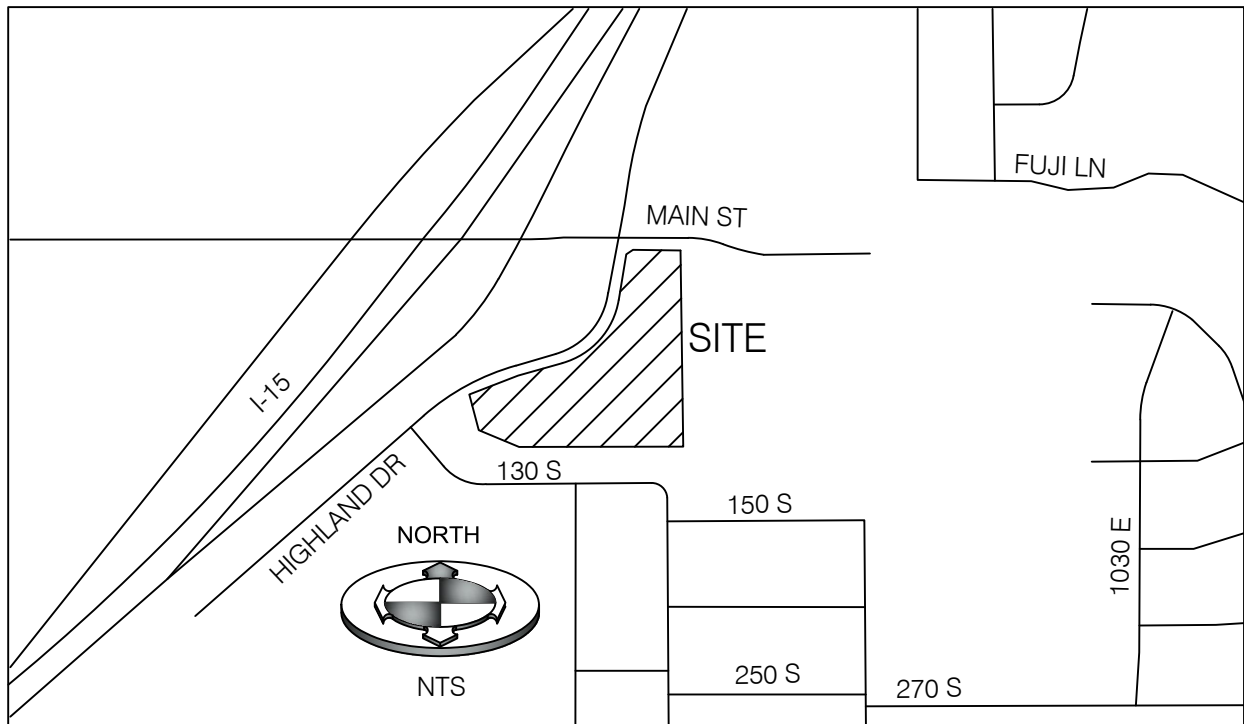
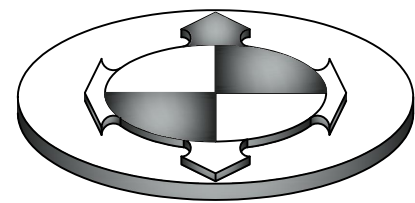
CGN.01
2 OF 7

NOTE:
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STANDARDS.

GRAPHIC SCALE



NORTH



VICINITY MAP

CONSTRUCTION KEY NOTE REFERENCE

NO.	DESCRIPTION	DETAIL
①	NEW DRIVE APPROACH PER SANTAQUIN CITY STANDARD DETAIL CG3	1/CDT.01
②	SAWCUT AND REPLACE ASPHALT PER SANTAQUIN CITY STD. DETAIL UT3	1/CDT.02
③	SAWCUT AND REPLACE ASPHALT TRAIL PER SANTAQUIN CITY STD DETAIL T3	2/CDT.02

LOT TABLE

TOTAL NUMBER OF LOTS	3 LOTS
TOTAL ACREAGE WITHIN THE PROPOSED DEVELOPMENT	246,271 ACRES
TOTAL ACREAGE IN LOTS	246,271 ACRES
TOTAL ACREAGE TO BE DEDICATED FOR STREET RIGHT-OF-WAY	0
TOTAL ACREAGE IN GREEN OR OPEN SPACES (S)	0
DENSITY IN UNITS PER GROSS ACRE	0.18

EXISTING ZONE: C-1
PROPOSED ZONE: C-1

LOT 1 - AREA TABLE

PARTICULARS	S.F.	%
BUILDING	0	-
HARDSCAPE	2,604	6.5
AREA TO BE DEDICATED	0	-
LANDSCAPE	37,396	93.5
TOTAL	40,000	100

LOT 2 - AREA TABLE

PARTICULARS	S.F.	%
BUILDING	7,673	13.0
HARDSCAPE	34,511	58.2
AREA TO BE DEDICATED	0	-
LANDSCAPE	17,067	28.8
TOTAL	59,251	100

LOT 3 - AREA TABLE

PARTICULARS	S.F.	%
BUILDING	0	-
HARDSCAPE	2,597	1.8
AREA TO BE DEDICATED	0	-
LANDSCAPE	144,423	98.2
TOTAL	147,020	100

PARKING COUNT LOT 2

PARTICULARS	PROVIDED	
	STANDARD	ADA
PARKING STALLS	28	2
TOTAL	30	

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BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER

1-800-662-4111
www.bluestakes.org

811

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	76.45'	50.00'	87°36'07"	S 75°39'13" E
C2	58.53'	150.00'	22°21'23"	S 61°02'54" E
C3	80.23'	284.00'	16°11'13"	S 66°14'26" W
C4	209.62'	284.00'	42°17'24"	S 37°00'08" W
C5	27.68'	284.00'	5°35'00"	S 13°03'56" W

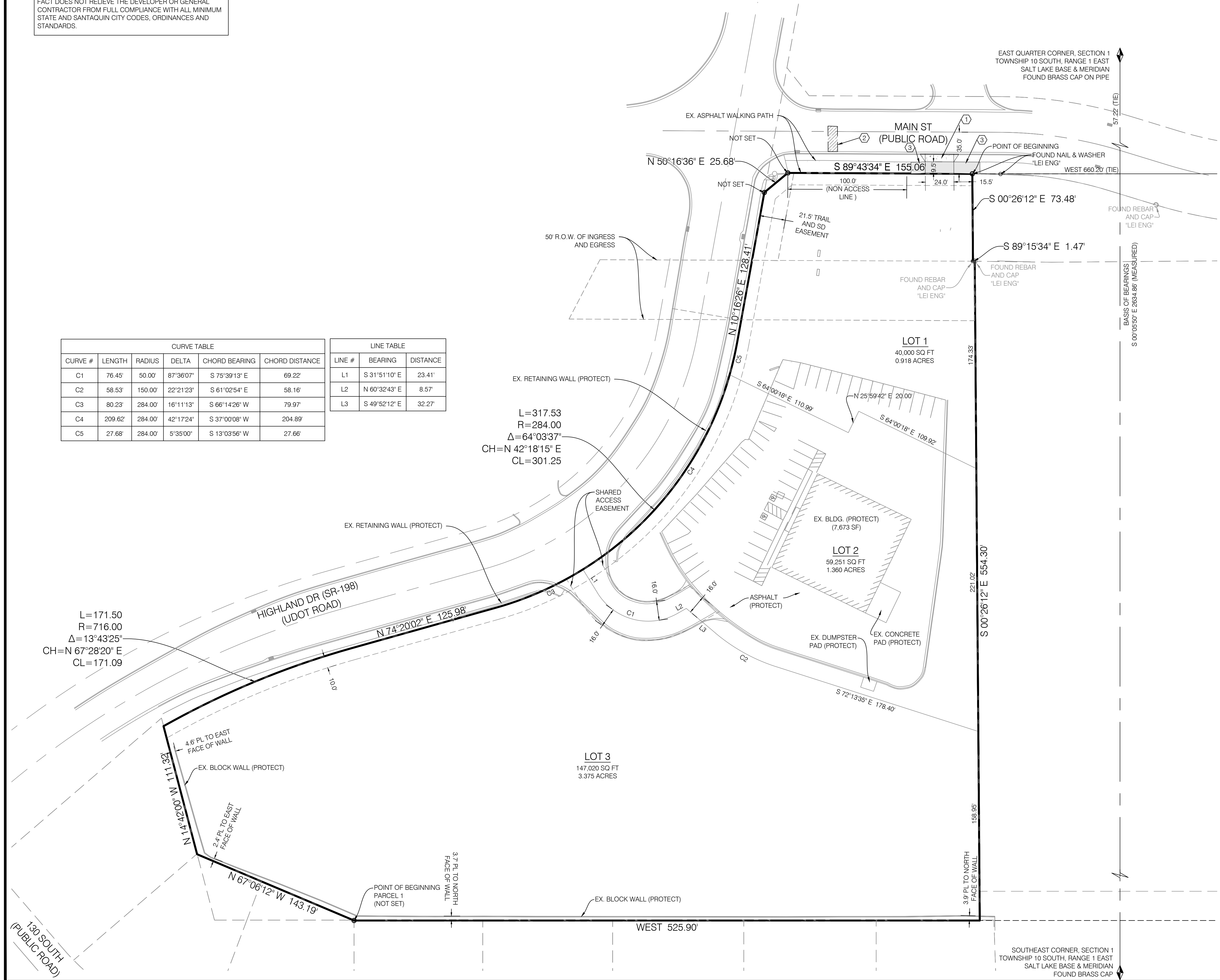
LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S 31°51'10" E	23.41'
L2	N 60°32'43" E	8.57'
L3	S 49°52'12" E	32.27'

L=317.53
R=284.00
Δ=64°03'37"
CH=N 42°18'15" E
CL=301.25

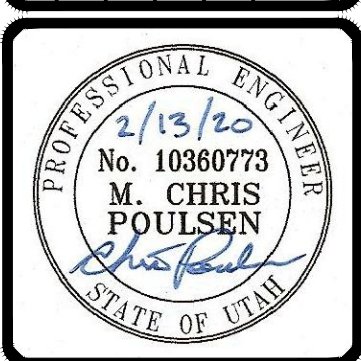
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LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S 31°51'10" E	23.41'
L2	N 60°32'43" E	8.57'
L3	S 49°52'12" E	32.27'

L=171.50
R=716.00
Δ=13°43'25"
CH=N 67°28'20" E
CL=171.09



NO.	DATE	DESCRIPTION
1	12/13/20	1909242 SITE
2	12/13/20	1909242 SITE
3	12/13/20	1909242 SITE
4	12/13/20	1909242 SITE
5	12/13/20	1909242 SITE
6	12/13/20	1909242 SITE
7	12/13/20	1909242 SITE
8	12/13/20	1909242 SITE
9	12/13/20	1909242 SITE
10	12/13/20	1909242 SITE
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97	12/13/20	1909242 SITE
98	12/13/20	1909242 SITE
99	12/13/20	1909242 SITE
100	12/13/20	1909242 SITE



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BENCHMARK CIVIL

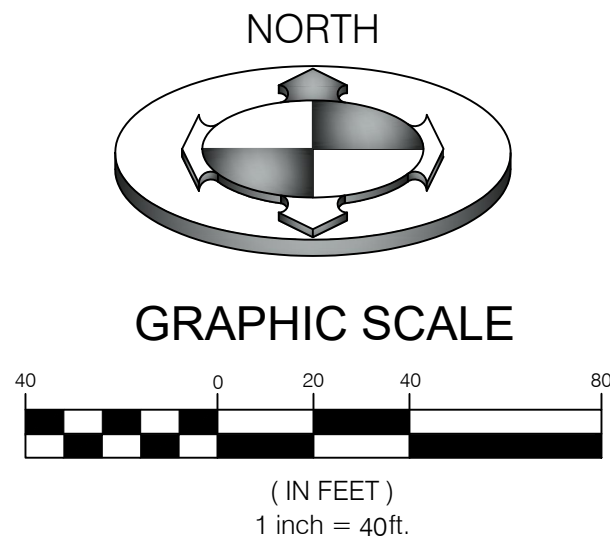
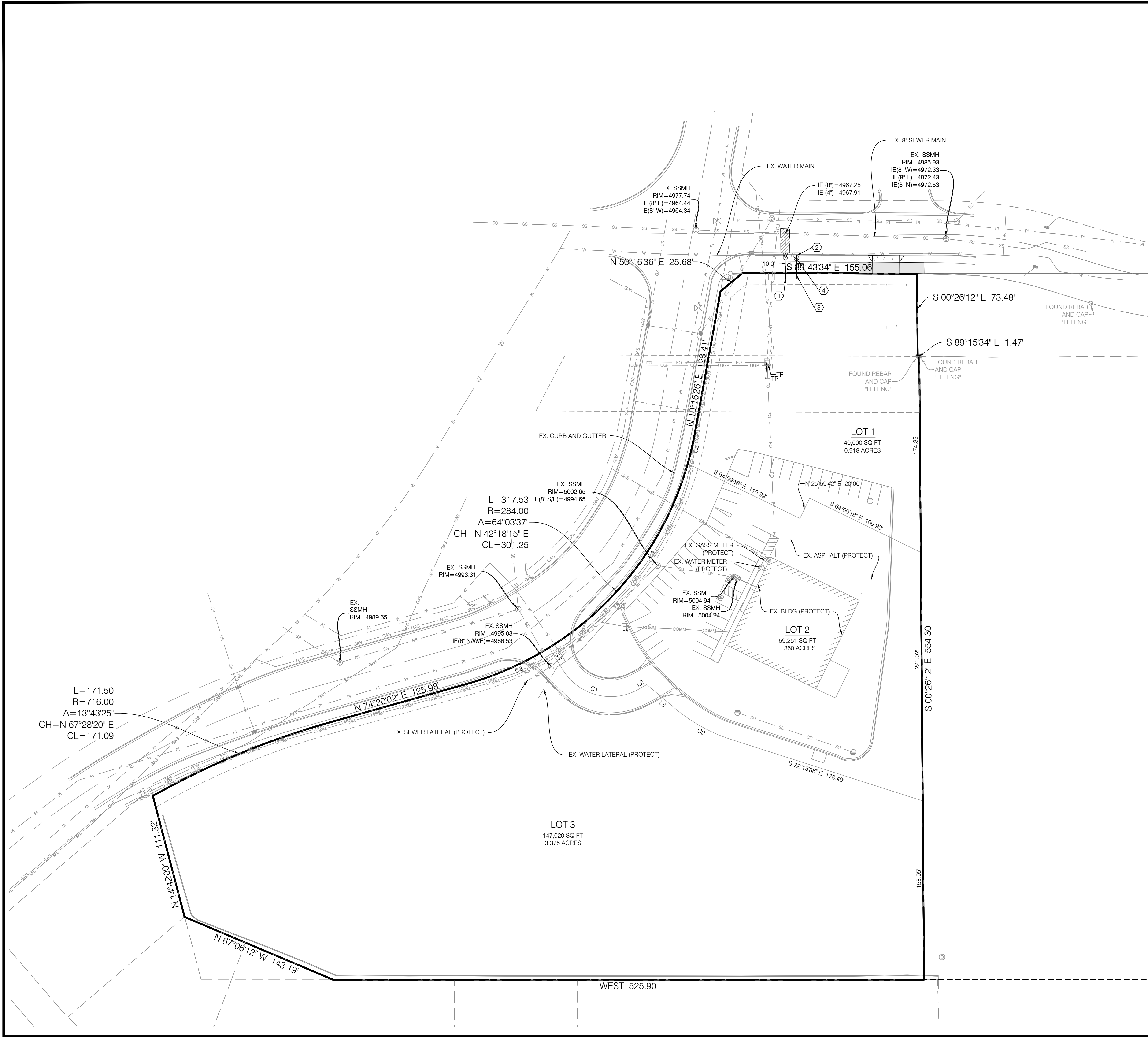
PARKER VIEW SUBDIVISION

55 S HIGHLAND DR
SANTAQUIN, UT

PROJECT NO. 1909242

SITE PLAN

CSP.01
3 OF 7



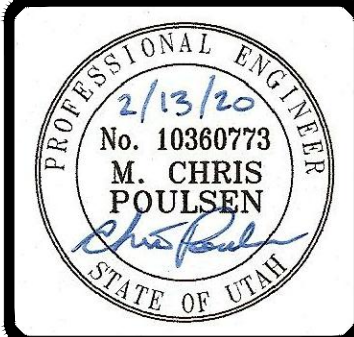
CONSTRUCTION KEY NOTE REFERENCE		
NO.	DESCRIPTION	DETAIL
①	4" SEWER LATERAL PER STD CITY STANDARD DETAIL S2 (SLOPE @ MIN. 2%)	2/CDT.01
②	2" SDR 9, CTS PE SERVICE PIPE (BLUE) SANTAQUIN CITY STANDARD DETAIL W1	3/CDT.01
③	2" POLY WATER SERVICE LINE (BLUE)	
④	2" WM PER SANTAQUIN CITY STANDARD DETAIL W1	3/CDT.01

NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION AND NOTIFY ENGINEER IF THIS POINT IS HIGHER THAN SHOWN ON THE PLANS FOR A REDESIGN.

NOTE:
POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.

NOTE:
THE DEVELOPER AND THE GENERAL CONTRACTOR UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM STATE AND SANTAQUIN CITY CODES, ORDINANCES AND STANDARDS.

DESCRIPTION		DATE
PROJECT NO.	1909242	
PROJECT NAME	PARKER VIEW SUBDIVISION	
PROJECT LOCATION	55 S HIGHLAND DR SANTAQUIN, UT	
PROJECT OWNER	XXX/2020	
PROJECT DATE	10/02/2020	
PROJECT SHEET	1909242 SITE	
PROJECT SCALE	1" = 40'	

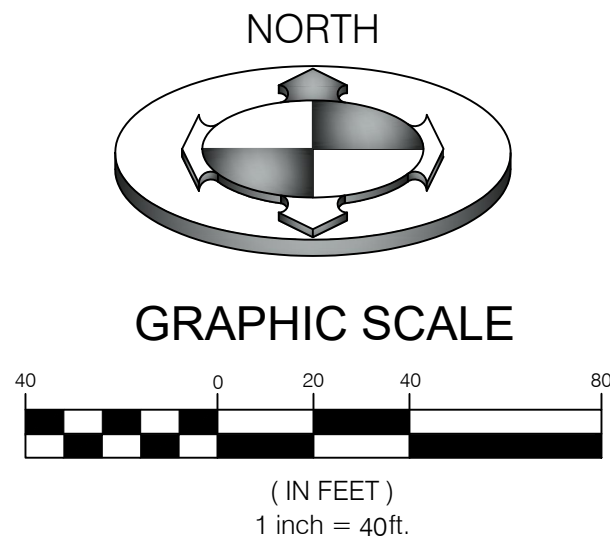
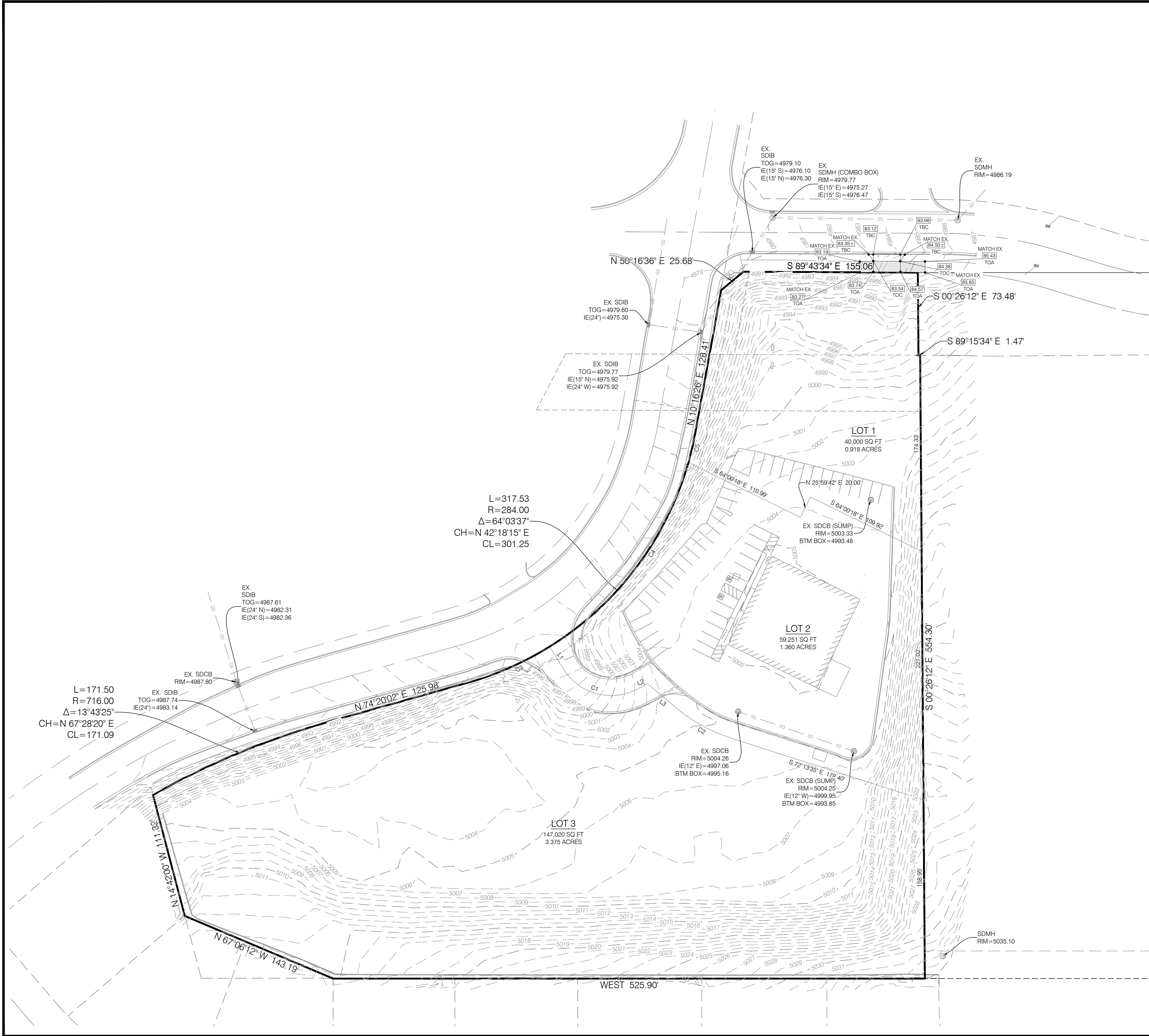


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PARKER VIEW SUBDIVISION
55 S HIGHLAND DR
SANTAQUIN, UT

UTILITY
PLAN
CUP.01
4 OF 7

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BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER
1-800-662-4111
www.bluestakes.org



NOTE:
POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE
INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE
IDENTIFIED.

NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE
LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE
INVERT ELEVATION OF THE POINT OF CONNECTION AND
NOTIFY ENGINEER IF THIS POINT IS HIGHER THAN SHOWN ON
THE PLANS FOR A REDESIGN.

SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION
SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT
PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE
RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY
MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS
SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC
DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING.
THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE
PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD
IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON
ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND
SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR
SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE
DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION
SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY
ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED
PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

NOTE:
SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS IN
EXISTING HARDSCAPE ARE APPROXIMATE. CONTRACTOR TO
FIELD VERIFY LOCATION AND EXTENT OF SAWCUTTING
PRIOR TO CONSTRUCTION. NOTIFY CIVIL ENGINEER IF
REVISIONS ARE REQUIRED. SEE NOTE 58 ON CGN.01 FOR
FURTHER DETAIL.

NOTE:
THE DEVELOPER AND THE GENERAL CONTRACTOR
UNDERSTAND THAT IT IS HIS/HER RESPONSIBILITY TO
ENSURE THAT ALL IMPROVEMENTS INSTALLED WITHIN THIS
DEVELOPMENT ARE CONSTRUCTED IN FULL COMPLIANCE
WITH ALL STATE AND SANTAQUIN CITY CODES, ORDINANCES
AND STANDARDS. THESE PLANS ARE NOT ALL INCLUSIVE OF
ALL MINIMUM CODES, ORDINANCES AND STANDARDS. THIS
FACT DOES NOT RELIEVE THE DEVELOPER OR GENERAL
CONTRACTOR FROM FULL COMPLIANCE WITH ALL MINIMUM
STATE AND SANTAQUIN CITY CODES, ORDINANCES AND
STANDARDS.

BENCHMARK:
THE FOUND BRASS CAP MARKING THE EAST QUARTER
CORNER, SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST,
SALT LAKE BASE & MERIDIAN
ELEVATION = 5020.01 (PER UTAH COUNTY SURVEYOR'S
SECTION TIE NO. 48-73)



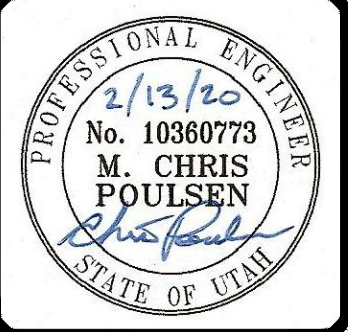
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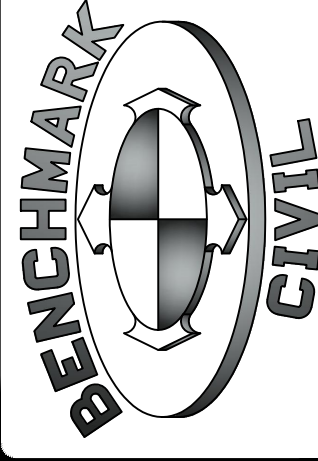
DESCRIPTION		DATE	
DRAWN BY	DZB	NO.	
CHECKED BY	AEA	DATE	
FIELD CREW	CALJKD	DATE	
DATE	XX/XX/2020	DATE	
DRAWN BY	100242 SITE	DATE	



BENCHMARK

**ENGINEERING &
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PARKER VIEW SUBDIVISION

55 S HIGHLAND DR
SANTAQUIN, UT

PROJECT NO. 1909242

**GRADING &
DRAINAGE
PLAN**

CGD.01
5 OF 7

CDT.01
6 OF 7



- STATEMENT OF USE:**
- THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN SANTIAGO CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF SANTIAGO CITY. SANTIAGO CITY CORP. CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.
- REVISION**
- | NO. | | BY | APR | DATE |
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SAW CUT
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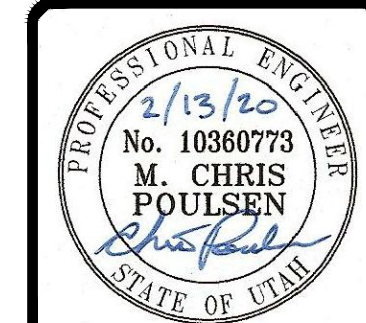
TRAIL DETAIL

SCALE: NTS

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SCALE MEASURES: 1"=10' (ON FULL SIZE SHEETS)



BENCHMARK
CIVIL

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PARKER VIEW SUBDIVISION

555 S HIGHLAND DR
SANTAQUIN, UT

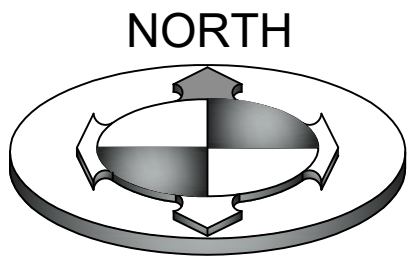
PROJECT NO. 1909242

DETAIL
SHEET

CDT.02
7 OF 7

SUBDIVISION GENERAL NOTES:

1. REBAR & CAP SHALL BE SET AT ALL REAR LOT CORNERS AND NAIL & WASHER SHALL BE SET IN THE CURB ON THE LOT LINE EXTENDED FOR LOTS FRONTING PUBLIC ROADS UNLESS OTHERWISE NOTED HEREON.
2. 10 FOOT PUBLIC UTILITY EASEMENT (PUE) ALONG LOT LINES ABUTTING PUBLIC STREETS.
3. OCCUPANCY RESTRICTION NOTICE:
IT IS UNLAWFUL TO OCCUPY ANY BUILDING LOCATED WITH THIS SUBDIVISION WITHOUT HAVING FIRST OBTAINED A CERTIFICATE OF OCCUPANCY ISSUED BY PLEASANT GROVE CITY.
4. THE BUILDING ENVELOPES REFLECTED ON THIS PLAT ARE BASED ON THE ZONING REQUIREMENTS AT THE TIME OF RECORDATION. THE BUILDING ENVELOPES COULD BE MODIFIED IF A REZONE IS APPROVED.
5. SUBJECT TO EASEMENT AND CONDITIONS CONTAINED THEREIN WITH APPLGATE, LLC, GRANTOR AND THE UTAH DEPARTMENT OF TRANSPORTATION, GRANTEE FOR THE PURPOSE OF A TEMPORARY EASEMENT, DATED APRIL 4, 2008, AND RECORDED APRIL 9, 2008, AS ENTRY NO. 41913.2008.



GRAPHIC SCALE

(IN FEET)
1 inch = 40ft.

LEGEND

- SECTION CORNER (FOUND)
- BOUNDARY CORNER SET 5/8"x24" REBAR AND CAP STAMPED 'BENCHMARK ENG.' OR NAIL & WASHER
- SECTION LINE
- BOUNDARY LINE
- ADJACENT PROPERTY
- RIGHT OF WAY LINE
- EASEMENT LINE
- SETBACK LINE

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	76.45'	50.00'	87°36'07"	S 75°39'13" E	69.22'
C2	58.53'	150.00'	22°21'23"	S 61°02'54" E	58.16'
C3	80.23'	284.00'	16°11'13"	S 66°14'26" W	79.97'
C4	209.62'	284.00'	42°17'24"	S 37°00'08" W	204.89'
C5	27.68'	284.00'	5°35'00"	S 13°03'56" W	27.66'

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	S 31°51'10" E	23.41'
L2	N 60°32'43" E	8.57'
L3	S 49°52'12" E	32.27'

PARKER VIEW SUBDIVISION PLAT "A"

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 10 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

L=171.50
R=716.00
Δ=13°43'25"
CH=N 67°28'20" E
CL=171.09

L=317.53
R=284.00
Δ=64°03'37"
CH=N 42°18'15" E
CL=301.25

HIGHLAND DR (SR-198)
(UDOT ROAD)

INTERSTATE 15

MAIN ST
(PUBLIC ROAD)

EAST QUARTER CORNER, SECTION 1
TOWNSHIP 10 SOUTH, RANGE 1 EAST
SALT LAKE BASE & MERIDIAN
FOUND BRASS CAP ON PIPE

POINT OF BEGINNING
FOUND NAIL & WASHER
'LEI ENG'

FOUND REBAR & CAP
'LEI ENG'

PEDERSEN, ELRAY
PARCEL # 32-009.0147

BUILDING
LOT 2
59,251 SQ FT
1.360 ACRES
[??]

LOT 3
147,020 SQ FT
3.375 ACRES
[??]

ZAMBRANO, NORMA & ABRAHAM
LOT 42, SANTAQUIN RIDGE
PARCEL # 52-725.0042

BOYACK, MARY JANIE (ET AL)
LOT 43, SANTAQUIN RIDGE
PARCEL # 52-725.0043

WALKER, MIKE & DEBRA
LOT 44, SANTAQUIN RIDGE
PARCEL # 52-725.0044

ZOUJIN, MARK
LOT 45, SANTAQUIN RIDGE
PARCEL # 52-725.0045

JOLLEY, WESTON
LOT 46, SANTAQUIN RIDGE
PARCEL # 52-725.0046

BECK, ANDREW P
LOT 47, SANTAQUIN RIDGE
PARCEL # 52-725.0048

VAZQUEZ, VALENTIN
LOT 48, SANTAQUIN RIDGE
PARCEL # 52-725.0077

FULLMER, ROSWELL (ET AL)
LOT 49, SANTAQUIN RIDGE
PARCEL # 52-725.0076

L=171.50
R=716.00
Δ=13°43'25"
CH=N 67°28'20" E
CL=171.09

DEVELOPER/OWNER
CHUCK PETERSON
55 HIGHLAND DR.
SANTAQUIN, UT
775-340-2391



BENCHMARK
ENGINEERING &
LAND SURVEYING
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DOMINION ENERGY CORPORATION

DOMINION ENERGY CORPORATION APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY CORPORATION MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY CORPORATION'S RIGHT-OF-WAY DEPARTMENT AT 800-366-8532.

APPROVED THIS ____ DAY OF _____, 20__

DOMINION ENERGY CORPORATION

SURVEYOR'S CERTIFICATE

I, BRIAN A. LINAM DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 7240531, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, A SURVEY HAS BEEN MADE OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND EASEMENTS HEREFTER TO BE KNOWN AS:

PARKER VIEW SUBDIVISION PLAT "A"

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT ALL LOTS MEET MINIMUM AREA, WIDTH AND FRONTAGE REQUIREMENTS OF THE APPLICABLE ZONING ORDINANCE.

BOUNDARY DESCRIPTION

A TRACT OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 10 SOUTH, RANGE 1 EAST, CONSISTING OF THE LAND DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED OCTOBER 26, 2018, AS ENTRY NO. 103025.2018 ON FILE AT THE OFFICE OF THE UTAH COUNTY RECORDER, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF MAIN STREET, SAID POINT BEING SOUTH 00°05'50" EAST 57.22 FEET ALONG THE SECTION LINE AND WEST 660.20 FEET FROM THE EAST QUARTER CORNER OF SAID SECTION 1, AND RUNNING THENCE SOUTH 00°26'12" EAST 73.48 FEET; THENCE SOUTH 89°15'34" EAST 1.47 FEET; THENCE SOUTH 00°26'12" EAST 554.30 FEET; THENCE WEST 525.90 FEET; THENCE NORTH 67°06'12" WEST 143.19 FEET; THENCE NORTH 14°42'00" WEST 111.32 FEET TO THE EASTERLY RIGHT OF WAY LINE OF HIGHLAND DRIVE (SR-198); THENCE ALONG SAID EASTERLY LINE THE FOLLOWING (4) FOUR COURSES: 1) NORTHEASTERLY 171.50 FEET ALONG THE ARC OF A 716.00 FOOT RADIUS CURVE TO THE RIGHT, CHORD BEARS NORTH 67°28'20" EAST 171.09 FEET; 2) NORTH 74°20'02" EAST 125.98 FEET; 3) NORTHEASTERLY 317.53 FEET ALONG THE ARC OF A 284.00 FOOT RADIUS TANGENT CURVE TO THE LEFT, CHORD BEARS NORTH 42°18'15" EAST 301.25 FEET; 4) NORTH 10°16'26" EAST 128.41 FEET TO SAID SOUTHERLY LINE OF MAIN STREET; THENCE ALONG SAID SOUTHERLY LINE THE FOLLOWING (2) TWO COURSES: 1) NORTH 50°16'36" EAST 25.68 FEET; 2) SOUTH 89°43'34" EAST 155.06 FEET TO THE POINT OF BEGINNING.

CONTAINS: 246,271 SQ FT OR 5.654 ACRES, MORE OR LESS
3 LOTS

(BASIS OF BEARINGS: SOUTH 00°05'50" EAST BETWEEN THE EAST QUARTER OF SECTION 1 TOWNSHIP 10 SOUTH, RANGE 1 EAST SALT LAKE BASE & MERIDIAN AND THE SOUTHEAST QUARTER OF SAID SECTION 1 (DATUM: NAD83)

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNER OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS PARKER VIEW SUBDIVISION PLAT "A" AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED ALSO DO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT, THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEYS ANY OTHER EASEMENTS AS SHOWN OR NOTED ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN AND/OR NOTED HEREON.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HAND THIS ____ DAY OF _____, 2020.

ACKNOWLEDGMENT

State of Utah
Utah County

S.S.

ON THE ____ DAY OF _____, A.D. 20__, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC COMMISSIONED IN THE STATE OF UTAH, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DO EXECUTE THE SAME.

MY COMMISSION EXPIRES: _____ COMMISSION NUMBER: _____
(DATE)

PRINT NAME (SIGNED) A NOTARY PUBLIC COMMISSIONED IN UTAH

ACCEPTANCE BY LEGISLATIVE BODY

THE SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC THIS ____ DAY OF _____, A.D. ____.

APPROVED BY CITY MANAGER APPROVED BY CITY ATTORNEY

CITY ENGINEER (SEE SEAL BELOW) ATTEST: CLERK-RECORDER (SEE SEAL BELOW)

PARKER VIEW SUBDIVISION PLAT "A"

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1,
TOWNSHIP 10 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
SANTAQUIN CITY, UTAH COUNTY, UTAH

SHEET 1 OF 1

SURVEYOR'S SEAL

CITY ENGINEER SEAL

CLERK-RECORDER
SEAL

UTAH COUNTY
RECORDER

